



AGENDA

August 17, 2017

DESIGN COMMITTEE MEETING
4:30 p.m.
Civic Center Meeting Rooms 1 & 2
311 Vernon Street
Roseville, California

1. ROLL CALL

2. CONSENT CALENDAR

2.1. MINUTES OF JUNE 15, 2017

3. REQUESTS/PRESENTATIONS

3.1. INFILL PCL 229 - DUTCH BROTHERS COFFEE KIOSK - 715 SUNRISE AVE - FILE #PL17-0101

Recommendation(s): Pass a motion to:

1. Adopt the four (4) findings of fact for the Design Review Permit and approve the Design Review Permit subject to seventy-five (75) conditions of approval.

Owner: Brian Maxwell, BB Holdings, LLC. **Applicant:** Brian Place, Place Industries, Inc. (McColl)

4. BOARD MEMBER / COMMISSIONER / STAFF REPORT

5. ORAL COMMUNICATIONS

6. ADJOURNMENT



DESIGN COMMITTEE

Title: MINUTES OF JUNE 15, 2017

Meeting Date: 8/17/2017
Item #: 2.1.

ATTACHMENTS:

Description

June 15, 2017 Draft Minutes



**Design Committee Meeting
June 15, 2017 – 4:30 p.m.
Draft Minutes**

I. ROLL CALL – *Silent*

Committee Members Present

Charles Krafka, Chair
Michael Motroni, Vice-Chair

Committee Members Absent

Daniel Wesp
Justin Caporusso - Alternate

Staff Present

Greg Bitter, Planning Manager
Derek Ogden, Senior Planner
Wayne Wiley, Associate Planner
Marc Stout, City Engineer
Joe Mandell, Sr. Deputy City Attorney
Lisa Carpenter, Recording Secretary

II. CONSENT CALENDAR

Chair Krafka asked if anyone wished to remove any of the items from the Consent Calendar for discussion.

Chair Krafka asked for a motion to approve the Consent Calendar as listed below:

A. MINUTES OF APRIL 20, 2017

B. MINUTES OF APRIL 26, 2017

MOTION

Committee Member Motroni made the motion, which was seconded by Chair Krafka, to approve the Consent Calendar item as submitted.

The motion passed with the following vote:

Ayes: Krafka, Motroni

Noes: None

Abstain: None

III. NEW BUSINESS

A. WRSP PCL W-61B WESTPARK STORAGE – 4351 WESTPARK DRIVE – FILE # PL16-0391.

Associate Planner, Wayne Wiley, presented the staff report and responded to questions.

Chair Krafka opened the public hearing and invited comments from the applicant and/or audience.

Representative, Tim Alatorre for the Applicant, addressed the Committee and responded to questions. He stated that they were in agreement with staff recommendations.

No public comments were received on this project.

Committee Discussion:

- Inquiry about the distance between each tower shown on the elevations.

Chair Krafka closed the public hearing and asked for a motion.

MOTION

Committee Member Motroni made the motion, which was seconded by Chair Krafka to adopt the Negative Declaration; and adopt the four (4) findings of fact for the Design Review Permit and approve the Design Review Permit subject to ninety (90) conditions of approval.

The motion passed with the following vote:

Ayes: Krafka, Motroni

Noes: None

Abstain: None

IV. REPORTS: COMMISSION/STAFF

Staff Reports:

- Staff prepared a report regarding the Water Efficient Landscape Design and Streetscape Planting.
- Greg Bitter suggested a vote to continue the discussion to a future date when Committee Member Wesp could also be present.

MOTION

Committee Member Motroni made the motion, which was seconded by Chair Krafka, to continue the Water Efficient Landscape Design and Streetscape Planting discussion to a future agenda meeting.

The motion passed with the following vote:

Ayes: Krafka, Motroni

Noes: None

Abstain: None

V. ORAL COMMUNICATION

Chair Krafka opened the Oral Communication. Hearing none, Chair Krafka closed the Oral Communication.

VI. ADJOURNMENT

Chair Krafka asked for a motion to adjourn the meeting.

MOTION

Committee Member Motroni made the motion, which was seconded by Chair Krafka to adjourn the meeting.

The motion passed unanimously at 4:48 p.m.



DESIGN COMMITTEE

Title:

INFILL PCL 229 - DUTCH BROTHERS COFFEE KIOSK - 715 SUNRISE AVE
- FILE #PL17-0101

Meeting Date: 8/17/2017

Item #: 3.1.

ATTACHMENTS:

Description

Staff Report

Attachments

ITEM III-A: DESIGN REVIEW PERMIT – 715 SUNRISE AVENUE – INFILL PCL29 DUTCH BROTHERS COFFEE KIOSK – PL17-0101

REQUEST

The applicant proposes to construct an approximately 684-square-foot, drive through coffee kiosk, with associated parking and landscaping on a 1.55-acre infill property.

Applicant – Brian Place, Place Industries, Inc.
Owner – Brian Maxwell, BB Holdings, LLC

SUMMARY RECOMMENDATION

The Planning Division recommends that the Design Committee take the following actions:

- A. Adopt the four (4) findings of fact for the Design Review Permit and approve the Design Review Permit subject to seventy-five (75) conditions of approval.

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with the recommended conditions of approval.

BACKGROUND

The project site is located at 715 Sunrise Avenue within the City's Infill planning area (see Figure 1). The approximately 1.55 acre site is undeveloped and has a land use of Business Professional (BP) with a zoning designation of Planned Development (PD52). The PD52 zoning extends over several parcels and designates approximately five acres for residential use at 15 units per acre, three acres for professional office use, and two acres for commercial use. Within the PD52 zone, currently only approximately 0.5 acres of commercial use is developed. The proposed project would develop the remaining anticipated commercial use within the PD52 zone.

The project site is currently vacant and has been partially graded. At one time a parking lot was constructed on the northwest corner of the site and a drainage channel was installed. The parking lot is not associated with any development project and no parking agreements are recorded on the property. A small portion of the site, at the southeast corner, is within the FEMA regulatory floodplain. FEMA establishes regulations for development within the regulatory floodplain and relies on the City's Floodplain Management Division to ensure compliance with their regulations. A discussion of the FEMA floodplain regulations is provided in the evaluation section of this report.

The proposed project will develop a portion of the site with an approximately 684 square foot coffee kiosk, associated drive-thru aisles and parking, as well as on-site landscaping and lighting. The kiosk would accommodate a Dutch Brothers brand coffee retailer. The use will provide coffee via the proposed drive-thru or at a separate walk-up window. No indoor seating is provided. As the use is permitted within the PD52 zone, the project is being reviewed through the Design Review Permit process.

SITE INFORMATION

Location and Total Acreage: 715 N Sunrise Avenue, APN 470-010-044-000, 1.55 acres

Figure 1 – Vicinity Map



Roseville Coalition of Neighborhood Associations (RCONA) and Project Notification: The project is located within the inactive Meadow Oaks Neighborhood Association. A notice of the proposed project was therefore only sent to the RCONA Board. Additionally, notification of the public hearing for this project was provided to properties within 300 feet. To date, staff has not been contacted by any interested parties regarding the project.

Site Access: Access to the site is provided via an existing private shared driveway off Sunrise Avenue. The common driveway provides access to the adjacent Med-7 emergency medical offices to the north and the Sunrise Retirement Villas to the east. A connection from the common driveway is located on the subject parcel and will be maintained with the proposed project. The existing access meets emergency access requirements and no changes are required.

Topography: Approximately ½ of the site was previously graded and portions of the graded area have been paved. The remainder of the site has a drainage channel and is vegetated with non-native annual grasses and other wetland plants within the swale. No native oak trees are present onsite and there are no delineated wetlands or other sensitive habitat on the subject parcel.

Grading: The proposed project area is undeveloped and grading of the property will be necessary to provide the parking area, drive aisles and building pad. Earthwork quantities are estimated to total 1,315 cubic yards of cut and 915 cubic yards of fill.

ZONING/PLANNING AREA REGULATIONS

Development Standard	Required	Proposed
Building Setbacks	20'	31'
Landscape Setbacks	20'	21'
Building Height Limit	50' maximum	25'
Parking Spaces	14 spaces	16 spaces
% of shaded parking	50%	56.35%
Drive-thru Vehicle Stacking	180'	500'

PROJECT DESIGN FEATURES

See attached Site Plan (Exhibit A), Trash Enclosure and Site Details (Exhibit B), Floor Plan (Exhibit C), Elevations (Exhibit D), Grading & Drainage Plan (Exhibit E), Landscape Plan (Exhibit F), and Photometric Plan (Exhibit G)

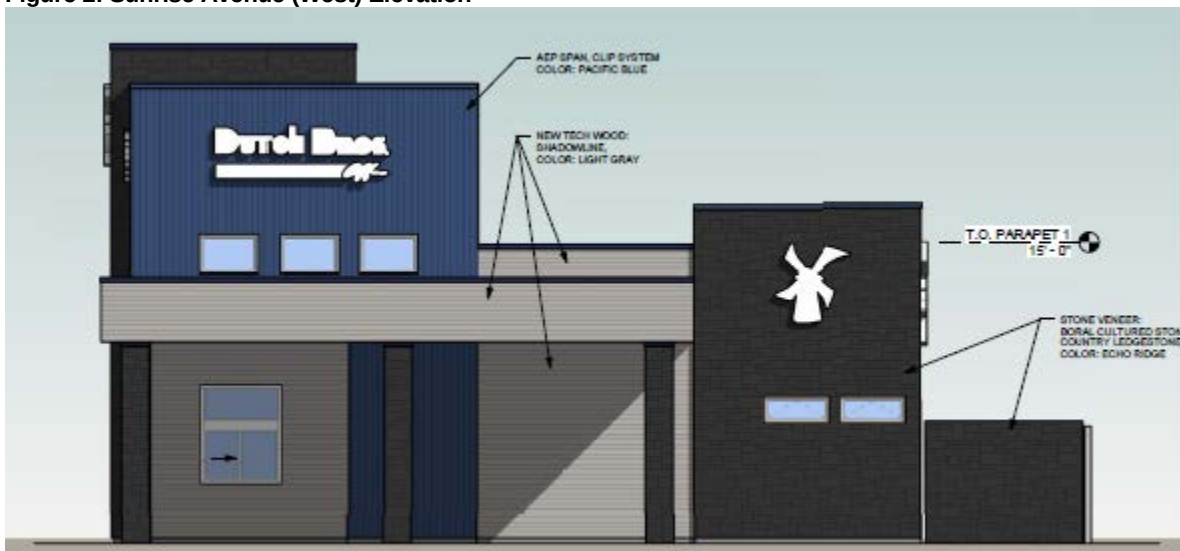
DESIGN REVIEW PERMIT EVALUATION

The evaluation of the Design Review Permit has been based on the applicable development and design standards within the City's Zoning Ordinance and the City's Community Design Guidelines (CDG). Staff reviewed the proposal for consistency with all applicable standards and found the project to be consistent with the pertinent requirements and guidelines. The following sections of evaluation focus on areas of interest.

Site Planning & Building Siting: Only approximately half of the site will be developed. The remainder will be undisturbed to maintain drainage and minimize impacts to the floodplain. The proposed drive-thru coffee kiosk building will be located approximately 31-feet from Sunrise Avenue. A walk-up window and outdoor seating area is located on the west elevation, facing Sunrise Avenue. The drive-thru vehicle queuing lanes and parking area is located east of the building. The building siting is consistent with the CDG's as the guidelines encourage buildings to be placed at the back of the landscape setback to provide a street presence. The placement of the building will also help to screen the drive-thru lane and parking areas. In order to meet the Refuse Division requirements for access to the trash enclosure, the trash enclosure is located near the entrance to the site. The trash and recycling enclosure have been divided into two separate enclosures to break up the mass, improve vehicle circulation within the parking area and allow for additional landscape areas around the enclosures. No changes are recommended to the site.

Architecture: The coffee kiosk building is rectangular in shape with covered pick-up windows on both the west and east elevations (see Figure 2). The building architecture is modern with a series of flat roof parapets that vary in height from 15-feet to 25-feet. Slight variations in the wall planes provide visual breaks in the building façade and allow for a clean separation of building materials and colors. The building colors are light and dark grey and with the Dutch Brothers signature pacific blue on an accent wall. The façade materials are a mix of engineered wood siding, metal siding, and cultured stone veneer. The wood siding and cultural stone compliment adjacent building materials within the vicinity of the project. Additionally rectangular and square windows provide architectural features on the north, west, and east elevations.

Figure 2: Sunrise Avenue (West) Elevation



Overall the variation of wall planes, rooflines, building form, colors and materials, and architectural treatment of the building meet the intent of the CDG's. As such, staff supports the building design as proposed.

