



AGENDA

August 8, 2019

PLANNING COMMISSION MEETING

7:00 p.m.

Council Chambers
311 Vernon Street
Roseville, California
www.roseville.ca.us

THE CITY OF ROSEVILLE WELCOMES YOUR PARTICIPATION

If an agenda item is open to public comment, such public comment shall be addressed to the chair of the meeting.

Public Comment - Speakers have three minutes under Public Comment to speak on issues that are not listed on the agenda and are within the City's jurisdiction. The Brown Act does not permit any action or discussion on items not listed on the agenda.

Consent Calendar - If applicable, the Consent Calendar consists of routine items that may be approved by one motion. Any person can remove an item from the Consent Calendar to be discussed separately.

Agenda Items - Speakers have five minutes to address items that are listed on the agenda.

Americans with Disabilities Act - Notify the City Clerk or Secretary at least 72 hours in advance if special assistance is required to participate in a meeting including the need of auxiliary aids or services.

Audio/Visual Presentations - If making a presentation regarding an agenda item, audio/visual materials must be submitted to the City Clerk or Secretary at least 72 hours in advance.

Roseville City Clerk 311 Vernon Street, Roseville, CA 916-774-5200 TDD 916-774-5220

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PLEDGE OF ALLEGIANCE**
4. **PUBLIC COMMENTS**
5. **CONSENT CALENDAR**
 - 5.1. Minutes of July 11, 2019

6. REQUESTS/PRESENTATIONS

6.1. SRSP PCL 14 - Life Time Fitness Modification - 1435 E Roseville Parkway - File PL19-0193

REQUEST

The applicant requests approval of a Conditional Use Permit Modification to modify the operational conditions at Life Time Fitness. The modifications include expanded hours of operation for the main building and for outdoor lap swimming, and the allowance of outdoor music on three specific holidays and during one Yoga Under the Stars event each year.

Applicant: Marcus Lo Duca, Law Office of Marcus J. Lo Duca, PC
Property Owner: Angelo G. Tsakopoulos, Tsakopoulos Investments, LLC

RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact and approve the Conditional Use Permit Modification subject to four (4) conditions of approval.

6.2. NIPA PCL CO-12 - Campus Oaks CO-12 Phase 1 - 6300 Campus Parkway - File PL19-0177

REQUEST

The applicant requests approval of a Tentative Subdivision Map to create 15 small lot single-family parcels, a Major Project Permit Stage 2 for residential architecture, and an Administrative Permit to transfer two units from parcel CO-1 to CO-12 within the Campus Oaks Master Plan. The unit transfers will not change the number of units within a transferring or receiving parcel by more than 20-percent.

Applicant/Property Owner: Stephen Des Jardins, BBC Roseville Oaks LLC

RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the three (3) findings of fact and approve the Tentative Subdivision Map subject to fifty-two (52) conditions of approval.
- B. Adopt the two (2) findings of fact and approve the Major Project Permit Stage 2 subject to twenty-five (25) conditions of approval.
- C. Adopt the three (3) findings of fact and approve the Administrative Permit subject to one (1) condition of approval.

6.3. WRSP PCL F-81 - Fiddymment Plaza - 4701 Fiddymment Road - PL19-0013

The applicant has requested that this project be withdrawn from the Agenda.

7. BOARD MEMBER / COMMISSIONER / STAFF REPORT

7.1. Planning Commission Meeting Start Time

REQUEST

City Council has requested that the Planning Commission reconsider changing the Planning Commission Meeting start time.

RECOMMENDATION

Staff recommends the Planning Commission discuss modifications to the start time of Commission meetings and determine whether to request the City Council maintain or modify the current Planning Commission start time.

8. ADJOURNMENT



PLANNING COMMISSION COMMUNICATION

Title: Minutes of July 11, 2019
Contact: Lupe Nelson, lnelson@roseville.ca.us, 916-774-5281

Meeting Date: 8/8/2019
Item #: 5.1.

ATTACHMENTS:

Description

Minutes of July 11, 2019



MINUTES

July 11, 2019

PLANNING COMMISSION MEETING

7:00 p.m.

Council Chambers
311 Vernon Street
Roseville, California
www.roseville.ca.us

1. CALL TO ORDER

Vice-Chair Caporusso called the meeting to order at 7:00 p.m.

