



AGENDA

October 20, 2016

DESIGN COMMITTEE MEETING
4:30 p.m.
Civic Center Meeting Rooms 1 & 2
311 Vernon Street
Roseville, California

1. ROLL CALL

2. CONSENT CALENDAR

2.1. MINUTES OF SEPTEMBER 15, 2016

3. NEW BUSINESS

**3.1. NRSP PARCEL WW-71, PLAY CARE LEARNING CENTER - 4050
BASELINE ROAD - FILE #PL16-0229**

The applicant requests approval of a Design Review Permit to construct a 12,145 square foot daycare center with six playgrounds and associated site improvements. Applicant: Mal Montoya, Borges Architectural Group. Property Owner: Brian Lee, Play Care Learning Center. (Wiley)

4. REPORTS/COMMISSION/STAFF

5. ORAL COMMUNICATIONS

6. ADJOURNMENT



DESIGN COMMITTEE

Title: MEETING HEADING

Meeting Date: 10/20/2016
Item #: 01.



DESIGN COMMITTEE

Title: MINUTES OF SEPTEMBER 15, 2016

Meeting Date: 10/20/2016
Item #: 2.1.

ATTACHMENTS:

Description

September 5, 2016 Draft Minutes



Design Committee Meeting September 15, 2016 – 4:30 p.m. Draft Minutes

I. ROLL CALL – *Silent*

Committee Members Present

Michael Motroni, Acting Chair
Daniel Wesp

Committee Members Absent

Charles Krafka, *Excused*
Justin Caporusso, Alternate, *Excused*

Staff Present

Derek Ogden, Senior Planner
Ron Miller, Associate Planner
Joe Mandell, Sr. Deputy Attorney
Lupe Nelson, Recording Secretary

II. CONSENT CALENDAR

Acting Chair Motroni asked if anyone wished to remove any of the items from the Consent Calendar for discussion.

Hearing none, Acting Chair Motroni asked for a motion to approve the Consent Calendar as listed below:

A. MINUTES OF MARCH 17, 2016

MOTION

Committee Member Wesp made the motion, which was seconded by Acting Chair Motroni, to approve the Consent Calendar item as submitted.

The motion passed with the following vote:

Ayes: Wesp, Motroni

Noes: None

Abstain: None

III. NEW BUSINESS

A. ROSEVILLE AUTOMALL ELECTRONIC READER BOARD REPLACEMENT – 200 N. SUNRISE AVENUE – FILE #PL16-0050

Associate Planner, Ron Miller, presented the staff report and responded to questions.

Acting Chair Motroni opened the public hearing and invited comments from the applicant and/or audience.

Applicant, Damon Eberhart, addressed the Committee and responded to questions. He stated he had received a copy of the staff report and was in agreement with staff's recommendations.

Public Comment

Nazzarena Zanutto:

- Will the Automall be responsible for sign maintenance? Is this in writing?

Committee Discussion

- What is the column finish and the durability of the finish?
- Who is responsible for how it looks? Are there provision for this in the Conditions of Approval?

- Was the Sierra Club letter taken into consideration when preparing the environmental review and negative declaration?
- Are there any bird issues with other electronic reader board signs?
- How tall are the polls?
- The proposed sign will be a nice update.
- The proposed sign will be a great improvement to the existing sign.

Acting Chair Motroni closed the public hearing and asked for a motion.

MOTION

Committee Member Wesp made the motion, which was seconded by Acting Chair Motroni, to adopt the Negative Declaration; adopt the three (3) findings of fact for the Planned Sign Permit Modification; and Approve the Planned Sign Permit Modification with the twenty one (21) Conditions of Approval with a change to the text of Condition 2.

The motion passed with the following vote:

Ayes: Wesp, Motroni

Noes: None

Abstain: None

IV. REPORTS: COMMISSION/STAFF

Staff

Either in October or in November, a childcare facility project will be brought before the Design Committee.

V. ORAL COMMUNICATION

Acting Chair Motroni opened the Oral Communication.

Hearing none, Acting Chair Motroni closed the Oral Communication.

VI. ADJOURNMENT

Acting Chair Motroni asked for a motion to adjourn the meeting.

MOTION

Committee member Wesp made the motion, which was seconded by Committee member Motroni, to adjourn the meeting.

The motion passed unanimously at 4:50 p.m.



DESIGN COMMITTEE

Title:

NRSP PARCEL WW-71, PLAY CARE LEARNING CENTER - 4050 BASELINE
ROAD - FILE #PL16-0229

Meeting Date: 10/20/2016

Item #: 3.1.

ATTACHMENTS:

Description

Staff Report

ITEM III-A: DESIGN REVIEW PERMIT – PLAY CARE LEARNING CENTER – 4050 BASELINE ROAD – FILE # PL16-0229

REQUEST

The applicant requests approval of a Design Review Permit to construct a 12,145 square foot daycare center with associated site improvements.

Project Applicant: Mal Montoya, Borges Architectural Group
Property Owner: Brian Lee, Play Care Learning Center

SUMMARY RECOMMENDATION

The Planning Division recommends that the Design Committee:

- A. Adopt the four (4) findings of fact for the Design Review Permit; and
- B. Approve the Design Review Permit with seventy-six (76) conditions of approval.

OUTSTANDING ISSUES

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with all recommended conditions of approval.

BACKGROUND

The project site is located on the north side of Baseline Road near the southeast corner of Baseline Road and Fiddymont Road. The 2.98 acre site is part of the North Roseville Specific Plan (NRSP) and was previously rough graded with the grading of the adjacent St. Claire Church expansion in 2013. To date, the subject site is one of the last undeveloped parcels remaining within this portion of the NRSP and is surrounded by residential development to the north and west, St. Claire Church to the east, and residential developed county land to the south. Prior to this request, there have been no formal applications to develop the site. The previous property owner was the Dry Creek Elementary School District. Originally it was their intention to develop the site with a district office building.

PROJECT DESCRIPTION

The applicant wishes to construct a one story, 12,145 square foot “agricultural style” preschool facility with a 1,680 square foot secondary building dedicated for school assembly/indoor gross motor and art activities. As proposed, the facilities will include a kitchen, staff rooms, restrooms, and outdoor play areas. The school will be licensed for a maximum of 228 children, ranging in age from 6 weeks - 6 years old. Staffing levels will vary throughout the day; however, peak staffing times during the mid-day hours will include approximately 35 staff members comprised of teachers and administrative staff. The hours of operation for the daycare facility will be 7:00 am to 6:00 pm with periodic special events occurring outside normal operating hours. Staff should also note that, with the proposed project only the northern portion of the site will be developed which will result in two undeveloped pads remaining on the subject property. Future development that is not consistent with the Public/ Quasi Public (P/QP) zoning and land use will require approval of a General Plan Amendment, Rezone, and Parcel Map.

SITE INFORMATION

Location: 4050 Baseline Road, NRSP Parcel WW-71, APN 017-162-073-000

Roseville Coalition of Neighborhood Associations (RCONA): The Junction West Neighborhood Association is currently inactive; however, a notice was sent to the RCONA Board. The applicant also hosted a neighborhood meeting where two residents attended. At that meeting, the residents expressed overall support for the project, but raised concerns regarding traffic, building lighting and landscaping. In response to these comments staff noted that the low traffic volumes generated by the use would not warrant any roadway improvements and would allow full turning movements into, and out of, the site. In addition, the applicant noted that the building and parking lot lighting would be constructed to minimize off site glare and evergreen trees would be strategically planted to soften views of the building and reduce the amount foliage dropping into the adjacent backyards. To date, no additional comments have been received on the project.

Total Acreage: 2.98 acres

Site Access: Access to the project site will be provided via one existing driveway off Baseline Road that allows unrestricted turning movements. Based on the anticipated traffic volumes generated by the proposed use (34 PM Peak trips), no roadway improvements will be required of the project.

Grading: Rough grading of the site occurred in 2013, and the project area is presently characterized by dirt and non-native annual grasses. With the proposed request, pad grading will be necessary to construct the new buildings and site improvements. Further grading will be necessary with future development of the vacant pads.

Figure 1: Vicinity Map



ZONING/SPECIFIC PLAN REGULATIONS

Development Standards & Design Guidelines	Required	Proposed
Building Setbacks	Not Specified	245'
Landscape Setbacks	35'	35'
Building Height Limit	50' maximum	34'
Parking Spaces	1 space per employee; 1 per company vehicle; 1 loading space per 8 persons $(34+1+228/8) = 64$	59 stalls + 10 spaces for stacking = 69
% of compact spaces	(up to 30% max)	0
# of handicapped spaces	2	4
% of shaded parking	50%	57%
Bicycle Racks	3	3 racks /1 bike locker*

* Condition #3 has been added to ensure the required number of bicycle lockers are provided on site. Further evaluation is provided in the Bicycle Parking Discussion section below.

PROJECT DESIGN FEATURES

See attached Site Plan (Exhibit A), Landscape Plan (Exhibit B), Elevations (Exhibit C), and Grading & Drainage Plan (Exhibit D).