Parking/Loading: The Zoning Ordinance requires one parking space for every 50 square feet (1:50) of the fast food use, which is equivalent to 14 parking spaces. The project provides two more parking spaces than required. In addition to parking, the CDG's require a minimum of 180 feet of vehicle stacking to the drive-thru pick-up window. Due to the popularity of the Dutch Brothers franchise and staff's observations at similar drive-thru facilities within the City, DS-Engineering recommended additional vehicle stacking area. The project exceeds the minimum stacking requirement and will provide approximately 500 feet of vehicle stacking. A portion of the stacking will occur in two lanes. The entrance to the vehicle stacking lanes have also been located at the farthest entrance to the site to minimize the potential impacts to Sunrise Avenue from any unanticipated vehicle back-up. The DS-Engineering Divisions has reviewed the vehicle stacking design and determined it adequate. No impacts from overflow parking or vehicle queuing are anticipated on Sunrise Avenue or to adjacent uses.

Landscaping: The project will provide a 21-foot wide landscape setback along Sunrise Avenue. Within the landscape setback, a series of Green Vase Japanese Zelkova and White Crape Myrtles act as street trees and provide shade for pedestrians. A mix of shrubs including Purple Rock Rose, Morning Light and Germander, along with groundcovers of Rosemary, Coyote Bush and Lantana add visual interest and soften the surrounding hardscape. Additional London Planes and Valley Oaks are planted around the building and parking areas to provide shade and soften the transition from hardscape to the building. The landscape plantings throughout the site will be water efficient and achieve the CDG's landscape goals of adding texture, screening undesirable views, strengthening the pedestrian scale, providing shade, softening the transition between horizontal and vertical planes, and relieving the visual appearance of large expanses of hard surfaces. As proposed, staff finds the landscape plan meets the intent of the CDG and no additional changes are recommended.

Regulatory (FEMA) Floodplain: As shown on the grading plan, a portion of the site is located within the FEMA regulatory floodplain. The proposed building and parking areas are located outside of the floodplain. While the applicant used the City's current floodplain mapping information to prepare the grading plans, the City is currently in the process of updating the floodplain data and anticipates new data to be adopted by FEMA by the end of this year. The new data would change the base flood elevation (BFE) from 139 to 142, but will not adjust the site contours. FEMA regulations require the finish floor of the coffee kiosk to be located a minimum of two feet above BFE. The City's Public Works Floodplain Management Division preliminarily reviewed the project for compliance with the FEMA regulations and did not identify any required modifications the building. Condition #28 was added to confirm the building will comply with FEMA regulations once the new BFE is adopted. Although the building and parking areas are anticipated to be located outside of the floodplain, some grading may occur within the Floodplain. Conditions #29-30 require any construction activities within the floodplain to comply with FEMA regulations and show no negative impact to the floodplain. The applicant is required to demonstrate compliance with the FEMA regulations through the building permit and civil improvement submittals and also provide proof of a Letter of Map Revision (LOMR) with FEMA prior to building occupancy.

Design Review Permit Conclusion

Zoning Ordinance Section 19.78.060(B) requires four finding of fact be made in order to approve a Design Review Permit. The four findings for approval of the Design Review Permit are contained in the Recommendation section of this report. Based on the analysis contained in this staff report and within the project conditions, the required findings for approval can be made for the proposed Design Review Permit.

ENVIRONMENTAL DETERMINATION

This project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15332 (In-Fill Development Projects) and Section 305 of the City of Roseville CEQA Implementing Procedures.

RECOMMENDATION

The Planning Division recommends the Design Committee take the following actions:

- A. Adopt the four (4) findings of fact as listed below and approve the **DESIGN REVIEW PERMIT – 715 N SUNRISE AVENUE – INFILL PCL29 DUTCH BROTHERS COFFEE KIOSK – PL17-0101** as shown in Exhibits A-G and subject to seventy-five (75) conditions of approval.
 1. *The project, as approved, preserves and accentuates the natural features of the property, such as open space, topography, trees, wetlands and watercourses, provides adequate drainage for the project, and allows beneficial use to be made of the site for development.*
 2. *The project site design, as approved, provides open space, access, vehicle parking, vehicle, pedestrian and bicycle circulation, pedestrian walks and links to alternative modes of transportation, loading areas, landscaping and irrigation and lighting which results in a safe, efficient and harmonious development and which is consistent with the applicable goals, policies and objectives set forth in the General Plan and Community Design Guidelines.*
 3. *The building design, including the materials, colors, height, bulk, size and relief, and the arrangement of the structures on the site is harmonious with other development and buildings in the vicinity and which is consistent with the applicable goals, policies and objectives set forth in the General Plan and Community Design Guidelines.*
 4. *The design of the public services, as approved, including, but not limited to trash enclosures and service equipment are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors and landscaping that are harmonious with the site and the building designs.*

CONDITIONS OF APPROVAL FOR DESIGN REVIEW PERMIT (FILE # PL17-0101)

1. This design review permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on **August 17, 2019**. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from **August 17, 2019**.
2. The project is approved as shown in Exhibits A - G and as conditioned or modified below. (Planning)
3. The project shall be addressed as 715 Sunrise Avenue. All projects with multi-tenants or buildings must submit a site plan with building footprint(s) to the Development Services Department (Business Services – Addressing) for building/suite addressing. (Business Services)
4. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Engineering, Environmental Utilities, Electric, Finance)
5. The design and construction of all improvements shall conform to the Design and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Engineering)

6. The applicant shall not commence with any on-site improvements or improvements within the right-of-way until such time as grading and/or improvement plans are approved and grading and/or encroachment permits are issued by the Department of Development Services – Engineering Division. (Engineering)
7. The approval of this project does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. (Engineering)

PRIOR TO ISSUANCE OF BUILDING PERMITS:

8. Parking stalls shall meet, or exceed, the following minimum standards:
 - a. All parking stalls shall be double-striped. Parking stalls adjacent to sidewalks, landscaped areas or light fixtures, and all Accessible stalls shall about a 6" raised curb or concrete bumper. (Planning)
 - b. Standard -- 9 feet x 18 feet; Compact--9 feet x 16 feet; Accessible--14 feet x 18 feet (a 9 foot wide parking area plus a 5 foot wide loading area) and a minimum of one (1) parking space shall be Accessible van accessible--17 feet x 18 feet (9 foot wide parking area plus an 8 foot wide loading area). (Planning)
 - c. An 'exterior routes of travel' site accessibility plan incorporating slope, cross-slope, width, pedestrian ramps, curb ramps, handrails, signage, detectable warnings or speed limit signs or equivalent means shall comprise part of the site improvement plans submitted to City for review, prior to building plan check approvals. This site accessibility plan shall also include:
 - i) Accessible parking stalls shall be dispersed and located closest to accessible entrances. The total number of accessible parking spaces shall be established by Table 11B-208.2 of the CBC.
 - ii) Accessible Parking spaces and crosswalks shall be signed, marked and maintained as required by Chapter 11B of the CBC.
 - iii) Accessible parking and exterior route of travel shall comply with CBC, Chapter 11B. (Building)
9. Signs and/or striping shall be provided on-site as required by the Planning Department to control on-site traffic movements. Parking lot striping and signage shall be maintained in a visible and legible manner. (Planning)
10. The plans submitted to the Building Department for permits shall indicate all approved revisions/alterations as approved by the Commission including all conditions of approval. (Planning)
11. The project Landscape Plans shall comply with the following:
 - a. The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines, backflow preventors, fire department connections, and public water, sewer, and storm drain facilities. (Planning, Fire, EUD, Electric, Engineering)
 - b. The tree plantings in the parking lot shall be designed to provide a minimum of 50% shade coverage after 15 years. (Planning)

- c. At a minimum, landscaped areas not covered with live material shall be covered with a rock, (3") bark (no shredded bark) or (3") mulch covering. (Planning)
 - d. The landscape plan shall comply with the City of Roseville Water Efficient Landscape ordinance. (Planning)
 - e. All landscaping in areas containing electrical service equipment shall conform with the Electric Department's Landscape Requirements and Work Clearances as outlined in Section 10.00 of the Departments "Specification for Commercial Construction." (Electric)
- 12. Any roof-mounted equipment and satellite dishes proposed shall be shown on the building plans. The equipment shall be fully screened from public streets and the surrounding properties. (Planning)
 - 13. A separate Site Accessibility Plan which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. Where more than one path of travel is provided, all routes must be accessible. The north access to the patio is not accessible. See CBC Sec. 11B-206.2.2. (Building)
 - 14. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Green Building Standards Code-CGBSC, California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Division for applicable Code editions). (Building)
 - 15. For restaurants or other food services: The developer shall obtain all required approvals and permits from the Placer County Health Department. (Building)
 - 16. For restaurants or other food services. The developer shall obtain all required approvals and permits from the Placer County Health Department and the City of Roseville Industrial Waste Division. (Building, Environmental Utilities)
 - 17. Maintenance of copy of building plans: Health and Safety Code section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address. (Building)
 - 18. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to Engineering prior to approval of any plans. (Engineering)
 - 19. The Improvement Plans shall include a complete set of Landscape Plans. The Landscape Plans shall be approved with the Improvement Plans. (Planning, Engineering, Fire, Environmental Utilities, Electric)
 - 20. A note shall be added to the grading plans that states:

*"Prior to the commencement of grading operations, the contractor shall identify the site where the **excess/borrow** earthen material shall be imported/deposited. If the **borrow/deposit** site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical*

engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified.” (Engineering)

21. Bike parking and clean air vehicle spaces shall be provided per the California Green Building Standards. Bike rack/locker design and location shall be approved by Alternative Transportation. Show location of bike rack/locker(s) on site plan. Provide cut sheet to Alternative Transportation demonstrating the design of bike rack/locker proposed by developer. (Alternative Transportation, Building)
22. All storm drainage, including roof drains, shall be collected on site and treated with Best Management Practices (BMP's) per the West Placer Storm Water Quality Design Manual. All storm water shall be routed to the nearest existing storm drain system or natural drainage facility. Drain outfalls shall extend down to the receiving water and shall be constructed with adequate velocity attenuation devices. The grading/improvement plans for the site shall be accompanied with a shed map that defines that area tributary to this site and all drainage facilities shall be designed to accommodate the tributary flow. The storm drain system and proposed BMP's shall be privately owned and maintained by the property owner. Prior to the issuance of any permits, the owner shall provide a plan for the maintenance of the proposed BMP's. (Engineering)
23. Prior to the issuance of any permits, the property owner shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) to the City, as defined by the Regional Water Quality Control Board. The SWPPP shall be submitted in a single three ring binder. Upon approval, the SWPPP will be returned to the property owner during the pre-construction meeting. (Engineering)
24. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During plan check of the improvement plans and/or during inspection, Public Works will designate the exact areas to be reconstructed. Any existing public facilities damaged during the course of construction shall be repaired by the property owner and at the property owner's expense, to the satisfaction of the City. (Engineering)
25. Prior to the approval of the improvement plans, it will be the project proponent's responsibility to pay the standard City Trench Cut Recovery Fee for any cuts within the City streets that are required for the installation of underground utilities. (Engineering)
26. Prior to the issuance of building permits, the property owner shall pay into the following fee programs: Citywide Drainage Fee, Citywide Traffic Mitigation Fee (TMF), Highway 65 Joint Partners Association (JPA), South Placer Regional Transportation Authority (SPRTA), and City/County Fee. (Engineering)
27. If the project will employ 50 or more employees, a Transportation Systems Management (TSM) Plan shall be approved by the Transportation Commission (Alternative Transportation)
28. The base flood elevation (BFE) at this location is 142.0 feet (NAVD 88 datum). The first floor, and all supporting equipment, shall be a minimum of 2-feet higher than the BFE, or 144 feet (NAVD 88 datum). This includes all non-flood-resistant building material and all of the structure's support equipment such as, but not limited to, electrical, heating, ventilation ductworks, plumbing, and air conditioning equipment and other service equipment that could be damaged if submerged under water. The building foundation shall be compliant with California Building Code section 1612.5 [properly addressing equalization of hydrostatic forces]. Site and building plans, shall reference the elevation datum to the NAVD 88 datum. Upon the completion of the structure, the elevation of the lowest floor, including all support equipment, shall be certified with a current version of a FEMA Elevation Certificate, using NAVD 88 datum, by a registered professional engineer or licensed land surveyor and verified by the Floodplain Administer. (Engineering, Building)