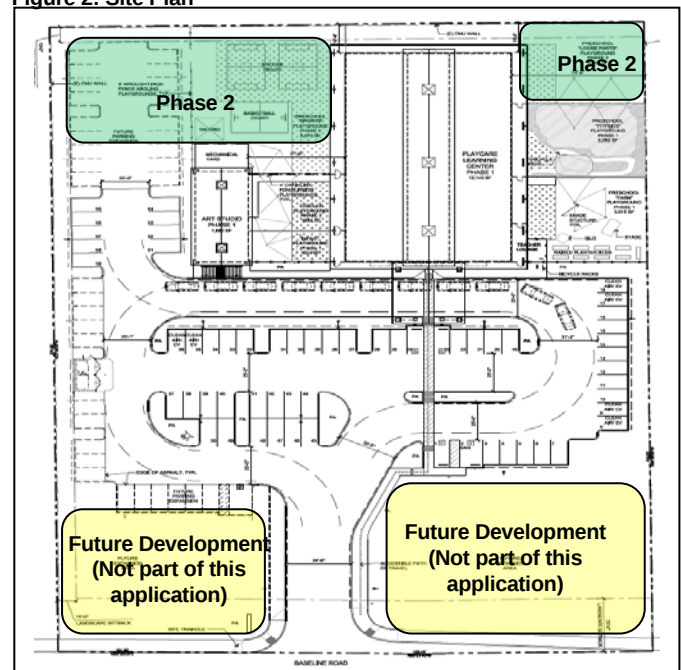
DESIGN REVIEW PERMIT EVALUATION

The evaluation of the Design Review Permit (DRP) has been based on the applicable development standards within the City's Zoning Ordinance, NRSP, and Community Design Guidelines (CDGs). Section 19.78.060(J) of the Zoning Ordinance requires that four findings be made in order to approve a DRP. The four findings for approval of the DRP are listed below in the Recommendation section of this report. The following sections of evaluation focus on pertinent design issues.

Site Planning & Building Siting: The proposed daycare facility will be constructed on ±2 acres over two phases. Phase 1 will include the daycare building, art studio, front parking lot (totaling 59 parking spaces and 10 loading spaces) and three outdoor play areas. Phase 2 will include three outdoor play areas and the parking located along the western perimeter (totaling 30 parking spaces). The daycare facility's main entrance will be located on the south elevation and parking will be provided to the south and west of the building. A sidewalk around the perimeter of the building will provide pedestrian access to the main entrance, with restricted access provided to the outdoor play areas. A total of six play areas will be located throughout the site and will be secured by an existing six foot tall CMU wall and lockable six foot tall wrought iron fence.

The buildings will be set back over 245' from Baseline Road and approximately 35' from the

Figure 2: Site Plan



nearest homes. This setback will provide a sufficient buffer from the street allowing adequate space for landscaping, sidewalks, and onsite improvements, while also softening views of the building from the public right-of-way. An existing six-foot tall masonry wall located around the northern and western perimeter will help buffer the property from the nearby neighbors. In addition, a proposed ten foot wide landscape setback along the side and rear property lines will further help reduce impacts on the nearby residential properties. As noted previously, the front portion of the site will remain undeveloped and the two vacant pads (highlighted in yellow in Figure 2) will be developed at a later date.

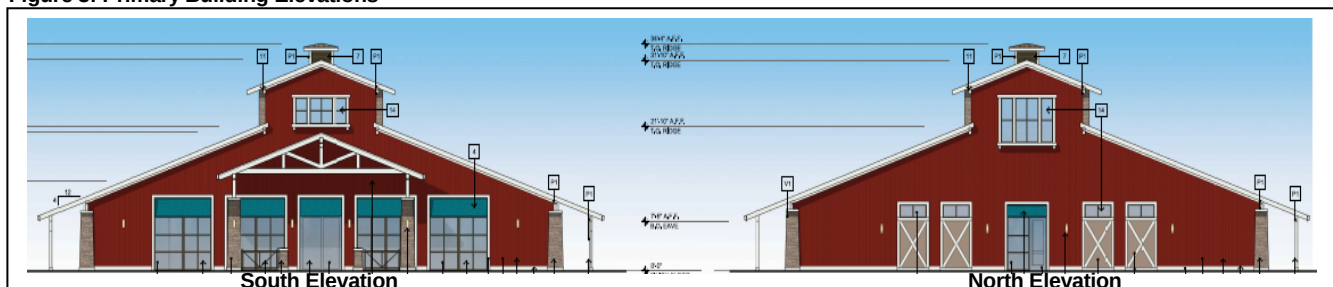
Vehicle Access & Circulation: Access to the project site will be provided via one driveway off of Baseline Road that will allow unrestricted turning movements into and out of the development. The driveway will measure approximately 110' in depth and will ensure an appropriate stacking distance for vehicles entering the site. The internal circulation pattern will consist of three two-way drive aisles and a porte-cochere (allowing one-way traffic) that is integrated into the front of the building to provide covered parking for the loading and unloading of children. The internal circulation pattern will also provide the required approach to the trash enclosures for the City's refuse trucks and will be configured to allow emergency vehicles access throughout the site. To limit potential reciprocal parking/access impacts, no connection will be provided to the adjacent site to the east (St. Claire Church).

Parking: Per the Zoning Ordinance, the parking requirement for day care centers is based on one space per employee; one space per company vehicle; and one loading space per eight persons ($34+1+228/8$). Accordingly, based on City standards, the project is required to provide 64 parking spaces. As indicated on the site plan the project will provide 59 parking stalls and can accommodate more than 10 vehicles in a pick-up and drop off area at the front of the facility. As such, a total of 69 spaces will be provided with the first phase of construction, resulting in a five space surplus (see Exhibit A). The additional spaces will ensure that there is enough parking during peak times and will further limit the possibility of parking impacts on nearby properties. In addition, the surplus parking will be utilized by future uses. As such, staff finds the proposed number of parking spaces appropriate.

Bicycle Parking: Per the Zoning Ordinance, a minimum of one bicycle space shall be provided for every twenty required parking spaces. Based on the parking required for the site (64 spaces), a minimum of three bicycle racks are required. In addition, per the Green Building Code (GBC), one bicycle locker shall be provided onsite based on the 34 employees of the school. The site plan does not identify a bicycle locker and Condition #3 has been added to require a bicycle locker onsite.

Architecture: The proposed building architecture includes a barn-inspired design that incorporates traditional elements with modern features. The building design will draw from the agrarian feel of the adjacent County properties to the south of the site and will include a pitched roof, rustic beams, and composite, wood-like, siding. Additional elements have been added to enhance the visual interest of the building and will include stone veneer pilasters, metal louvers, aluminum windows, wood trim, metal gutters, and a shake roof. The primary building color will be "Salute" Red, with accent colors consisting of "Dry Dock" Brown, and "Pure White".

Figure 3: Primary Building Elevations



As proposed, the project will provide a strong streetscape presence emphasized through depth, shade and shadow contrast, and pedestrian scale architectural features (i.e. columns, exposed wood trusses, stone veneer). A two story element that runs the length of the building will break up the roofline and add to the barn style design. In addition, special consideration was given to the building's north elevation (adjacent to the residences) and additional faux barn doors and windows have been incorporated into the design to break up the rear elevation wall plan. The building height will total 34' at the highest point and will be visible from the public corridor, resulting in enhanced views of the site and improving the streetscape appearance.

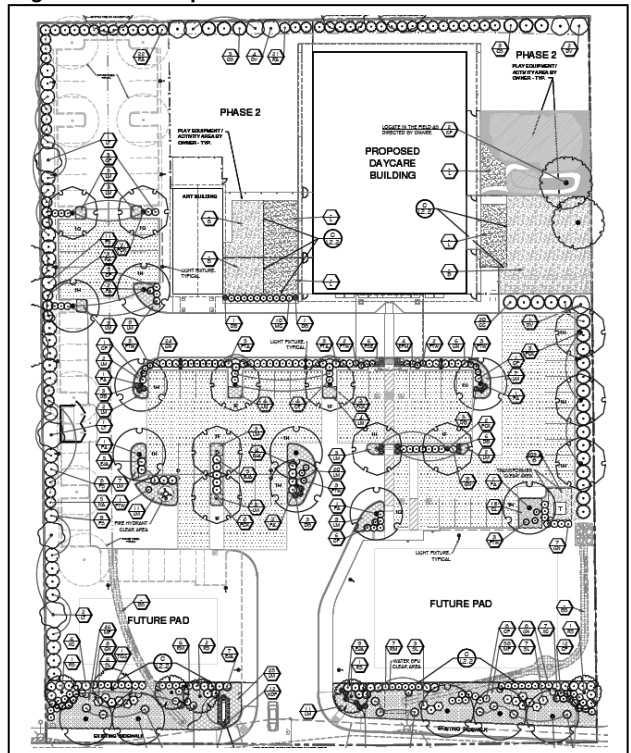
Figure 4: Primary Building – East Elevations



As proposed, the building design is consistent with nearby properties located within the County and will provide an appropriate transition into the City. Staff finds the design consistent with the intent of the CDGs and NRSP. Therefore, staff supports the application as proposed.

Landscaping: Consistent with the NRSP, the project will provide a 35-foot wide landscape setback along Baseline Road that will be planted with five London Plane Trees, five African Sumac Trees, one Greenspire Littleleaf Linden Tree, a variety of shrubs and groundcover. Landscaping internal to the site will include a ten-foot wide planter located around the north, west, and a portion of the east property boundary and will consist of Cape Myrtles Trees and tall growing bushes, shrubs and groundcover. The landscape plan includes similar plantings that are used on the adjacent parcels and will provide an appropriate transition between the residential properties. However, staff has included Condition #4 requiring that a landscape finger be added to the south of the proposed trash enclosure (consistent with the CDGs), and that all landscaping around the trash enclosure be installed with Phase 1. Additionally, based on feedback received at the neighborhood meeting and to help further screen views of the building from the adjacent neighbors, staff has included Condition #5 requiring additional evergreen trees be planted along the western and northern property lines at a minimum of 35' on center. These trees shall not produce fruit that drops and shall provide a medium to large canopy. Finally, per the Community Design Guidelines, landscape lighting shall be pedestrian scale and measure approximately 10' in height. Accordingly, the three light poles located along the western property line shall be reduced in height to a maximum of 10' (see Condition #6).

Figure 5: Landscape Plan



Design Review Permit Conclusion

Zoning Ordinance Section 19.78.060(B) requires four finding of fact be made in order to approve a DRP. Based on the analysis contained in this staff report and with the project conditions, the required findings for approval can be made. The four findings for approval of the DRP are contained in the Recommendation section of this report.

ENVIRONMENTAL DETERMINATION

The project is categorically exempt from the environmental review requirements of the California Environmental Quality Act (CEQA) per Section 15332 pertaining to Infill development projects and pursuant to Section 305 of the City of Roseville CEQA Implementing Procedures.

RECOMMENDATION

The Planning Division recommends that the Design Committee take the following actions:

- A. Adopt the four (4) findings of fact as listed below for the **DESIGN REVIEW PERMIT – PLAY CARE LEARNING CENTER – 4050 BASELINE ROAD – FILE # PL16-0229**;
1. *The project, as approved, preserves and accentuates the natural features of the property, such as open space, topography, trees, wetlands and watercourses, provides adequate drainage for the project, and allows beneficial use to be made of the site for development.*
 2. *The project site design, as approved, provides open space, access, vehicle parking, vehicle, pedestrian and bicycle circulation, pedestrian walks and links to alternative modes of transportation, loading areas, landscaping and irrigation and lighting which results in a safe, efficient and harmonious development and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, NRSP, and Community Design Guidelines.*
 3. *The building design, including the materials, colors, height, bulk, size and relief, and the arrangement of the structures on the site, as approved, is harmonious with other development and buildings in the vicinity and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, NRSP, and Community Design Guidelines.*
 4. *The design of the public services, as approved, including, but not limited to trash enclosures and service equipment are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors and landscaping that are harmonious with the site and the building designs.*
- B. Approve the **DESIGN REVIEW PERMIT – PLAY CARE LEARNING CENTER – 4050 BASELINE ROAD – FILE # PL16-0229**; subject to seventy-six (76) Conditions of Approval.

CONDITIONS OF APPROVAL FOR PL16-0229:
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1. This Design Review Permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire **October 20, 2018**. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from **October 20, 2018**. (Planning)
2. The project is approved as shown in Exhibits A - E and as conditioned or modified below. (Planning)

3. A minimum of one (1) bicycle locker shall be provided onsite for employees. The quantity and type of the locker shall be indicated on the site plan. (Planning)
4. A six foot landscape finger shall be constructed along the south perimeter of the trash enclosure and planted with a tree and shrubs. All landscaping located around the trash enclosure shall be installed with Phase 1 of the project. (Planning)
5. Additional evergreen and deciduous trees shall be planted at 35' on center along the northern and western property lines to help screen views of the Play Care Learning Center from adjacent residents, to the satisfaction of the Planning Division. (Planning)
6. The three light poles located in the eastern landscape planter shall be reduced in height to a maximum of 10 feet. (Planning)
7. The undeveloped pads located adjacent to Baseline Road shall be stabilized and hydro-seeded to ensure the vacant pads are appropriately maintained. (Planning)
8. The project shall be addressed as 4050 Baseline Road. All projects with multi-tenants or buildings must submit a site plan with building footprint(s) to the Department of Development Services (Business Services – Addressing) for building/suite addressing. (Business Services)
9. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. Project billing may occur up to two months after the end of warranty or Notice of Termination date for the SWPPP, whichever occurs later. (Engineering, Environmental Utilities, Finance)
10. The design and construction of all improvements shall conform to the Improvement Standards and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Engineering)
11. The applicant shall not commence with any on-site improvements until such time as grading and/or improvement plans are approved and grading and/or encroachment permits are issued by the Department of Development Services – Engineering. (Engineering)
12. The approval of this project does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. (Engineering)

PRIOR TO ISSUANCE OF BUILDING PERMITS:

13. Parking stalls shall meet, or exceed, the following minimum standards:
 - a. All parking stalls shall be double-striped. Parking stalls adjacent to sidewalks, landscaped areas or light fixtures, and all Accessible stalls shall abut a 6" raised curb or concrete bumper. (Planning)
 - b. Standard -- 9 feet x 18 feet; Compact--9 feet x 16 feet; Accessible--14 feet x 18 feet (a 9 foot wide parking area plus a 5 foot wide loading area) and a minimum of one (1) parking space shall be Accessible van accessible--17 feet x 18 feet (9 foot wide parking area plus an 8 foot wide loading area). (Planning)

- c. An 'exterior routes of travel' site accessibility plan incorporating slope, cross-slope, width, pedestrian ramps, curb ramps, handrails, signage, detectable warnings or speed limit signs or equivalent means shall comprise part of the site improvement plans submitted to City for review, prior to building plan check approvals. This site accessibility plan shall also include:
 - i) Accessible parking stalls shall be dispersed and located closest to accessible entrances. The total number of accessible parking spaces shall be established by Table 11B-208.2 of the CBC.
 - ii) Accessible Parking spaces and crosswalks shall be signed, marked and maintained as required by Chapter 11B of the CBC.
 - iii) Accessible parking and exterior route of travel shall comply with CBC, Chapter 11B. As such, please consider relocating accessible parking spaces 1 & 2. (Building)
- 14. Signs and/or striping shall be provided on-site as required by the Planning Division to control on-site traffic movements. Parking lot striping and signage shall be maintained in a visible and legible manner. (Planning)
- 15. The plans submitted to the Building Division for permits shall indicate all approved revisions/alterations as approved by the Committee including all conditions of approval. (Planning)
- 16. The project Landscape Plans shall comply with the following:
 - a. The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines, backflow preventors, fire department connections, and public water, sewer, and storm drain facilities. (Planning, Fire, EUD, Electric, Public Works)
 - b. The tree plantings in the parking lot shall be designed to provide a minimum of 50% shade coverage after 15 years. (Planning)
 - c. At a minimum, landscaped areas not covered with live material shall be covered with a rock, (2") bark (no shredded bark) or (2") mulch covering. (Planning)
 - d. The landscape plan shall comply with the North Roseville Specific Plan and the City of Roseville Water Efficient Landscape Ordinance. (Planning)
 - e. All landscaping in areas containing electrical service equipment shall conform to the Electric Departments Landscape Requirements and Work Clearances as outlined in Section 10.00 of the Departments "Specification for Commercial Construction." (Electric)
- 17. Any roof-mounted equipment and satellite dishes proposed shall be shown on the building plans. The equipment shall be fully screened from public streets and the surrounding properties. (Planning)
- 18. At the time of building permit application and plan submittal, the project applicant shall submit a proposed plan which shows the suite addressing plan for individual tenant spaces within the building. The Chief Building Official, or the designate, shall approve said plan prior to building permit approval. (Building)

19. A separate Site Accessibility Plan which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. (Building)
20. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Green Building Standards Code (CGBSSC), California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Division for applicable Code editions). (Building)
21. Maintenance of copy of building plans: Health and Safety Code Section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address. (Building)
22. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to Public Works prior to approval of any plans. (Public Works)
23. A note shall be added to the grading plans that states:
*“Prior to the commencement of grading operations, the contractor shall identify the site where the **excess/borrow** earthen material shall be imported/deposited. If the **borrow/deposit** site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified.”* (Public Works)
24. An 8-foot wide sidewalk shall be constructed adjacent to the existing curb flare to connect between the existing driveway and existing sidewalk to the east. (Engineering)
25. The applicant shall dedicate all necessary rights-of-way for the existing curb flare into the driveway. A separate document shall be drafted for approval and acceptance by the City of Roseville, and recorded at the County Recorder's Office. (Engineering)
26. All storm drainage, including roof drains, shall be collected on site and treated with Best Management Practices (BMP's) per the City's adopted Storm Water Quality Design Manual. The water quality design shall use its best efforts to use Low Impact Design techniques to reduce runoff and treat storm water. The techniques include, but are not limited to, interceptor trees, disconnected roof drains, bio retention/filtration planters, bio filtration swales, etc. This project will be required to show that potential future development of the site will not negatively impact the required treatment for this project as designed. All storm water shall be routed to the nearest existing storm drain system or natural drainage facility. Drain outfalls shall extend down to the receiving water and shall be constructed with adequate velocity attenuation devices. The grading/improvement plans for the site shall be accompanied with a shed map that defines that area tributary to this site and all drainage facilities shall be designed to accommodate the tributary flow. The storm drain system and proposed BMP's shall be privately owned and maintained by the property owner. Prior to the issuance of any permits, the owner shall provide a plan for the maintenance of the proposed BMP's. (Engineering)