29. With the submittal of plans to the City for site work and/or building permits, the applicant shall demonstrate that at minimum, the volume of flood plain lost as a result of fill is balanced with an equal flood volume created within the excavated basin so that there is no net loss of flood plain volume. The encroachment shall not result in any off-site increase in water surface elevation. A hydraulic study is required to determine the effect of the floodplain encroachment. Additionally, with the submittal of plans to the City, the applicant shall demonstrate that application has been made and accepted by FEMA for the processing of a LOMR to revise the flood plain maps for the flood plain encroaching onto the site. Prior to a certificate of occupancy, proof that FEMA has completed the processing of the LOMR shall be submitted and available for file with the City. The Consulting Engineer must submit a 'Compliance Statement' to the City stating that the proposed improvements shown on the plans are accurately reflected in the approved hydraulic study. The hydraulic study and materials supporting the LOMR submittal shall use the NAVD 88 elevation datum. All grading plans shall clearly show the extent of the flood plain and reference the HGL of the flood plain, referencing FEMA's Preliminary DFIRM. The hydraulic study shall have a cross section at location of the building/earthen fill and another cross section at the earthen borrow location. (Engineering, Building).
30. The existing grades shall be shown on the grading plan. The finish floor level shall be clearly shown on the plans. The final grade shall be labeled at multiple locations along the "grassy swale." All abbreviations used on the plan set, including FL, shall be clearly identified. (Engineering).
31. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan view and in profile view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
32. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)
33. Water and sewer infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards and shall include:
 - a. Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12' unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes.
 - b. Water, sewer and recycled mains shall not exceed a depth of 12' below finished grade, unless authorized in these conditions of approval.
 - c. All sewer manholes shall have all-weather 10-ton vehicle access unless authorized by these conditions of approval. (Environmental Utilities)
34. The project shall install a minimum 6" VCP sewer service. (Environmental Utilities)
35. Private water lines are not allowed in the PUE. (Environmental Utilities)
36. No trees are allowed over sewer service or water manifolds. (Environmental Utilities)
37. Any light fixtures located over the trash enclosure approach shall be a minimum 16-feet in height, or moved out of the path of the refuse trucks. (Environmental Utilities)

38. Trash enclosures, recycling areas, and enclosure approaches shall be designed to current Refuse Division specifications, the materials and colors shall match the building, and the location of such facilities shall be reviewed and approved by the Refuse Division, Planning and the Fire Department. The enclosure must have inside dimensions of 12 feet wide and 9 feet deep and be built to the specifications of the Solid Waste Department's Enclosure Description. (Refuse, Planning, Fire)
39. Access to trash enclosures shall have an inside turning radius of 25 feet and an outside turning radius of 45 feet must be maintained to allow the refuse truck access to and from the enclosure. Enclosures must have a clear approach of 65 feet in front of the enclosure to allow servicing bins. (Refuse)
40. A trash enclosure and recycling enclosure is required for each building and each tenant, otherwise, the building owner is responsible for the trash service. (Refuse)
41. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
42. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting (Fire)
43. The Electric Department requires the submittal of the following information in order to complete the final electric design for the project:
 - a. one (1) set of improvement plans
 - b. load calculations
 - c. electrical panel one-line drawings
44. All on-site external lighting shall be installed and directed to have no off-site glare. Lighting within the parking areas and pedestrian walkways shall provide a maintained minimum of one (1) foot candle, and 0.5 foot candle of light, respectively. All exterior light fixtures shall be vandal resistant. (Planning & Police)
45. The parking lot shall have properly posted signs that state the use of the parking area is for the exclusive use of employees and customers of this project. (See California Vehicle Code Sections 22507.8, 22511.5, 22511.8, 22658(a), and the City of Roseville Municipal Code Section 11.20.110). The location of the signs shall be shown on the approved site plan. (Planning & Police)
46. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS:

47. Any backflow preventors visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventors shall be screened with landscaping and shall comply with the following criteria:
 - a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventor to the landscaping.
 - b. For maintenance purposes, the landscaping shall only be installed on three sides and the plant material shall not have thorns.
 - c. The control valves and the water meter shall be physically unobstructed.

- d. The backflow preventor shall be covered with a green cover that will provide insulation. (Planning, Environmental Utilities)
48. The following easements shall be provided by separate instrument and shown on the site plan, unless otherwise provided for in these conditions:
- a. A 20-foot wide public utilities easement along all road frontages.
 - b. Water, sewer, and reclaimed water easements.
 - c. Additional internal easements will be required to cover primary electrical facilities to the project when the final electrical design is completed. (Electric, Environmental Utilities)
49. Easement widths shall comply with the City's Improvement Standards and Construction Standards. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. All existing public utility, electric, water, sewer and reclaimed water easements shall be maintained unless otherwise authorized by these conditions of approval. (Public Works, Environmental Utilities, Electric)
50. Inspection of the potable water supply system on new commercial/ industrial/ office projects shall be as follows:
- a. The Environmental Utilities Inspector will inspect all potable water supply up to the downstream side of the backflow preventor.
 - b. The property owner/applicant shall be responsible for that portion of the water supply system from the backflow preventor to the building. The builder/contractor shall engage a qualified inspector to approve the installation of this portion of the water supply. The Building Division will require from the builder/ contractor, a written document certifying that this portion of the potable water supply has been installed per improvement plans and in accordance with the Uniform Plumbing Code. This certificate of compliance shall be submitted to the Building Division before a temporary occupancy or a building final is approved.
 - c. The building inspectors will exclusively inspect all potable water supply systems for the building from the shutoff valve at the building and downstream within the building. (Building, Environmental Utilities)
51. All improvements being constructed in accordance with the approved grading and improvement plans shall be accepted as complete by the City. (Engineering)
52. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Engineering)
53. If applicable, the applicant/developer shall prepare a Transportation Systems Management (TSM) Agreement for Dutch Brothers to be reviewed and approved by the City Manager. (Public Works, Alternative Transportation)
54. A deed restriction shall be recorded with the property that limits the use of the part of the structure that is below the base flood elevation to parking of vehicles, building access, or storage. (Public Works)

55. Water, sewer and reclaimed water shall be constructed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. (Environmental Utilities)
56. All water backflow devices shall be tested and approved by the Environmental Utilities Department. (Environmental Utilities)
57. **Restaurants or other Food Service Establishment (FSE).** The applicant shall design for installation and/or install an exterior grease interceptor if the proposed business could potentially discharge substances containing fats, oils and grease (FOG) into the sewer system. The grease interceptor shall be adequate to separate and remove FOG contained in the wastewater from FSE's prior to discharge to the public sewer. (Environmental Utilities)
58. In the event an exterior grease interceptor cannot be installed due to space limitation, the developer shall install a grease trap, per City Standards, that will mechanically separate the FOG contained in the wastewater from the FSE prior to discharge to the public sewer. (Environmental Utilities)
59. Pursuant to the Municipal Code, the applicant shall apply for and obtain a FOG waste discharge permit (FOG WDP) from the Environmental Utilities Industrial Waste Division prior to occupancy or prior to discharging waste to the public sewer. The applicant shall submit information required by the Environmental Utilities Department for evaluation, including but not limited to: site plans, floor plans, mechanical and plumbing plans, and details to show all sewers, FOG control device, grease interceptor or other pretreatment equipment and appurtenances by size, location and elevation. Additional information related to the applicant's business operations and potential discharge may be requested to properly evaluate the FOG WDP application. (Environmental Utilities)
60. All Electric Department facilities, including streetlights where applicable, shall be designed and built to the "City of Roseville Specifications for Commercial Construction." (Electric)
61. The City of Roseville Electric Department has electrical construction charges which are to be paid by the developer and which are explained in the City of Roseville "Specification for Commercial Construction." These charges will be determined upon completion of the final electrical design. (Electric)
62. Any relocation, rearrangement, or change of existing electric facilities due to this development shall be at the developer's expense. (Electric)
63. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
64. All electric metering shall be directly outside accessible. This can be accomplished in any of the following ways:
 - a. Locate the metered service panel on the outside of the building.
 - b. Locate the metered service panel in a service room with a door that opens directly to the outside. The developer will be required to provide a key to the door for placement in a lock box to be installed on the outside of the door. Any doors leading from the service room to other areas of the building shall be secured to prohibit unauthorized entry.
65. One 3/4" conduit with a 2-pair phone line shall be installed from the buildings telephone service panel to the meter section of the customer's electrical switchgear or panel. (Electric)

66. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)

OTHER CONDITIONS OF APPROVAL:

67. Signs shown on the elevations are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)
68. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
69. The City reserves the right to restrict vehicle turning movements within the public right-of-way in the future if deemed necessary by the City Engineer. (Public Works)
70. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)
71. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)
72. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor or person responsible for the building permit must notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. (Fire)
73. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
74. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)
75. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Department Field Inspector at the time of or prior to the foundation inspection. (Building)
76. Prior to Certificate of Occupancy, the applicant may apply for a Temporary Certificate of Occupancy (TCO) of the building. If a TCO is desired, the applicant must submit a written request to the Building Division a minimum of thirty (30) days prior to the expected temporary occupancy date and shall include a schedule for occupancy and a description of the purpose for the Temporary Occupancy. (Building)

Attachment

1. Colors & Materials

Exhibits

- A. Site Plan
- B. Trash Enclosure and Site Details
- C. Floor Plan
- D. Elevations
- E. Grading & Drainage Plan
- F. Landscape Plan
- G. Photometric Plan

Note to Applicant and/or Developer: Please contact the Planning Division staff at (916) 774-5276 prior to the Committee meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Committee in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.

DUTCHBROS



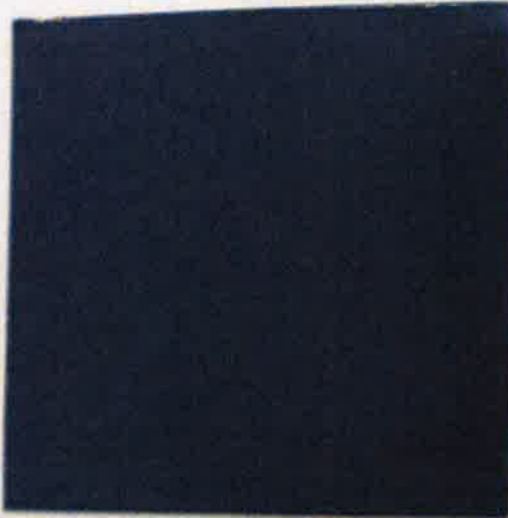
Sunrise Ave., Roseville, CA 95661

5ft Alpine LedgeStone Black Rundle



Split Face CMU, Color 225

AEP Span Metal Siding
Color: Pacific Blue



Gray Paint

Metal doors and window frames



Alan S. Chambers
Eagle Architects
349 Silver Lake Dr.
Chico, CA 95973
(530) 898-0123
August 2017