27. Prior to the issuance of any permits, the property owner shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) to the City, as defined by the Regional Water Quality Control Board. The SWPPP shall be submitted in a single three ring binder. Upon approval, the SWPPP will be returned to the property owner during the pre-construction meeting. (Engineering)
28. The developer shall be responsible for any necessary relocation of signal interconnect cables that may require re-location as a result of the construction of turn lanes and/or driveways. (Engineering)
29. Sight distances for all driveways shall be clearly shown on the improvement plans to verify that minimum standards are achieved. It will be the responsibility of the project proponent to provide appropriate landscaping and improvement plans, and to relocate and/or modify existing facilities as needed to meet these design objectives. (Engineering)
30. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During plan check of the improvement plans and/or during inspection, Public Works will designate the exact areas to be reconstructed. Any existing public facilities damaged during the course of construction shall be repaired by the property owner and at the property owner's expense, to the satisfaction of the City. (Engineering)
31. Prior to the approval of the improvement plans, it will be the project proponent's responsibility to pay the standard City Trench Cut Recovery Fee for any cuts within the City streets that are required for the installation of underground utilities. (Engineering)
32. Prior to the issuance of building permits, the property owner shall pay into the following fee programs: Citywide Drainage Fee, Citywide Traffic Mitigation Fee (TMF), Highway 65 Joint Partners Association (JPA), South Placer Regional Transportation Authority (SPRTA), and City/County Fee. (Engineering)
33. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan view and in profile view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
34. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)
35. Water and sewer infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards and shall include:
 - a. Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12' unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes.
 - b. Water, sewer and recycled mains shall not exceed a depth of 12' below finished grade, unless authorized in these conditions of approval.
 - c. All sewer manholes shall have all-weather 10-ton vehicle access unless authorized by these conditions of approval. (Environmental Utilities)

36. Trash enclosures, recycling areas, and enclosure approaches shall be designed to current Refuse Division specifications, the materials and colors shall match the building, and the location of such facilities shall be reviewed and approved by the Refuse Division, Planning and the Fire Department. The enclosure must have inside dimensions of 12 feet wide and 9 feet deep and be built to the specifications of the Solid Waste Department's Enclosure Description. (Refuse, Planning, Fire)
37. Access to trash enclosures shall have an inside turning radius of 25 feet and an outside turning radius of 45 feet must be maintained to allow the refuse truck access to and from the enclosure. Enclosures must have a clear approach of 65 feet in front of the enclosure to allow servicing bins. (Refuse)
38. A trash enclosure and recycling enclosure is required for each building and each tenant, otherwise, the building owner is responsible for the trash service. (Refuse)
39. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
40. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting. (Fire)
41. Automatic fire extinguishing system risers, fire alarm system panels and digital alarm communicator system panels shall be located within an approved fire control room and shall be accessible from an adjacent fire apparatus roadway. Said fire control room shall be a minimum size of thirty-five (35) square feet in size and shall be openable from the exterior via an approved door opening. (Fire)
42. The fire department access road shall meet the City's requirements for width and turning radii of 30 and 50 as noted on the fire department standards for access. This shall be enforced at the time plan are submitted for review, Additional information can be found on the City's web site www.roseville.ca.us or contact Patrick Chew, Senior Fire Inspector, at 916-774-5823 or pchew@roseville.ca.us with the Fire and Life Safety Division for information. (Fire)
43. According to the California Fire Code, the vertical clearance for all fire department access road shall be 13 feet, 6 inches. (Fire)
44. The Electric Department requires the submittal of the following information in order to complete the final electric design for the project:
 - a. one (1) set of improvement plans
 - b. load calculations
 - c. electrical panel one-line drawings
45. All on-site external lighting shall be installed and directed to have no off-site glare. Lighting within the parking areas and pedestrian walkways shall provide a maintained minimum of one (1) foot candle, and 0.5 foot candle of light, respectively. All exterior light fixtures shall be vandal resistant. (Planning & Police)
46. The parking lot shall have properly posted signs that state the use of the parking area is for the exclusive use of employees and customers of this project. (See California Vehicle Code Sections 22507.8, 22511.5, 22511.8, 22658(a), and the City of Roseville Municipal Code Section

11.20.110). The location of the signs shall be shown on the approved site plan. (Planning & Police)

47. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS:

48. Any backflow preventors visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventors shall be screened with landscaping and shall comply with the following criteria:
- a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventor to the landscaping.
 - b. For maintenance purposes, the landscaping shall only be installed on three sides and the plant material shall not have thorns.
 - c. The control valves and the water meter shall be physically unobstructed.
 - d. The backflow preventor shall be covered with a green cover that will provide insulation. (Planning, Environmental Utilities)
49. The following easements shall be provided by separate instrument and shown on the site plan, unless otherwise provided for in these conditions:
- a. A 20 foot wide public utilities easement along Foothills Boulevard.
 - b. Water, sewer, and reclaimed water easements.
 - c. Additional internal easements will be required to cover primary electrical facilities to the project when the final electrical design is completed. (Electric)
50. Easement widths shall comply with the City's Improvement Standards and Construction Standards. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. All existing public utility, electric, water, sewer and reclaimed water easements shall be maintained unless otherwise authorized by these conditions of approval. (Public Works, Environmental Utilities, Electric)
51. Inspection of the potable water supply system on new commercial/ industrial/ office projects shall be as follows:
- a. The Environmental Utilities Inspector will inspect all potable water supply up to the downstream side of the backflow preventor.
 - b. The property owner/applicant shall be responsible for that portion of the water supply system from the backflow preventor to the building. The builder/contractor shall engage a qualified inspector to approve the installation of this portion of the water supply. The Building Division will require from the builder/ contractor, a written document certifying that this portion of the potable water supply has been installed per improvement plans and in accordance with the Uniform Plumbing Code. This certificate of compliance shall be submitted to the Building Division before a temporary occupancy or a building final is approved.

- c. The building inspectors will exclusively inspect all potable water supply systems for the building from the shutoff valve at the building and downstream within the building. (Building, Environmental Utilities)
- 52. All improvements being constructed in accordance with the approved grading and improvement plans shall be accepted as complete by the City. (Engineering)
- 53. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Engineering)
- 54. If future phase(s) result in 50 or more employees, the applicant/developer shall prepare a Transportation Systems Management (TSM) Agreement for Play Care Learning Center to be reviewed and approved by the City Manager. (Engineering, Alternative Transportation)
- 55. Water, sewer and reclaimed water shall be constructed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. (Environmental Utilities)
- 56. All water backflow devices shall be tested and approved by the Environmental Utilities Department. (Environmental Utilities)
- 57. In the event an exterior grease interceptor cannot be installed due to space limitation, the developer shall install a grease trap, per City Standards, that will mechanically separate the FOG contained in the wastewater from the FSE prior to discharge to the public sewer. (Environmental Utilities)
- 58. Pursuant to the Municipal Code, the applicant shall apply for and obtain a FOG waste discharge permit (FOG WDP) from the Environmental Utilities Industrial Waste Division prior to occupancy or prior to discharging waste to the public sewer. The applicant shall submit information required by the Environmental Utilities Department for evaluation, including but not limited to: site plans, floor plans, mechanical and plumbing plans, and details to show all sewers, FOG control device, grease interceptor or other pretreatment equipment and appurtenances by size, location and elevation. Additional information related to the applicant's business operations and potential discharge may be requested to properly evaluate the FOG WDP application. (Environmental Utilities)
- 59. All Electric Department facilities, including streetlights where applicable, shall be designed and built to the "City of Roseville Specifications for Commercial Construction." (Electric)
- 60. The City of Roseville Electric Department has electrical construction charges which are to be paid by the developer and which are explained in the City of Roseville "Specification for Commercial Construction." These charges will be determined upon completion of the final electrical design. (Electric)
- 61. Any relocation, rearrangement, or change of existing electric facilities due to this development shall be at the developer's expense. (Electric)
- 62. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)

63. All electric metering shall be directly outside accessible. This can be accomplished in any of the following ways:
 - a. Locate the metered service panel on the outside of the building.
 - b. Locate the metered service panel in a service room with a door that opens directly to the outside. The developer will be required to provide a key to the door for placement in a lock box to be installed on the outside of the door. Any doors leading from the service room to other areas of the building shall be secured to prohibit unauthorized entry.
64. One 3/4" conduit with a 2-pair phone line shall be installed from the buildings telephone service panel to the meter section of the customer's electrical switchgear or panel. (Electric)
65. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)

OTHER CONDITIONS OF APPROVAL

66. Signs shown on the elevations are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)
67. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
68. The City reserves the right to restrict vehicle turning movements within the public right-of-way in the future if deemed necessary by the City Engineer. (Engineering)
69. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)
70. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)
71. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor or person responsible for the building permit must notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. (Fire)
72. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
73. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and

eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)

74. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Division Field Inspector at the time of or prior to the foundation inspection. (Building)
75. Prior to Certificate of Occupancy, the applicant may apply for a Temporary Occupancy (TO) of the building. If a TO is desired, the applicant must submit a written request to the Building Division a minimum of thirty (30) days prior to the expected temporary occupancy date and shall include a schedule for occupancy and a description of the purpose for the Temporary Occupancy. (Building)
76. Concurrent with submittal for plan check and prior to a request for final building inspection, the applicant may request City approval of an occupancy phasing plan to allow individual or multiple building occupancies. This request shall be made in writing to the Building Division and shall include 10 copies of the following:
 - a. A description of measures that will be undertaken to minimize conflict between residents/ building occupants and construction traffic (e.g. fencing, etc.);
 - b. A phasing plan showing the proposed buildings, internal roads and access routes, landscaping, trash enclosure locations, and any other improvements planned for each phase; and
 - c. Estimated time for each phase and a specific date for the first phase. (Planning, Building)

Advisory Notes

1. Future development that is not consistent with the Public/ Quasi Public (P/QP) zoning and land use, shall require approval of a General Plan Amendment, Rezone and Parcel Map. (Planning)
2. Based on the unique design and architecture of the proposed preschool facility, future development on the vacant pads located at the front of the site shall be developed with buildings that incorporate similar design elements as those proposed with the preschool building. (Planning)
3. Prior to submittal of the building permit please verify the following:
 - a. Verify proposed occupancy group “E”. The Design Intent narrative includes care of infants. “E” occupancy groups are limited to care of children 2 year of age and older. See CBC Sec. 305
 - b. Verify the proposed 13,825 SF, VB area analysis. The tabular values of the CBC only allow up to a 9,500 SF “E” occupancy. See CBC Sec. 503.
 - c. Verify that an accessible path of travel is being provide to all buildings, site features and play areas. Also consider the west Future Expansion Area. See CBC Sec. 206.
 - d. Verify that the drop off area (loading zone) under the Porte-Cochere is accessible. See CBC Sec. 503.

- e. Verify that the Play Areas and Components are accessible. See CBC Sec. 206.
4. All existing Roseville Electric facilities will need to be shown on future civil plans. (Electric)

ATTACHMENT

1. Operations Plan

EXHIBITS

- A. Site Plan
- B. Landscape Plan
- C. Building Elevations
- D. Grading and Drainage Plan
- E. Photometric Plan

Note to Applicant and/or Developer: Please contact the Planning Division staff at (916) 774-5276 prior to the Committee meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Committee in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Director at, or prior to, the public hearing.
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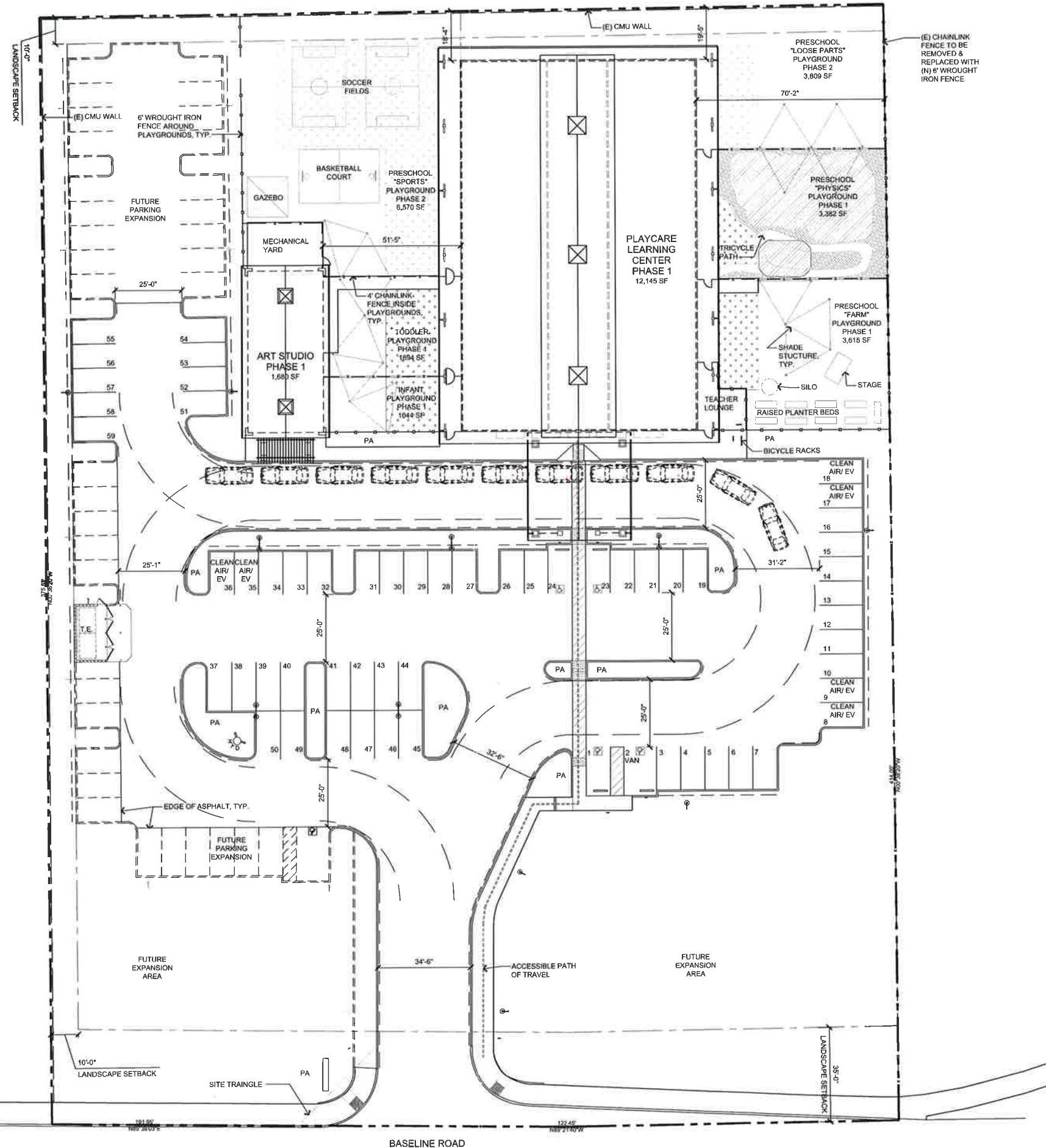


With this request, the application proposes to construct a primary preschool building of 12,144 square feet and a secondary building of 1,680 square feet. The secondary building is dedicated for school assembly/indoor gross motor and art activities. The facility will be licensed for 228 children, ranging in age from 6 weeks to 6 years old. Staffing will vary throughout the day, but peak staffing will be during mid-day. Total staff will be 35 at peak comprising teachers in classrooms and administrative staff. In addition, the facility will have staff rooms, a kitchen, restrooms located throughout the facility and the art/ gross motor indoor play room in the secondary building. The hours of operation are listed below.

Preschool Hours

Monday	Tuesday	Wednesday	Thursday	Friday
7:00 AM – 6:00 PM	7:00 AM – 6:00 PM	7:00 AM – 6:00 PM	7:00 AM – 6:00 PM	7:00 AM – 6:00 PM

Additional after school hours and weekend operations may be offered depending on community demand.

[illegible]

ACCESSORS PARCEL NUMBER:	017-162-073
ZONING:	P/QP
OCCUPANCY GROUP:	E
CONSTRUCTION TYPE:	VB
SPRINKLERED:	YES
BUILDING AREA:	
DAYCARE BUILDING	12,145 SF
<u>ART STUDIO</u>	<u>1,680 SF</u>
TOTAL:	13,825 SF
PARKING REQ'D:	
1 PER 8 STUDENTS (228 STUDENTS)	29 STALLS
1 PER EMPLOYEE	34 STALLS
1 PER COMPANY VEHICLE	1 STALL
STACKING	<10 STALLS>
<u>TOTAL PARKING REQ'D</u>	<u>54 STALLS</u>
PARKING PROVIDED	59 STALLS

	PROPERTY LINE
	ACCESSIBLE PATH OF TRAVEL
	TRUNCATED DOMES
	A.D.A. SIGNAGE
	ELECTRICAL TRANSFORMER
	PARKING LOT LIGHT POLE - COORDINATE LOCATIONS WITH ELECTRICAL PLANS
	FIRE HYDRANT - COORDINATE WITH CIVIL IMPROVEMENT DRAWINGS
PA	LANDSCAPE PLANTER AREA
T.E.	TRASH ENCLOSURE

SA-2.0	COVER SHEET & SITE PLAN
E2.2	SITE PHOTOMETRIC PLAN
C1	PRELIMINARY GRADING & DRAINAGE PLAN
C2	PRELIMINARY WATER & SEWAGE PLAN
SM1	PRE-CONSTRUCTION SHED MAP
SM2	POST-CONSTRUCTION SHED MAP
L1	PRELIMINARY LANDSCAPE PLAN
SA-2.0	DAYCARE BUILDING - FLOOR PLAN & SECTION
SA-3.0	DAYCARE BUILDING - EXTERIOR ELEVATIONS
SA-3.1	DAYCARE BUILDING - EXTERIOR ELEVATIONS - COLOR
SA-4.0	ART BUILDING - FLOOR PLAN & EXTERIOR ELEVATIONS
SA-4.1	ART BUILDING - FLOOR PLAN & EXTERIOR ELEVATIONS - COLOR