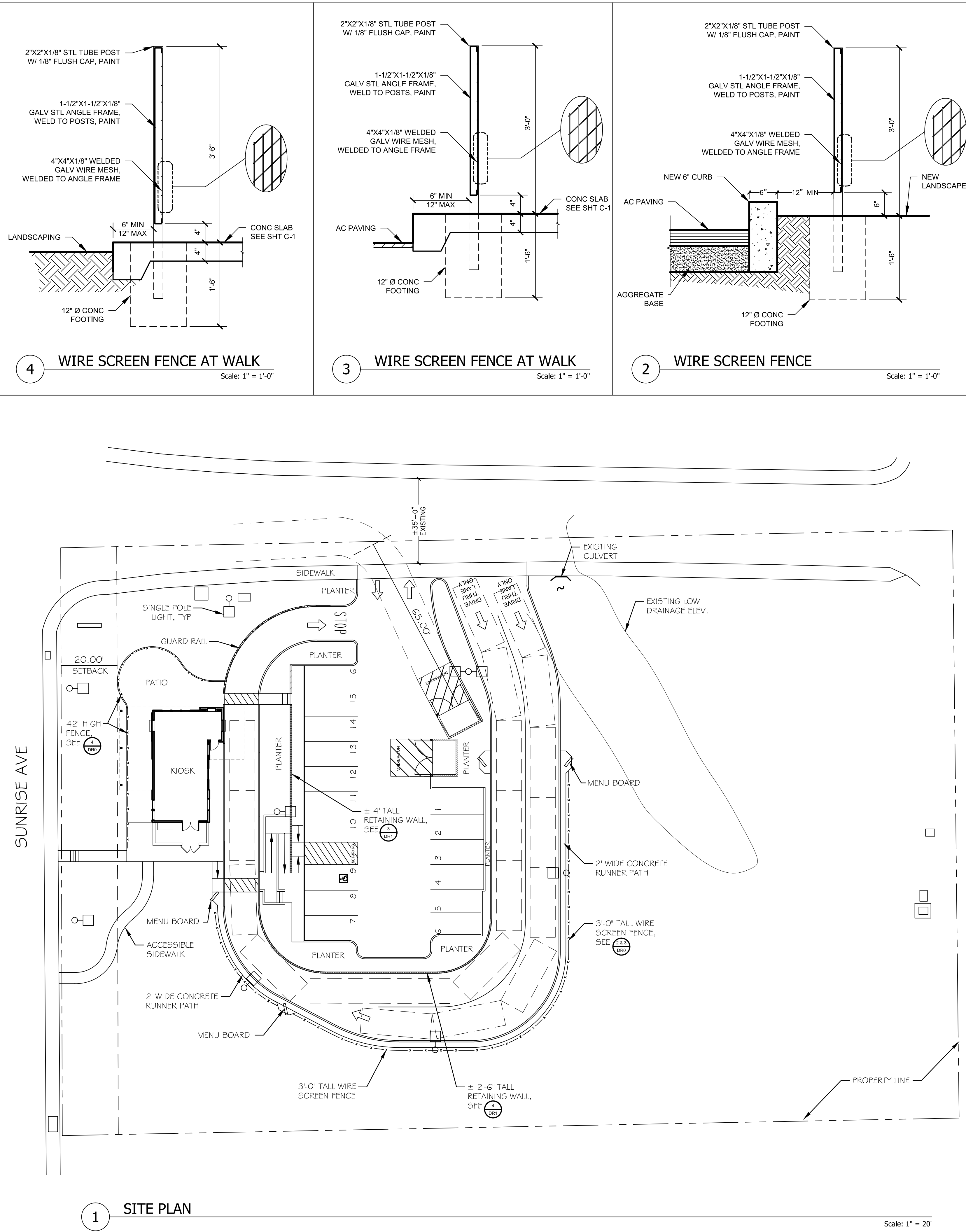
ATTACHMENT 1

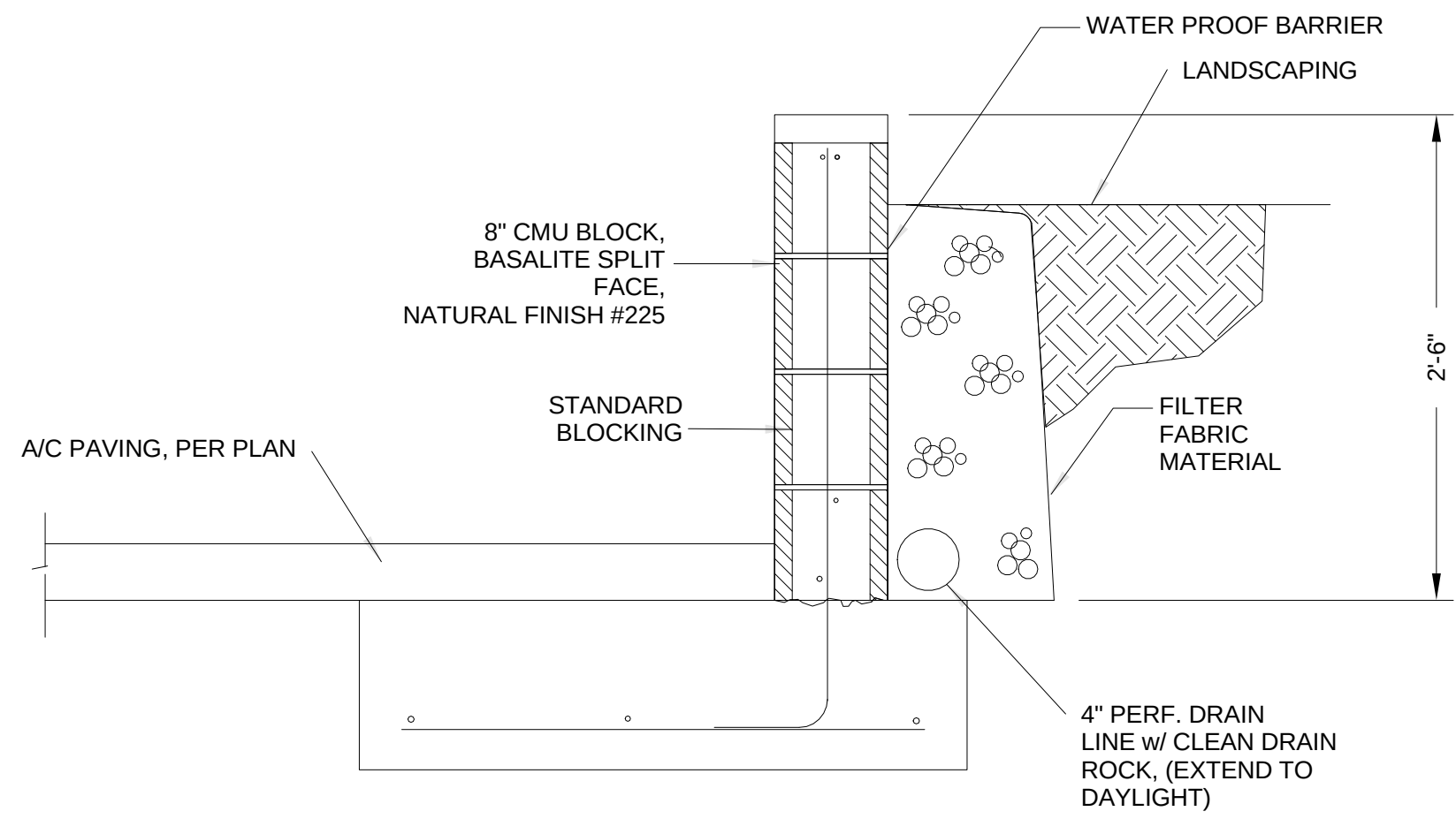


NewTechWood Shadowline US31 Building Siding

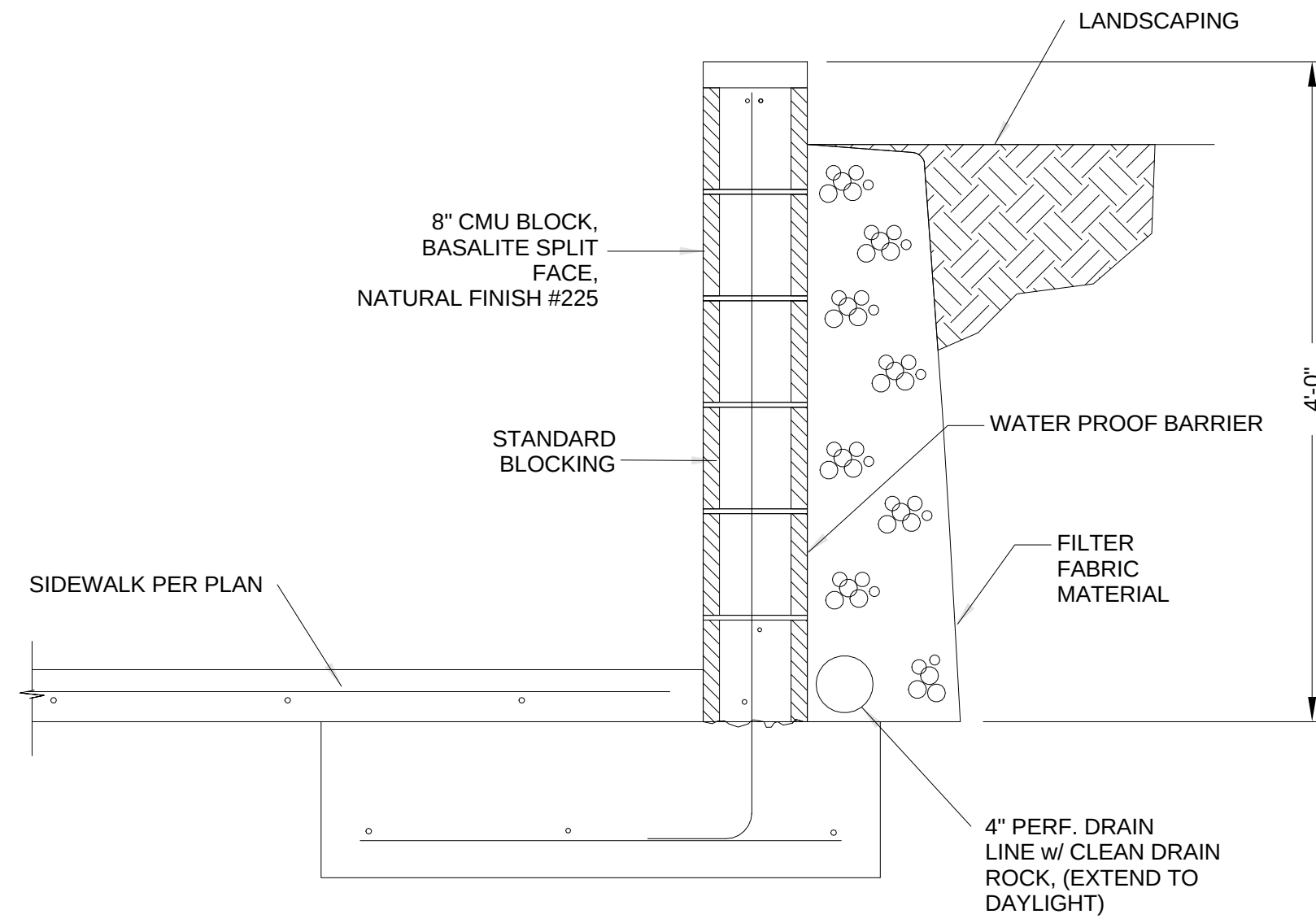
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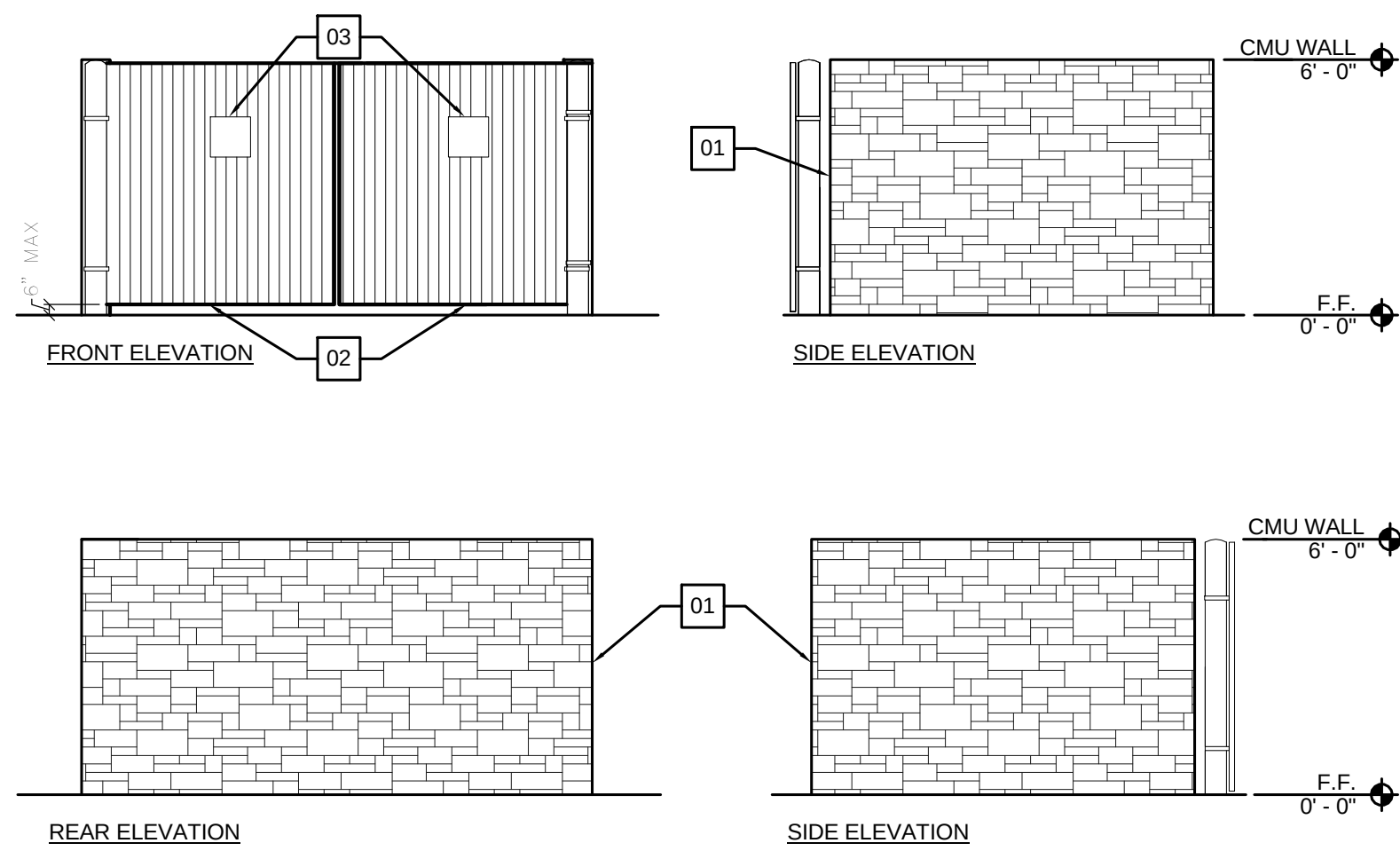


④ 2'-6" Retaining Wall
1" = 1'-0"

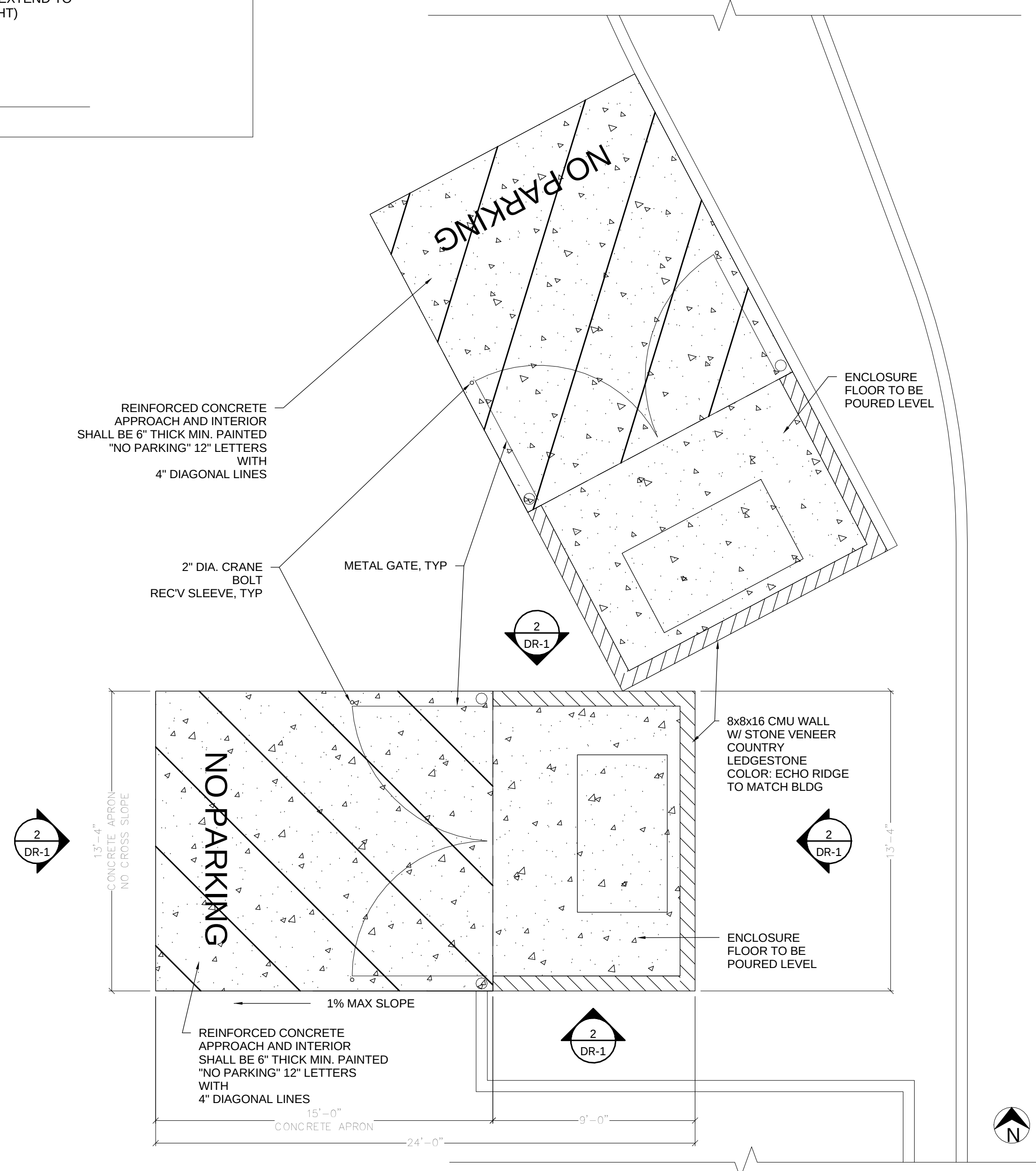


③ 4'-0" Retaining Wall
1" = 1'-0"

TRASH ENCLOSURE ELEVATION KEYNOTES	
KEY	DESCRIPTION
1	8" PRECISION SMOOTH FACE CMU WALL W/ STONE VENEER, COUNTRY LEDGESTONE, COLOR: ECHO RIDGE TO MATCH BLDG
2	CORRUGATED METAL PANEL TRASH ENCLOSURE DOORS, PAINT COLOR #2, GRAY
3	"NO PARKING ANY TIME" SIGN EACH GATE



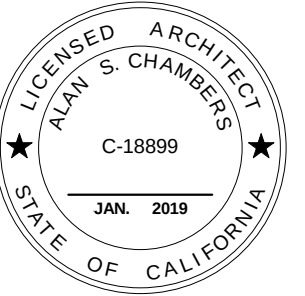
② NEW TRASH ENCLOSURE EXTERIOR ELEVATIONS
SCALE: 1/4" = 1'-0"



① NEW TRASH ENCLOSURE PLAN
SCALE: 1/4" = 1'-0"

Eagle Architects
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS. SUNRISE
715 SUNRISE AVENUE
ROSEVILLE, CA 95661

No.	Description	Date

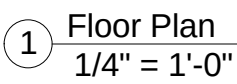
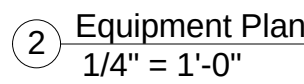
DUTCH BROS. COFFEE

Trash Enclosure Plan,
Elevations, and Site
Details

Project number	1516
Date	06/19/17
Drawn by	KC
Checked by	AC

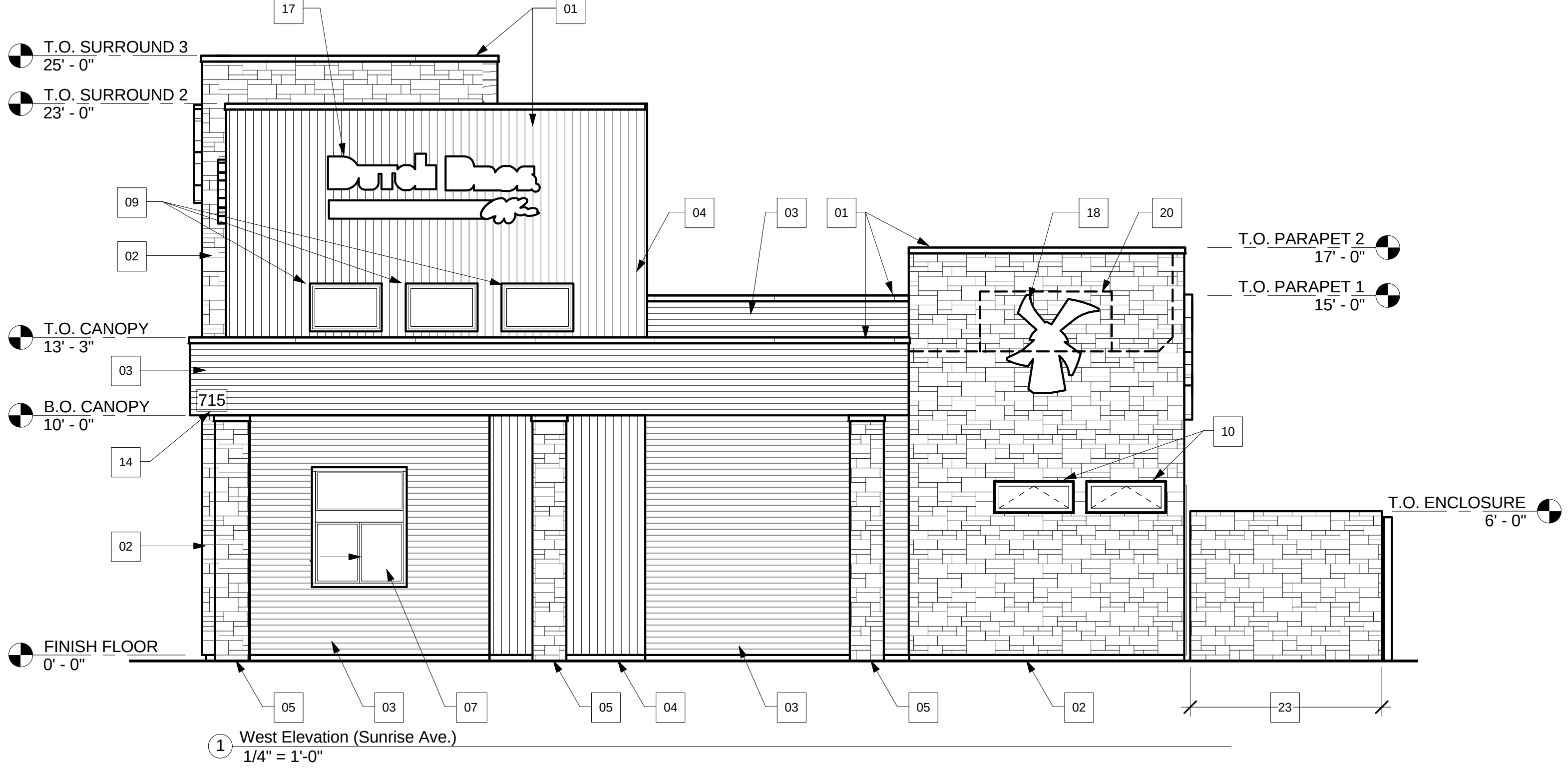
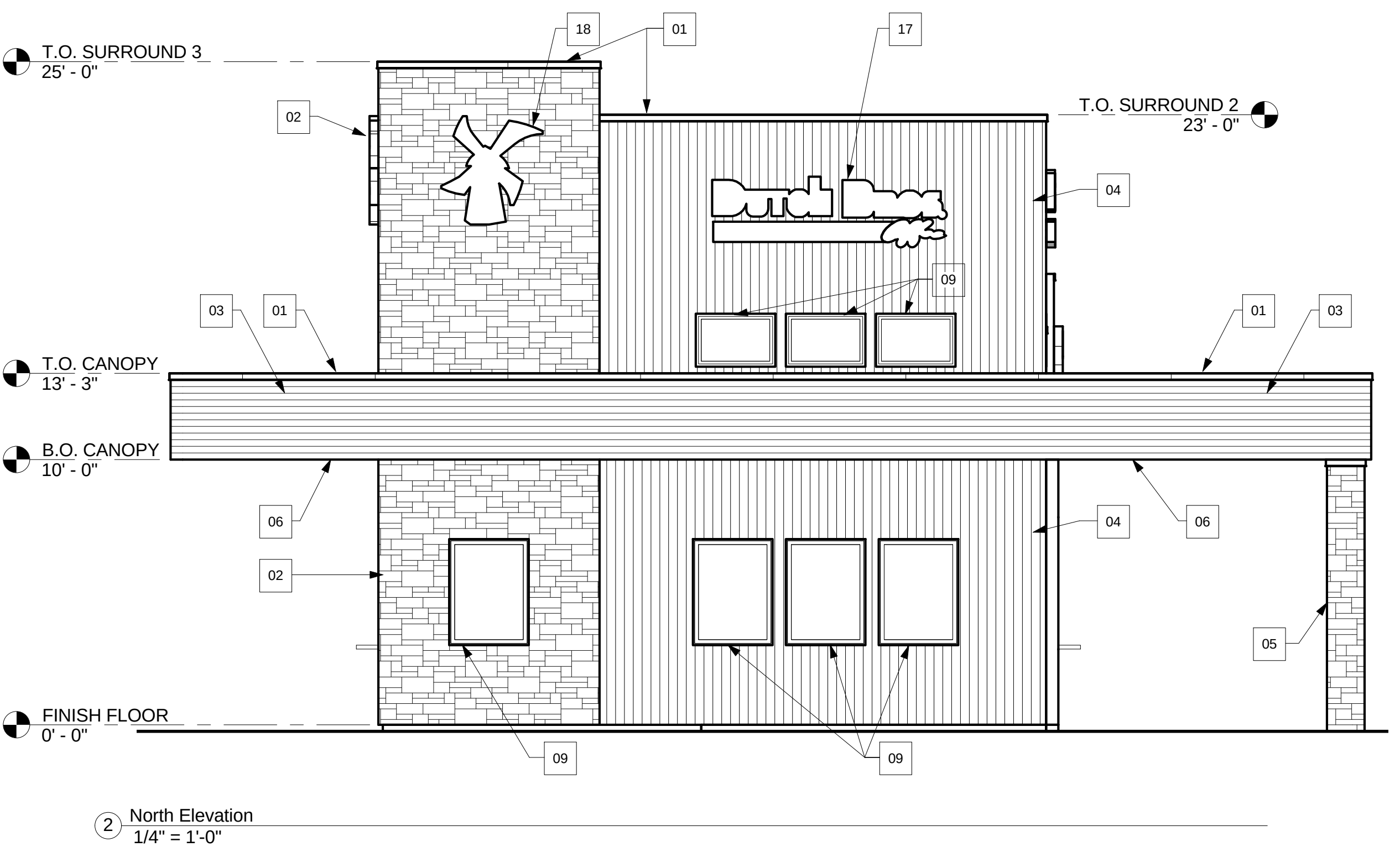
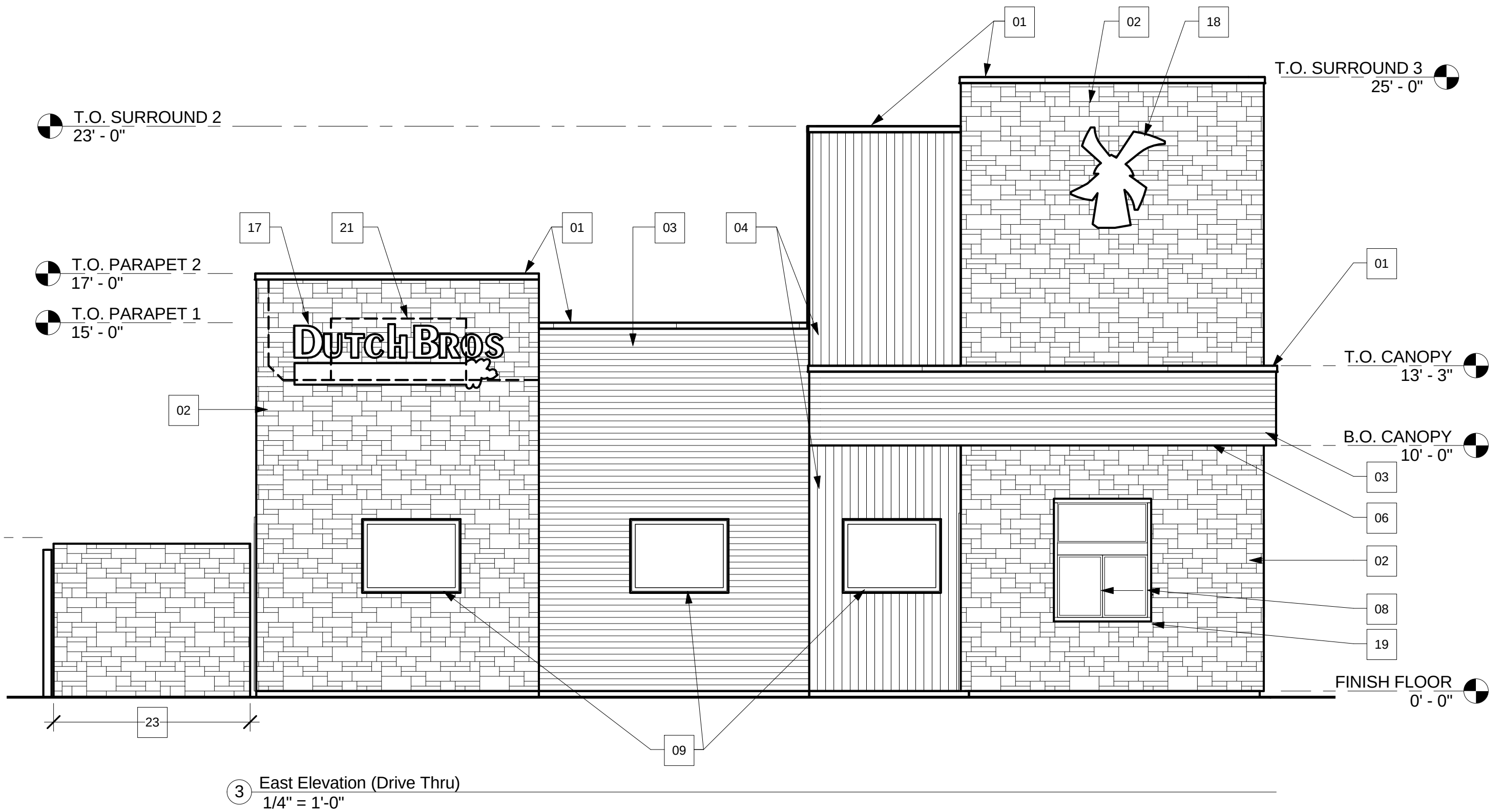
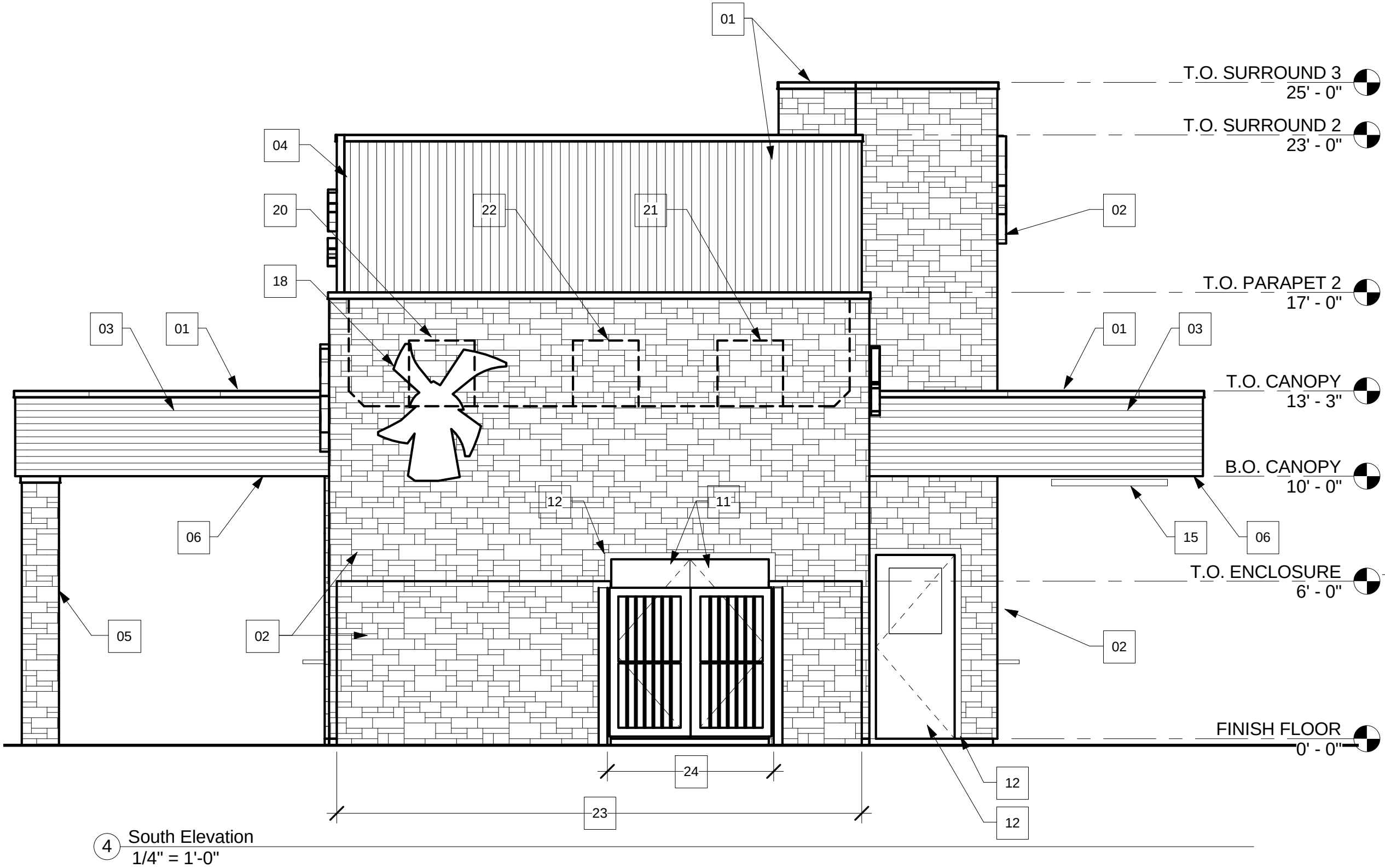
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Scale As indicated