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Planning Division

PLAY CARE LEARNING CENTER

SA-1.0



North
ARCHITECTURAL GROUP
Borges

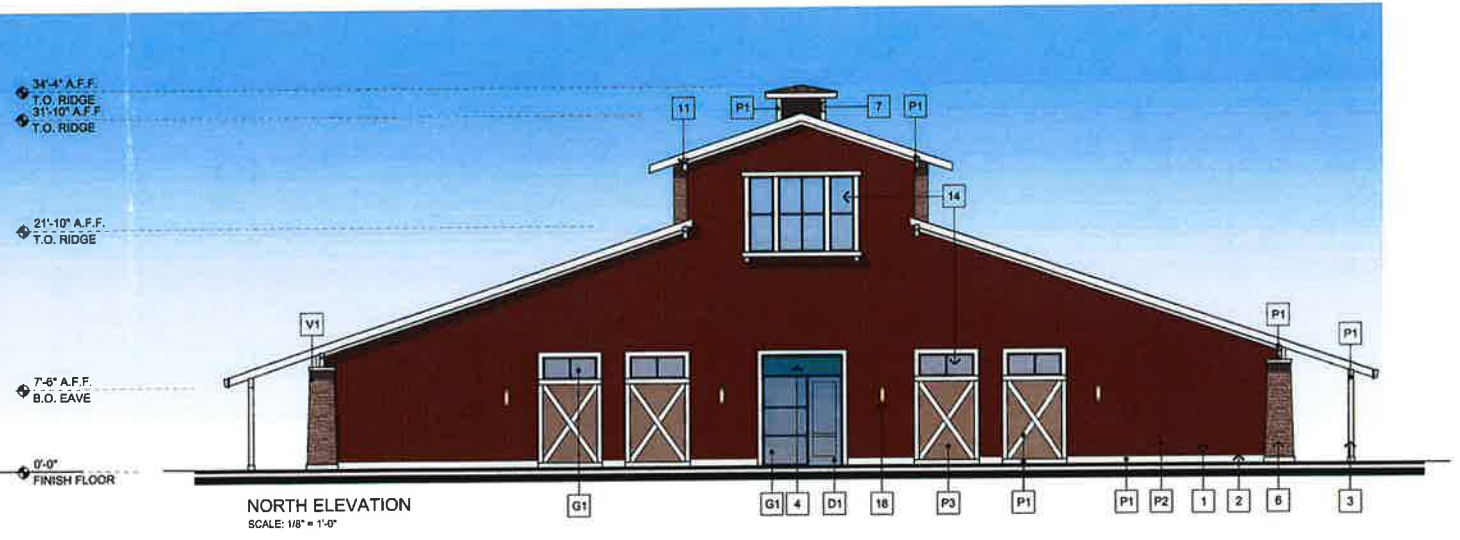
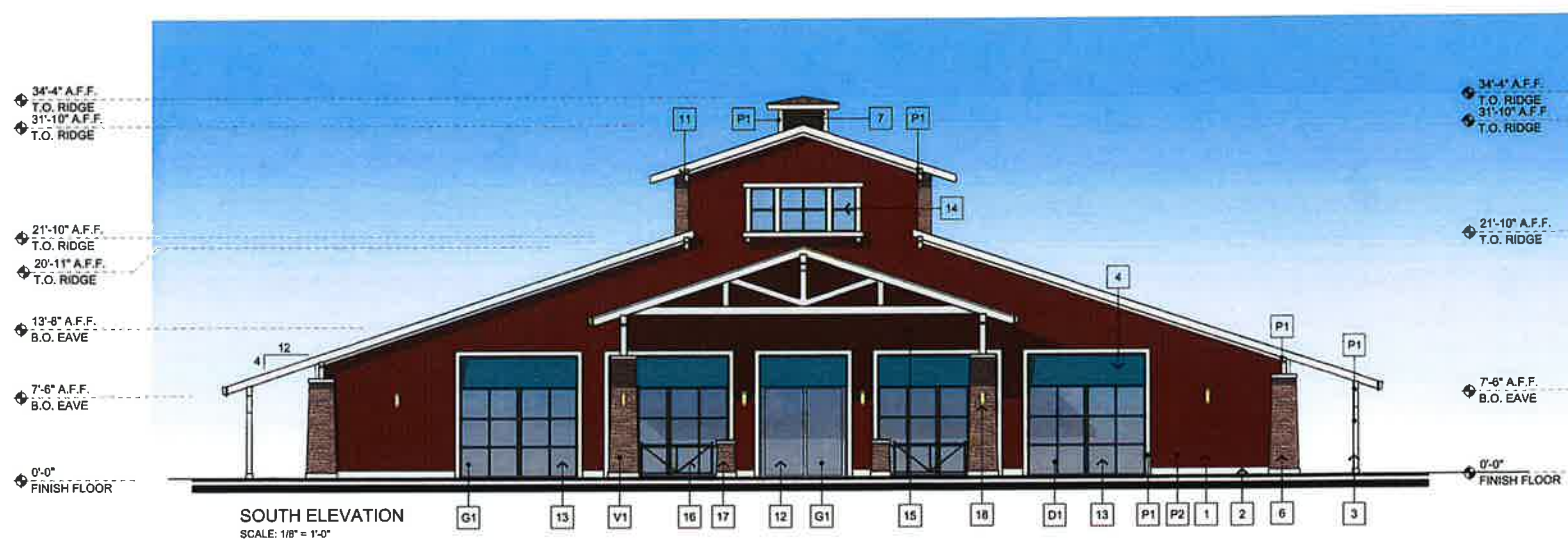
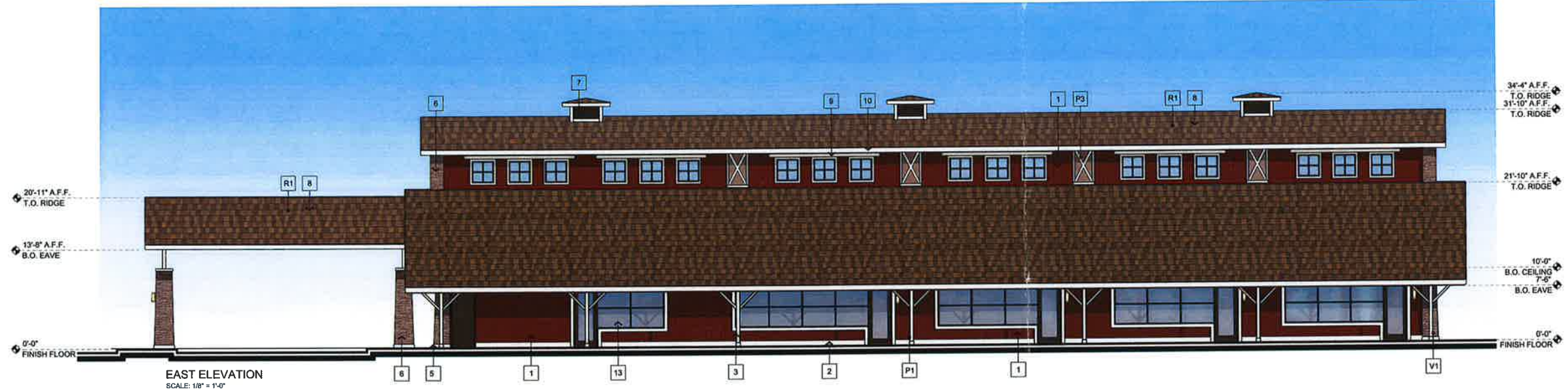
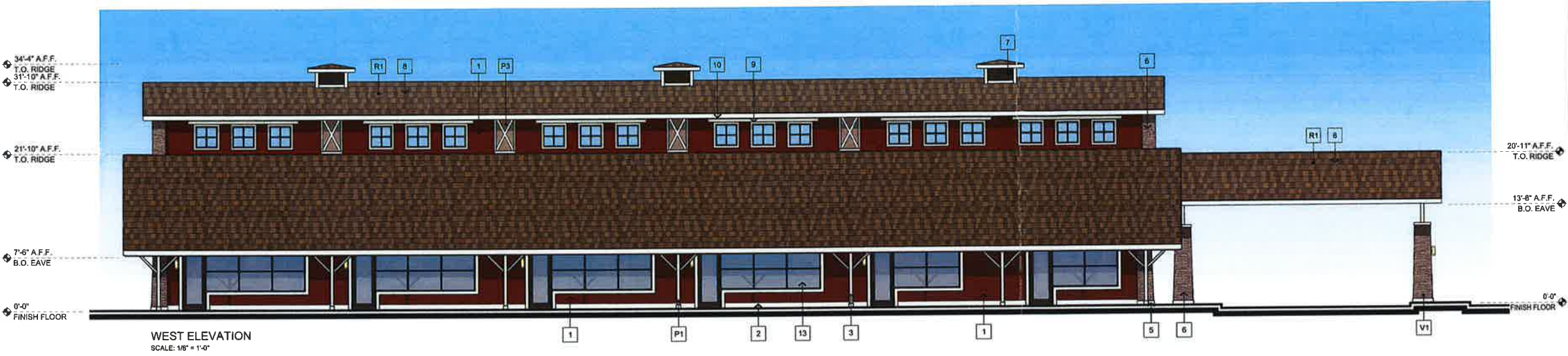


1. ALL NEW LANDSCAPING SHALL MEET CURRENT ROSEVILLE AND STATE OF CALIFORNIA WATER USE ORDINANCE AB1001.
2. DURING THE CONSTRUCTION DOCUMENT PHASE, AN IRRIGATION PLAN WILL BE PROVIDED THAT WILL IRRIGATE THE PLANTING AREAS WITH AN AUTOMATIC IRRIGATION SYSTEM USING LOW FLOW DRIP AND BUBBLER IRRIGATION SYSTEMS.
3. PROJECT OWNER WILL DESIGN AND INSTALL ALL OF THE PLAY EQUIPMENT.