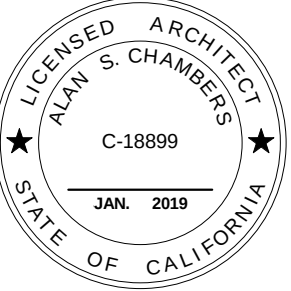
Scale $1/4" = 1'-0"$

SETONYEK NOITAVELE KSOIK					
KEY	DESCRIPTION	KEY	DESCRIPTION	KEY	DESCRIPTION
01	MBCI - METAL WALL AND ROOF SYSTEMS, 24 GA/ PRE-FINISHED METAL COPING CAP AND FLASHING, COLOR: PACIFIC BLUE	10	AWNING WINDOW, GRAY	19	STAINLESS STEEL SERVICE COUNTER, NOT TO EXCEED 34" AFF MAX. PER SECTION 11B-226.3
02	STONE VENEER: BORAL CULTURED STONE, COUNTRY LEDGESTONE, COLOR: BLACK RUNDLE	11	HOLLOW METAL DOOR W/ GLAZING, PAINT COLOR #2, GRAY	20	WALK-IN COOLER ROOF MOUNTED CONDENSER
03	NEW TECH WOOD: SHADOWLINE, COLOR: LIGHT GRAY	12	HOLLOW METAL DOOR FRAMES, PAINT COLOR #2, GRAY	21	ICE MACHINE ROOF MOUNTED CONDENSER
04	AEP SPAN, CLIP SYSTEM VERTICAL SIDING, COLOR: PACIFIC BLUE	13	ELECTRICAL SWITCHBOARD, MFR GRAY COLOR (SHOWN DASHED)	22	HVAC CONDENSER
05	6" TUBULAR STEEL POST WITH STONE VENEER: BORAL CULTURED STONE, COUNTRY LEDGESTON, COLOR: BLACK RUNDLE	14	ILLUMINATED AERO-LITE ADDRESS SIGN W/ 6" HIGH ADDRESS NUMBERS, COLOR: WHITE, NUMBERS SHALL CONTRAST WITH BACKGROUND COLOR & READILY VISIBLE FROM STREET	23	8" CMU WALL SMOOTH FACE WALL W/ BORAL COUNTRY LEDGESTONE VENEER, COLOR: ECHO RIDGE TO MATCH BUILDING
06	SOFFIT: MBCI - METAL WALL AND ROOF SYSTEM, 26 GA, CORRUGATED PANE (EXPOSED FASTENER), COLOR: GALVALUME	15	3" TALL CLEARANCE SIGN, COLOR DB BLUE W/ WHITE LETTERS	24	2" TUBULAR STEEL 2 - 3'-0" GATES W/ MESH, PAINT COLOR #2, GRAY
07	WALK-UP HORIZONTAL SLIDING WINDOW, COLOR: GRAY	16	NOT USED	25	STEEL BOLLARDS, PAINT COLOR #1, BLUE
08	DRIVE-THRU SLIDING WINDOW, READY ACCESS 275 W/ EXTERIOR MOUNTED FLY FAN, COLOR: GRAY	17	INTERNALLY LIT DUTCH BROS COFFEE SIGN PROVIDED AND INSTALLED BY TENANT		
09	FIXED WINDOW, GRAY	18	INTERNALLY LIT DUTCH BROS WINDMILL LOGO SIGN PROVIDED AND INSTALLED BY TENANT		



Eagle Architects
349 Silver Lake Drive
Chico, CA 95973
530-898-0123

ALAN CHAMBERS
Architect



DUTCH BROS. SUNRISE
715 SUNRISE AVENUE
ROSEVILLE, CA 95661

No.	Description	Date

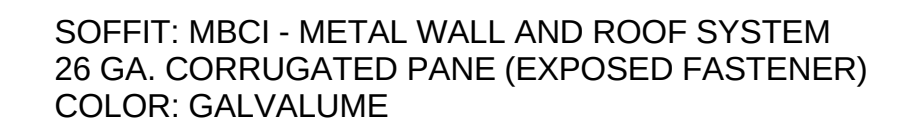
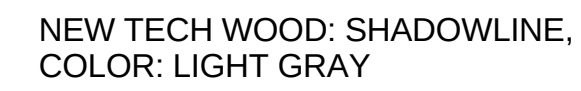
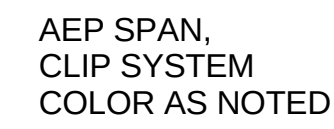
DUTCH BROS. COFFEE

EXTERIOR ELEVATIONS

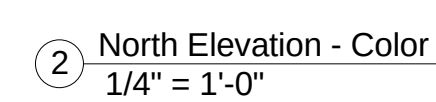
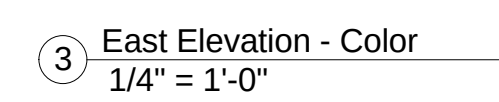
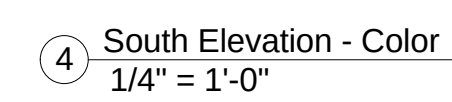
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Date	06/19/17
Drawn by	KC
Checked by	AC

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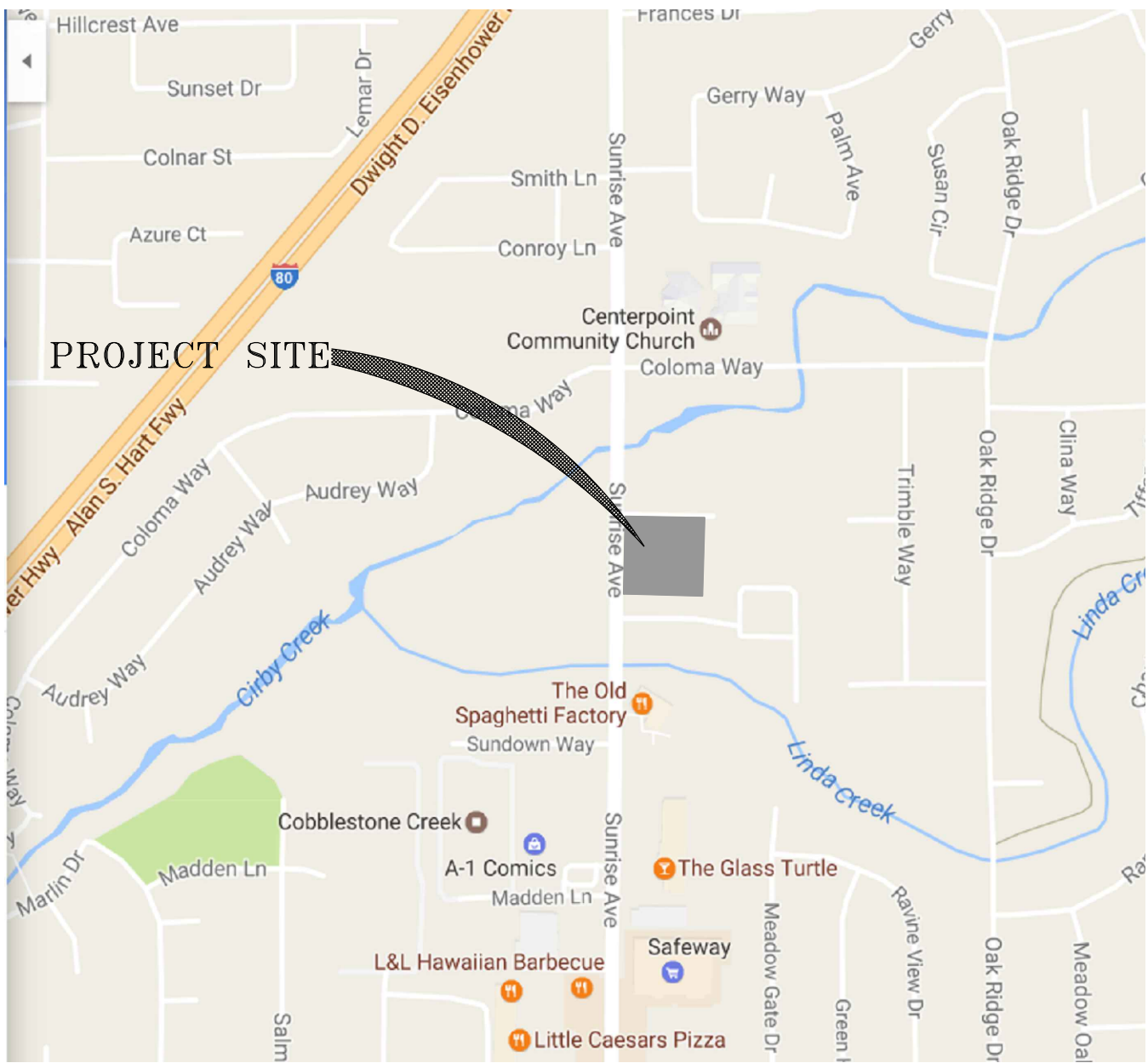
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Scale	1/4" = 1'-0"
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715 SUNRISE AVE
ROSEVILLE, CA 95661
OWNER
BRIAN PLACE
DUTCH BROS. COFFEE OF GRANITE
BAY AND ROSEVILLE

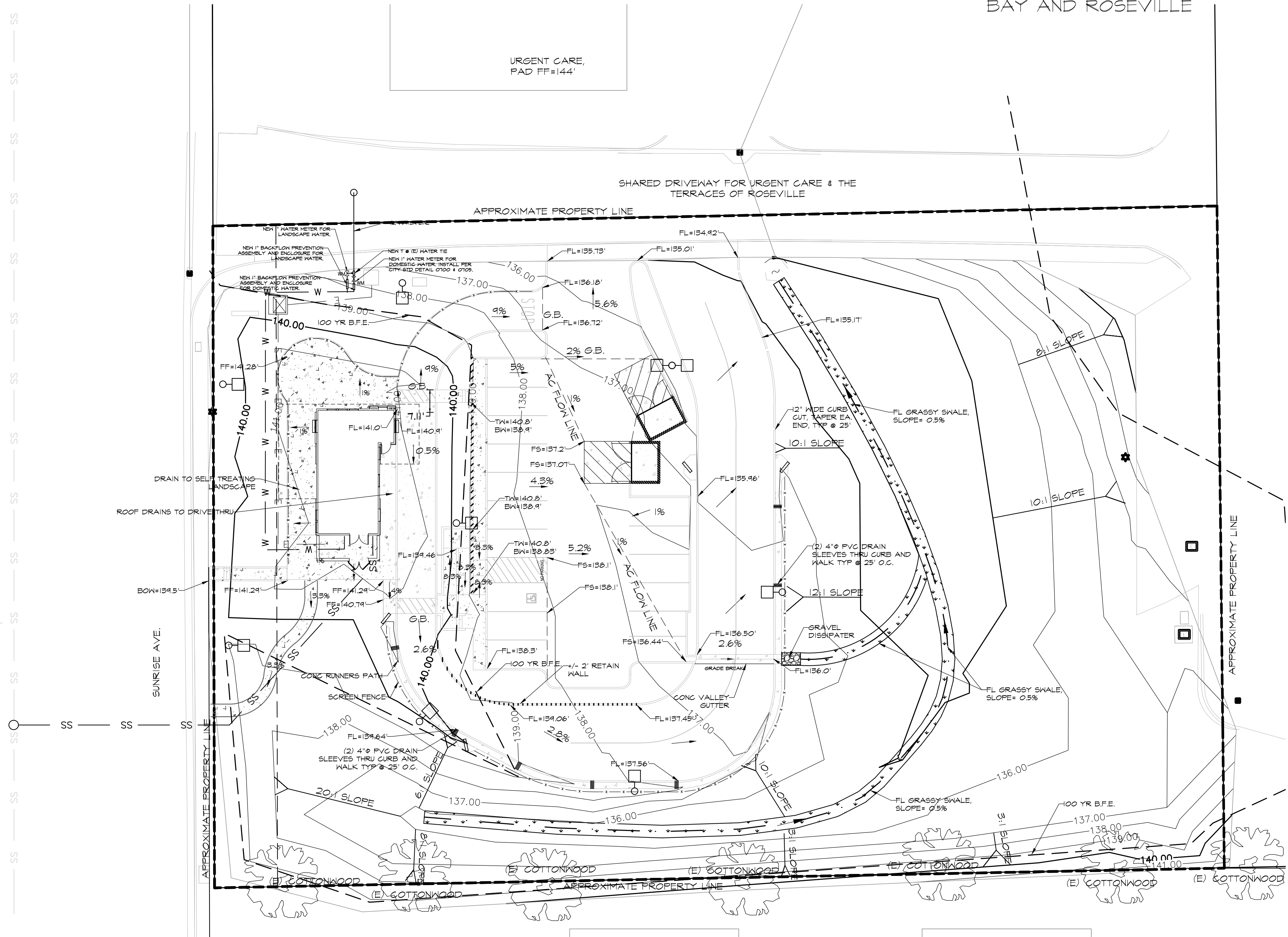


LEGEND

- PROPOSED MINOR GROUND CONTOUR (CONTOUR INTERVAL = 2.0')
- PROPOSED MAJOR GROUND CONTOUR (CONTOUR INTERVAL = 10.0')
- EXISTING MINOR GROUND CONTOUR (CONTOUR INTERVAL = 2.0')
- EXISTING MAJOR GROUND CONTOUR (CONTOUR INTERVAL = 10.0')
- PROPOSED FLOWLINE
- (E) SEWER
- NEW SEWER
- (E) STORM DRAIN
- PROPOSED ADA
- (E) TREE

GRAPHIC SCALE

(IN FEET)
1 inch = 20 ft.



- PRELIMINARY STORMWATER QUALITY:**
1. COMMERCIAL DEVELOPMENT:
 - 1.1. TOTAL AREA: 1.54 AC
 - 1.2. IMPROVEMENT AREA: 0.39 AC
 - 1.3. IMPERVIOUS SURFACE: 0.34 AC
 - 1.4. RECEIVING WATER: CIRBY CREEK
 2. SOURCE CONTROL MEASURE:
 - 2.1. NOT REQUIRED. IN ROSEVILLE, SOURCE CONTROL ONLY REQUIRED FOR COMMERCIAL AND INDUSTRIAL PROJECTS OF 100,000 SF OR GREATER.
 3. RUNOFF REDUCTION:
 - 3.1. DISCONNECTED PAVEMENT
 - 3.2. DISCONNECTED ROOF DRAINS
 - 3.3. INTERCEPTOR TREES
 4. TREATMENT REQUIREMENTS:
 - 4.1. VEGETATED SWALE

STORMWATER STATEMENT:

THE EXISTING SITE HAS AN ASPHALT PARKING LOT, 12,200 SQ.FT. IN SIZE. THE EXISTING PARKING LOT IS TO BE REMOVED AND A DUTCH BROS DRIVE THRU COFFEE KIOSK IS TO BE BUILT. STORMWATER TO SHEET FLOW FROM PARKING LOT AND DRIVE THRU TO THE LANDSCAPE AND VEGETATED SWALE TO THE EAST THRU CURB CUTS AND SLEEVED INSERTS THRU CONC SIDEWALK. THE ROOF DOWN SPOUTS ARE TO BE DISCONNECTED AND DRAIN TO DRIVE THRU LANE THAT IS ROUTED TO THE VEGETATED SWALE. VEGETATED SWALE TO FLOW TO EXISTING CULVERT AT NORTH AND DRAIN TO CITY STORMWATER

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CALL TWO WORKING
DAYS BEFORE YOU DIG.
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PRELIMINARY GRADING PLAN

1"=20'

- FLOOD PLAIN NOTES:**
1. SITE GRADING SHALL NOT ADVERSELY AFFECT LOCAL FLOOD PLAIN.
 2. NO NET INFILL IS TO BE IMPORTED INTO FLOOD PLAIN.
- GRADING NOTES:**
1. CUTS AND FILLS TO FINISHED SURFACE SHALL BE BALANCED OR NET CUT.
 2. MATERIAL IMPORTED FOR BASE AND PAVING SHALL HAVE EQUAL AMOUNTS REMOVED FROM FLOOD PLAIN (SEE TOTAL YDS CUT FROM GRADING TABLE ABOVE).

LOT : 67,012 SQFT
1.54 ACRES

HARDSCAPE COVERAGE:

(E) AC PAVING: 12,200 SQ.FT.
NEW:
CONC: 9,200 SQFT
CONC: 4,020 SQFT
ROOF COVERAGE: 1,280 SQFT,
TOTAL HARDSCAPE: 14,500 SQFT (63%)

GRADING:
CUT: 1315 CU.YDS
FILL: 915 CU.YDS
TOTAL: 400 YDS CUT

GRADING VOLUMES ARE AN ESTIMATE FROM EXISTING GROUND PRIOR TO ANY SITE WORK TO FINISHED SURFACE INCLUDING IMPORT OF BASE AND ASPHALT/ CONCRETE. EXCESS CUT WILL BE USED ONSITE DUE TO COMPACTION EFFORTS.

THESE VOLUMES SHALL NOT BE USED FOR BIDDING OR CONSTRUCTION PURPOSES. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO DETERMINE VOLUMES REQUIRED FOR IMPORT/ EXPORT.

PRELIMINARY
GRADING AND
DRAINAGE PLAN

DUTCH BROS
ROSEVILLE
715 SUNRISE AVE
ROSEVILLE, CA

RANCHO
Engineering, Inc.

CIVIL - STRUCTURAL - SEPTIC DESIGN
6067 SKYWAY, PARADISE, CA 95969
Phone: (530) 877-3700
Fax: (530) 877-3700



RANCHO ENG. JOB: 15-052

DRAWN BY: FAS

CKD BY: JPH

DATE: 06/13/17

REVISION: 1

DRAWING NUMBER

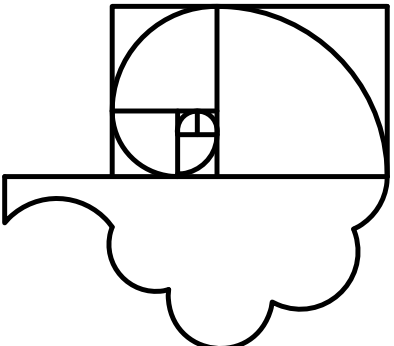
CO.

EXHIBIT F

THIRD SHOE, INC.

349 Silver Lake Drive
Chico, CA 95973
916-898-0123

ALAN CHAMBERS
Architect



THOMAS H. PHELPS
LANDSCAPE ARCHITECTURE
THPLA, inc.