TREE NUMBER AND SIZE TREE NAME	QUANTITY @ INTERIOR (100%) F	QUANTITY @ SOUTH, EAST & WEST (50%) H	QUANTITY @ CORNER & NORTH (25%) Q	TOTAL SQ. FT.			
1 - 30' PLUS SPREAD PLATANUS ACERIFOLIA, PISTACIA CHINENSIS	5 x (962) = 4,810	+	12 x (481) = 5,772	+	3 x (240) = 720	=	11,302
2 - 25' TO 30' SPREAD	0 x (706) = 0	+	0 x (354) = 0	+	0 x (177) = 0	=	0
3 - 20' TO 25' SPREAD	0 x (491) = 0	+	0 x (246) = 0	+	0 x (123) = 0	=	0
4 - 15' TO 20' SPREAD	0 x (314) = 0	+	0 x (157) = 0	+	0 x (79) = 0	=	0
CALCULATED TOTAL TREE SHADE:							11,302
REQUIRED TOTAL							
AREA OF PAVING (SHADED ON PLAN)	19,684 SQ. FT. OF SHADED AREA ON PLAN						
AREA REQUIRED TO BE SHADED	19,684 SQ. FT. x 50% = 9,842						
CALCULATED SHADE PROVIDED	11,302 SQ. FT.						
PERCENT SHADE PROVIDED	57 %						
SEE PLAN FOR TREE SHADE CREDIT. EXAMPLE: 2H IS A 25' TO 30' PERIMETER (50%) TREE.							

TREES		BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
C5		Cupressus sempervirens "Glauca"	Italian Cypress	15 gal	Medium	Ht:6'-7'-Sp:1'-2'	6	
KP		Koeberlinia paniculata	Golden Rain Tree	15 gal	Medium	Ht:7'-8'-Sp:2'-3'	2	
LT		Lagerstroemia x Tuscanora	Crape Myrtle Coral Pink	15 gal	Low	Ht:7'-8'-Sp:2'-3'	4	
PCK		Pistacia chinensis "Keith Davey"	Keith Davey Chinese Pistache	15 gal	Low	Ht:7'-8'-Sp:2'-3'	11	
PA		Platanus acerifolia "Bloodgood"	London Plane Tree	15 gal	Medium	Ht:7'-8'-Sp:2'-3'	14	
RS		Rhus lancea	African Sumac	15 gal	Low	Ht:7'-8'-Sp:2'-3'	5	
TCG		Tilia cordata "Greenspire"	Greenspire Littleleaf Linden	15 gal	Medium	Ht:7'-8'-Sp:2'-3'	1	
SHRUBS		BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	QTY	
CC		Calceoliton ciliatus	Lemon Bottlebrush	5 gal	Low	Ht:12'-Sp:1'-0"	20	
CP		Cistus x purpureus	Orchid Rockrose	5 gal	Low	Ht:12'-Sp:1'-4"	60	
DB		Dietes bicolor	Fortnight Lily	5 gal	Low	Ht:12'-Sp:1'-0"	25	
DV		Dodonaea viscosa "Purpurea"	Purple Leaved Hopseed Bush	5 gal	Low	Ht:24'-Sp:1'-4"	7	
EJA		Eunymus japonicus "Aureo-marginatus"	Golden Eunymus	5 gal	Low	Ht:14'-Sp:1'-4"	30	
EFM		Euroops pectinatus "Munchkin"	Dwarf Euroops	5 gal	Low	Ht:12'-Sp:1'-0"	4	
F5		Feijoa sellowiana	Pineapple Guava	5 gal	Low	Ht:16'-Sp:1'-4"	28	
GN		Grevillea x "Noellii"	Grevillea	5 gal	Low	Ht:14'-Sp:1'-4"	61	
MC		Myrtus communis	Common Myrtle	5 gal	Low	Ht:10'-Sp:1'-0"	10	
NDF		Nandina domestica "Fire Power"	Firepower Nandina	5 gal	Low	Ht:10'-Sp:1'-0"	12	
PSE		Pennisetum setaceum "Eaton Canyon"	Eaton Canyon Fountain Grass	5 gal	Low	Ht:16'-Sp:1'-4"	6	
PTA		Phormium tenax "Atropurpureum Compactum"	Purple New Zealand Flax	5 gal	Low	Ht:18'-Sp:1'-4"	16	
PTW		Phormium tenax "Yellow Wave"	New Zealand Flax	5 gal	Low	Ht:18'-Sp:1'-4"	17	
RA		Rhamnus alaternus	Italian Buckthorn	5 gal	Low	Ht:16'-Sp:1'-4"	51	
RM		Rhapizotaph umbellata "Minor"	Yucca Hawthorn	5 gal	Low	Ht:14'-Sp:1'-4"	13	
SL		Salvia leucantha	Mexican Bush Sage	5 gal	Low	Ht:14'-Sp:1'-4"	16	
XC		Xylosma congestum "Compacta"	Compact Xylosma	5 gal	Low	Ht:14'-Sp:1'-4"	13	
GROUND COVERS		BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	SPACING	QTY
CL		Cotoneaster dammeri "Lowfast"	Lowfast Barberry	1 gal	Low	Ht:2'-Sp:6"	48" o.c.	131
LM		Lantana montevidensis	Trailing Lantana	1 gal	Low	Ht:2'-Sp:6"	48" o.c.	13
MP		Myoporum parvifolium "Prostratum"	Myoporum	1 gal	Low	Ht:2'-Sp:6"	72" o.c.	104
BARK AREAS		BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	SPACING	QTY
B		Bark dressing	Bark Dressing	+	+			4,163 sf
BIOFILTRATION		BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	SPACING	QTY
B5		Biofiltration Sod by Delta Bluegrass	Biofiltration Sod	sod	MEDIUM			881 sf
LAWN		BOTANICAL NAME	COMMON NAME	CONT	WATER USE	PLANTED SIZE	SPACING	QTY
L		Lawn (Bolero Plus - Available from Delta Bluegrass, 800-637-8673) (SPECIAL LANDSCAPE AREA FOR ACTIVE PLAY)	Lawn	sod	High			1,851 sf

 QUANTITY
 PLANT NAME ABBREVIATION

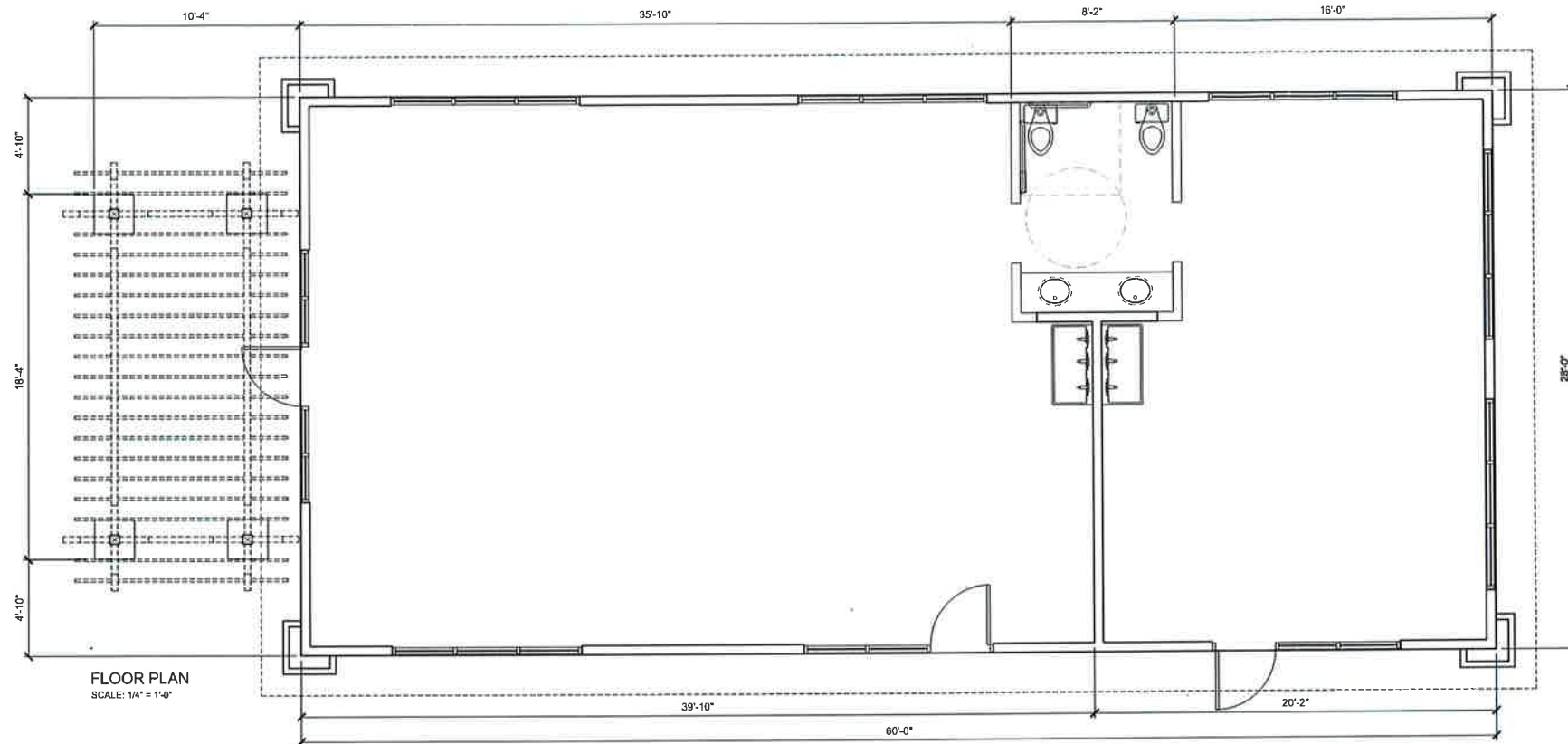


MATERIAL LEGEND	
	1 COMPOSITE WOOD BOARD AND BATTEN SIDING
	2 WOOD BASE
	3 WOOD COLUMN & BRACING
	4 CANVAS AWNING
	5 CONCRETE BASE AT STONE VENEER
	6 STONE VENEER
	7 METAL LOUVER
	8 COMPOSITE SHINGLES ROOFING
	9 WOOD TRIM
	10 METAL GUTTER OVER FASCIA BOARD
	11 DECORATIVE WOOD BEAM
	12 AUTOMATIC SLIDING W/ EMERGENCY BREAKOUT PANELS
	13 ALUMINUM STOREFRONT
	14 ALUMINUM WINDOW
	15 ALUMINUM CLOSURE
	16 36" HEIGHT DECORATIVE METAL FENCING
	17 40" HEIGHT STONE VENEER COLUMN W/ CONCRETE CAP
	18 SCENCE LIGHTING
	P1 BASE, WOOD COLUMN, FASCIA, GUTTER & TRIM - SHERWIN WILLIAMS "PURE WHITE"
	P2 FIELD PAINT COLOR - SHERWIN WILLIAMS "SALUTE"
	P3 FIELD PAINT COLOR - SHERWIN WILLIAMS "DRY DOCK"
	V1 STONE - ELDORADO STONE "SIERRA MOUNTAIN LEDGE"
	AW1 FABRIC AWNING - SUNBRELLA "TURQUOISE"
	R1 ROOFING - TIMBERLINE HD "SANDALWOOD"
	G1 GLAZING - PPG SOLAR GRAY
	D1 ALUMINUM STOREFRONT - GERKIN "MEDIUM BRONZE"
SCENCE LIGHTING	

PLAY CARE LEARNING CENTER DAYCARE BUILDING - EXTERIOR ELEVATIONS

SA-3.1





MATERIAL LEGEND	
	P1 BASE, WOOD COLUMN, FASCIA, GUTTER & TRIM - SHERWIN WILLIAMS "PURE WHITE"
	P2 FIELD PAINT COLOR - SHERWIN WILLIAMS "SALUTE"
	P3 FIELD PAINT COLOR - SHERWIN WILLIAMS "DRY DOCK"
	V1 STONE - ELDORADO STONE "SIERRA MOUNTAIN LEDGE"
	R1 ROOFING - TIMBERLINE HD "SANDALWOOD"
	G1 GLAZING - PPG SOLAR GRAY
	D1 ALUMINUM STOREFRONT - GERKIN "MEDIUM BRONZE"
KEY NOTES	
1 COMPOSITE WOOD BOARD AND BATTEN SIDING	7 COMPOSITE SHINGLES ROOFING
2 WOOD BASE	8 WOOD TRIM
3 SCONCE LIGHTING	9 METAL GUTTER OVER FASCIA BOARD
4 CONCRETE BASE AT STONE VENEER	10 ALUMINUM STOREFRONT
5 STONE VENEER	11 ALUMINUM WINDOW
6 METAL LOUVER	

SCONCE LIGHTING




PLAY CARE LEARNING CENTER ART STUDIO - FLOOR PLAN & ELEVATIONS

SA-4.1

BORGES ARCHITECTURAL GROUP



1478 STONE POINT DRIVE, SUITE 350
ROSEVILLE CA 95661
916 782 7200 TEL
916 773 3037 FAX

NOTE:
ALL POLES ARE 15' AND 3' BASE



UNIVERSITY COLLECTION

Generation Four

Comprehensive lighting for educational facilities, including walkways, parking lots, and building exteriors. The University Collection is located at three sites in California plus a dormitory building.

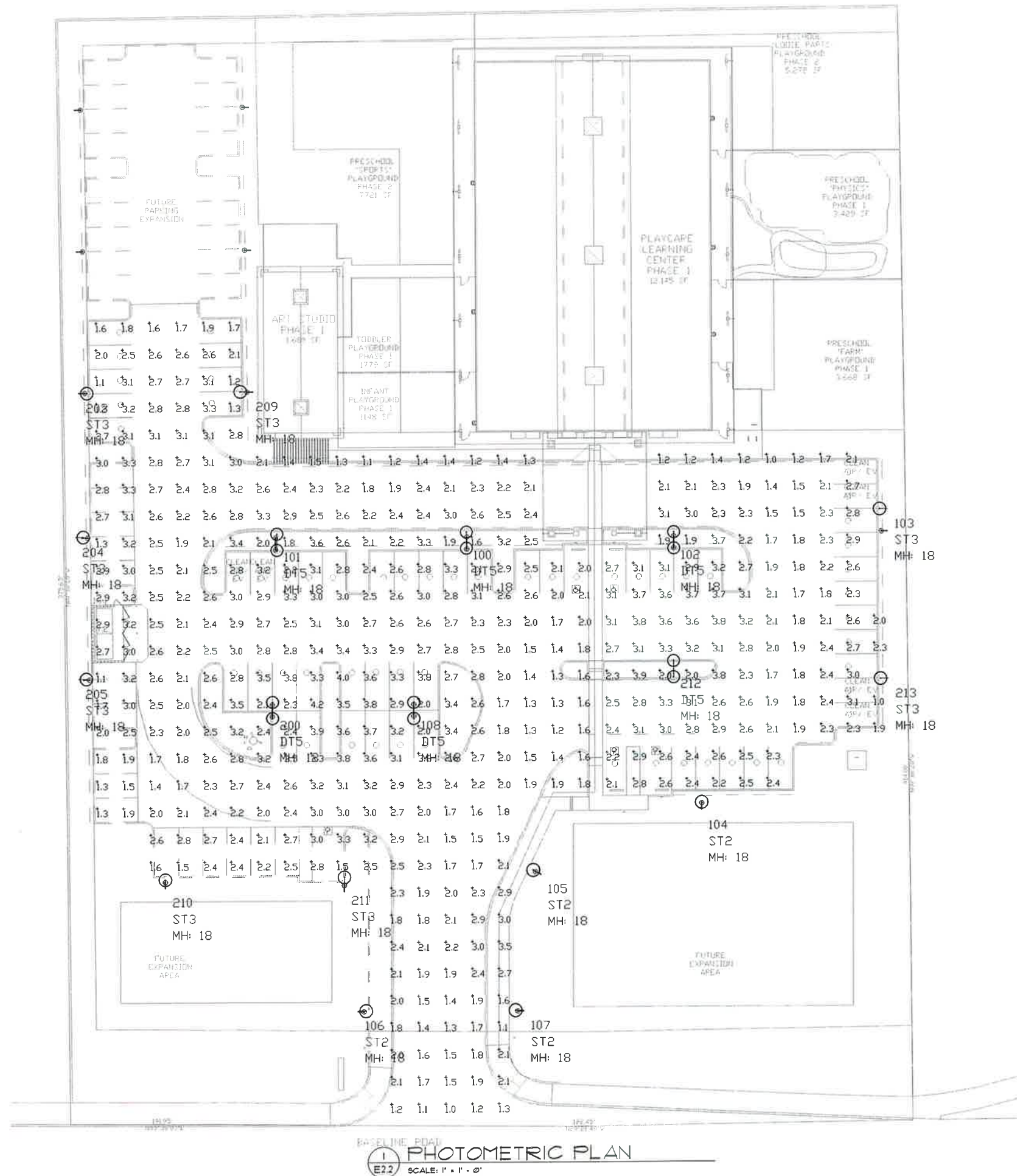
- UCD, Belmont 28' 70 watts
- Reed with UCD
- UCSB, Santa Barbara 28' 85 watts
- Reed with UCD
- UCSB, Mainway House 28' 170 watts
- Reed with UCD
- UCD, Large House 28' 400 watts



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PLAY CARE LEARNING CENTER

PHOTOMETRIC PLAN

E2.2