California Landscape Architect #4122
P.O. BOX 8328
Chico, CA 95927-8328
(530)892-8897 fax (530)892-9588
tlhphelp@sbccglobal.net

DUTCH BROS. COFFEE
715 SUNRISE AVENUE
ROSEVILLE, CA

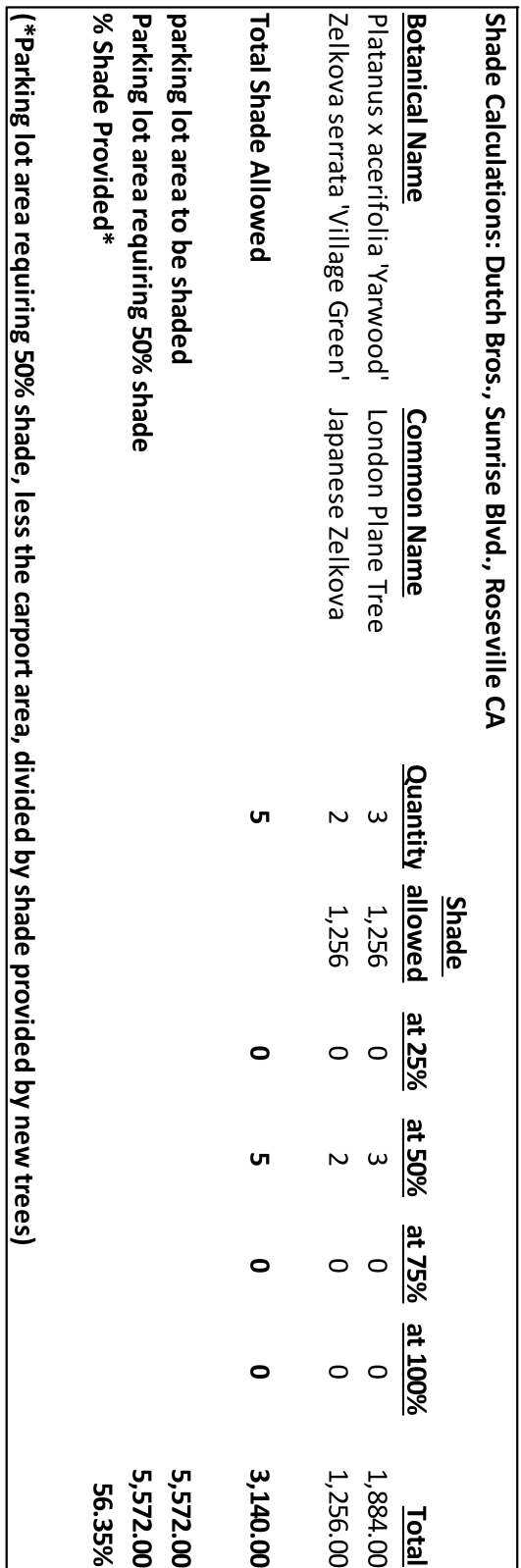
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DUTCH BROS
COFFEE

PLANTING PLAN

Project number	15
Date	20 JUN 20
Drawn by	TH
Checked by	A

Scale 1" = 20'

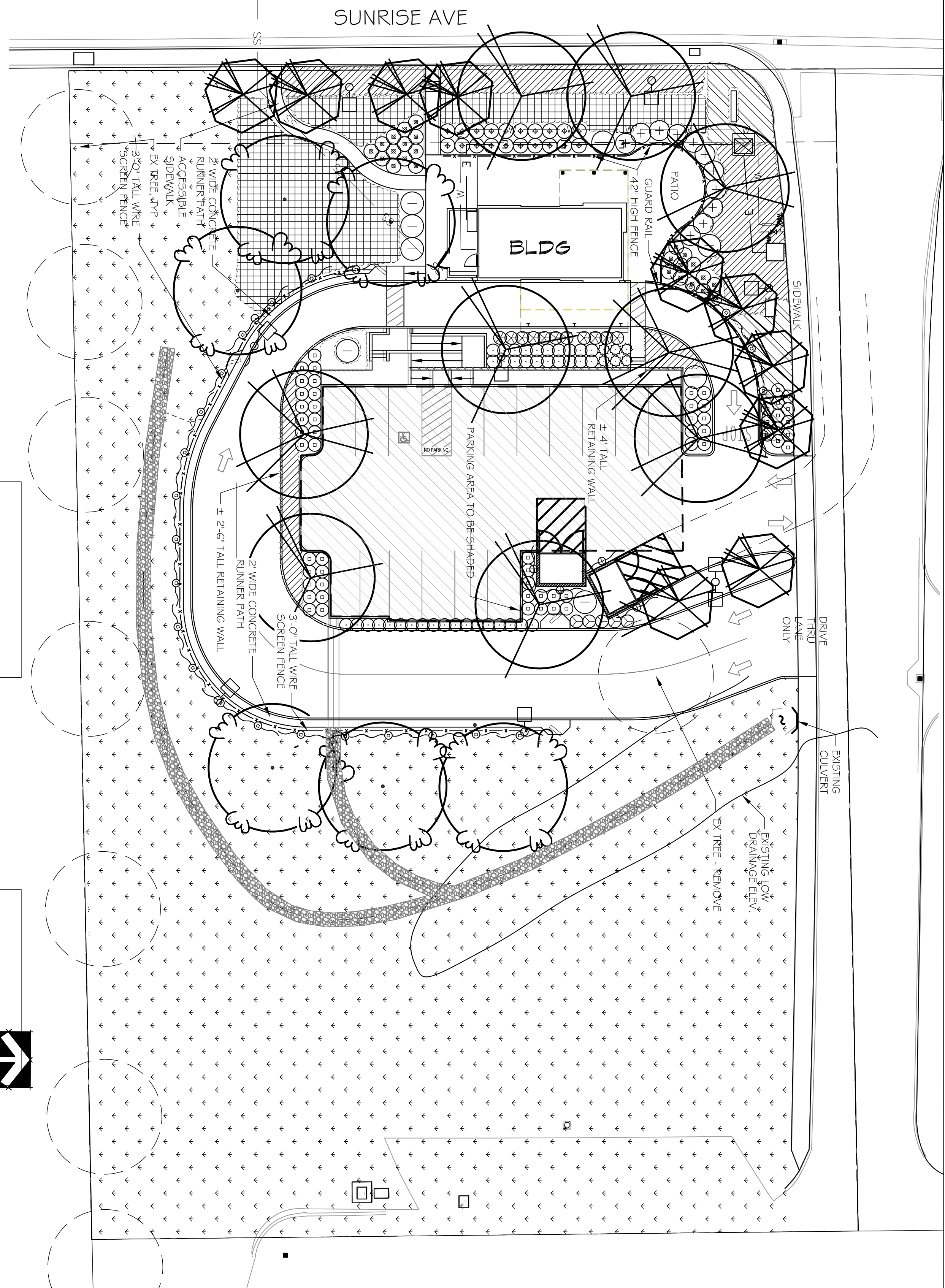


PLANT LEGEND							
Key	Botanical Name - Common Name	Qty.	Size	***PF	Symbol	GROWD COVERS	
TREES							
T1	Lagerstroemia x faurieri 'Natchez' - 'White Crape Myrtle'	#15	L	—		6C1	#1 L Lantana montevardensis - Purple Trailing ground Cover Plant gpl. @ 36" o.c.
T2	Platanus x acerifolia 'Vermorel' - London Plane Tree	#15	L	—		6C2	#1 V1 Baccharis pilularis 'Centenarii' - Coyote Bush Plant gpl. @ 36" o.c.
T3	Zelkova serrata 'Green Vase' - Green Vase Japanese Zelkova	#15	L	—		6C3	#1 L Rosmarinus officinalis 'Prostratus' - Trailing Rosemary Plant gpl. @ 36" o.c.
T4	Quercus lobata - Valley Oak	#15	M	—		6C4	#1 L Myoporum parvifolium - Myoporum plant #1 @ 36" o.c. Plant gpl. @ 36" o.c.
SHRUBS							
S1	Clusia purpurea - Purple Rock Rose	#5	L	—		6C5	#1 ORNAMENTAL, LOW GROWING NATIVE MIX (non irrigated) 545 Seeds Inc. Phone: (805) 664-0436 Fax: (805) 664-2789
S2	Chamaecyparis stricta 'Mantoloking Tea Tree'	#5	L	—		6C6	#1 Liantinus graciliflorus
S3	Berberis aquifolium 'Repens' - Creeping Monarda	#5	L	—		6C7	#1 Lantana hirsutissima (stinging lup)
S4	Nandina domestica 'Compacta' - Compact Heavenly Bamboo	#5	L	—		6C8	#1 Lantana hirsutissima (stinging lup)
S5	Raphiolepis indica 'Ballerina' - Dwarf Pink India Hawthorne	#5	L	—		6C9	#1 Lantana hirsutissima (stinging lup)
S6	Teucrium fruticosum - Germander	#5	L	—		6C10	#1 Lantana hirsutissima (stinging lup)
S7	Moringa fruticosa 'Morning Light'	#5	L	—		6C11	#1 Lantana hirsutissima (stinging lup)
PERENNIALS							
P1	Dietes vegeta - Fortnight Lily	#1	L	—		6C12	#1 Lantana hirsutissima (stinging lup)
P2	Tiburgia violacea - Society Garlic	#1	L	—		6C13	#1 Lantana hirsutissima (stinging lup)
VINES							
V1	Solanum pumila - Creeping Fig	#1	M	—		6C14	#1 Lantana hirsutissima (stinging lup)
V2	Solanum jasminoides - Potatoe Vine	#5	M	—		6C15	#1 Lantana hirsutissima (stinging lup)

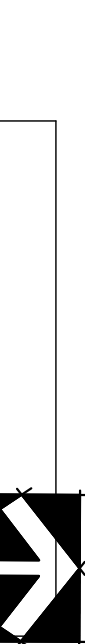
Note: *Contractor to verify all quantities from plan. Plant legend is for reference only
Note: ** PF: WCOLS IV Species Evaluation List-2014

PLANT LEGEND

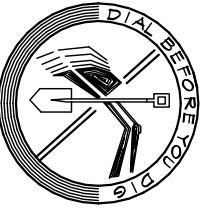
Key	Botanical Name - Common Name
TEES	
T1	Lagerstroemia x fauriei 'Natchez' - 'Mile Crape Myrtle'
T2	Platanus x acerifolia 'Vermood' - London Plane Tree
T3	Zelkova serrata 'Green Vase' - Green Vase Japanese Zelkova
T4	Quercus laevis - Valley Oak
SHRUBS	
S1	Cistus purpureus - Purple Rock Rose
S2	Leptodermis laevigatum 'Revealit' - Australian Tea Tree
S3	Lebanon Cedar - Lebanon Cedar
S4	Lebanon Cypress - Creeping Lebanon Cedar
S5	Neurospora indica 'Ballerina' - Dwarf Pink India Hawthorne
S6	Turcica fruticans - German
S7	Nerium fruticosum 'Morning Light'
PERENNIALS	
P1	Dietes vegeta - Fortnight Lily
P2	Tulbanga violacea - Society Garlic
VINES	
V1	Ficus pumila - Creeping Fig
V2	Solanum jasminoides - Fuchsia Vine



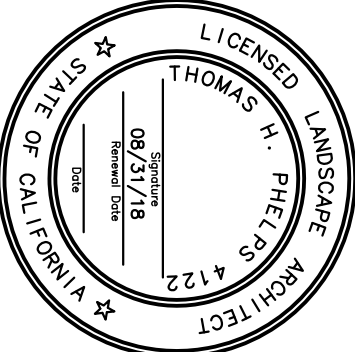
PLANTING PLAN



SCALE=1:20



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TWO WORKING DAYS BEFORE YOU DIG

Project Location:

[illegible]

ELECTRICAL
SITE PLAN
PHOTOMETRIC

Project number	XXXX
Date	XX/XX/XX
Drawn by	EDGE
Checked by	EDGE

E1.2

Scale	AS SHOWN
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LUMINAIRE SCHEDULE							
TYPE	MANUFACTURER/CATALOG	DESCRIPTION	MOUNTING	LAMP TYPE	VOLTS	WATTS	
A	LITHONIA LIGHTING DSXO LED 40C 1000 50K T5M MVOLT PIRH HS DDBXD	OUTDOOR LED POLE	POLE	LED	208	137.17	
A2	LITHONIA LIGHTING DSXO LED 40C 1000 50K T5M MVOLT PIRH HS DDBXD	OUTDOOR LED POLE	POLE	LED	208	274.34	(2) HEADS
B	LITHONIA LIGHTING DSXOLED 40C 1000 50K T1S MVOLT PIRH HS DDBXD	OUTDOOR LED POLE	POLE	LED	208	137.17	

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone		2.9 fc	8.7 fc	1.0 fc	8.7:1	2.9:1