2. ROLL CALL

Present: Brashears, Dohner, Jensen, Martin, Caporusso

Absent: Krafka, Mendonsa

3. PLEDGE OF ALLEGIANCE

Commissioner Brashears led those in attendance in the Pledge of Allegiance.

4. PUBLIC COMMENTS

Vice-Chair Caporusso opened the Public Comment period. Hearing none, Vice-Chair Caporusso closed the Public Comment period.

5. CONSENT CALENDAR

Motion by Commissioner Brashears, seconded by Commissioner Dohner, to approve the Consent Calendar.

Motion Passed.

Roll Call vote: Ayes: Dohner, Brashears, Jensen, Martin, Caporusso

Absent: Krafka, Mendonsa

5.1. Minutes of June 13, 2019

5.2. INFILL PCL 129 - Sharp Circle Tree Permit - 265 Sharp Circle - PL19-0174

REQUEST

The applicant requests approval of a Tree Permit to encroach into the protected zone of six (6) oak trees for an erosion mitigation project at 265 Sharp Circle. The erosion mitigation project involves the installation of new curb, gutter, retaining wall with fill material, and asphalt for a driveway.

Applicant: Bill Steiner, Roseville Greens Homeowner's Association

Owner: Hus Merle Eugene and Yvonne Ruth Trustees

RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact and approve the Tree Permit subject to eighteen (18) conditions of approval.

6. REQUESTS/PRESENTATIONS

Item 6.1. was taken out of order. It was heard before the Consent Calendar items.

6.1. WRSP PCL F-81 - Fiddymment Plaza - 4701 Fiddymment Rd - PL19-0013

REQUEST

The applicant requests approval of a Design Review Permit to develop the project site with a mixed-use commercial development, including a gas station and fueling canopy (with five dispensers/ ten pumps), an 8,802 square-foot commercial building that includes 3,977 square feet of retail space, 1,938 square feet of restaurant space, and 2,887 square feet for a convenience store, and associated site improvements including parking, lighting, and landscaping.

Applicant: David Heumann, K12 Architects, Inc.

Owner: Dhillon & Son Enterprises, Inc.

RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the four (4) findings of fact and approve the Design Review Permit subject to eighty-eight (88) conditions of approval.

Vice-Chair Caporusso informed the Commission and audience that City Staff had received a request from the applicant to continue this item. City staff received a letter from the Law Office of Donald Mooney, representing Michele Threlkel and petitioners, who oppose the Fiddymment Plaza project challenging staff's decision that an infill exemption could be used and refuting the health risk assessment. The applicant's attorney wanted time to respond to both.

Vice-Chair Caporusso opened the Public Comment period. Hearing none, Vice-Chair Caporusso closed the Public Comment period.

Commissioner Jensen made the motion, seconded by Commissioner Brashears, to continue this item to the August 8, 2019 Planning Commission meeting without re-noticing the item.

Motion Passed.

Roll Call vote: Ayes: Jensen, Brashears, Dohner, Martin, Caporusso

Absent: Krafka, Mendonsa

7. BOARD MEMBER / COMMISSIONER / STAFF REPORT

Staff Report:

- Old Town Lofts has been appealed and will be heard by City Council at the August 7, 2019 meeting.
- League of California Cities Planning Commissioners Academy will be held March 4 - March 6, 2020 in Sacramento.
- City Council has requested that the Planning Commission re-discuss modifications to the start time of Planning Commission meetings.

Commissioner Report

- None

7.1. Election of the Planning Commission Chair

Vice-Chair Caporusso opened the Public Comment period. Hearing none, Vice-Chair Caporusso closed the Public Comment period.

Commissioner Jensen made the motion, seconded by Commissioner Brashears, to elect Justin Caporusso as Planning Commission Chair.

Motion Passed.

Roll Call vote: Ayes: Martin, Dohner, Jensen, Brashears, Caporusso

Absent: Krafka, Mendonsa

7.2. Election of the Planning Commission Vice-Chair

Vice-Chair Caporusso opened the Public Comment period. Hearing none, Vice-Chair Caporusso closed the Public Comment period.

Commissioner Jensen made the motion, seconded by Commissioner Martin, to elect Erich Brashears as Planning Commission Vice-Chair.

Motion Passed.

Roll Call vote: Ayes: Martin, Brashears, Dohner, Jensen, Caporusso

Absent: Krafka, Mendonsa

7.3. Appointment of Design Committee Chair and Alternate

Vice-Chair Caporusso opened the Public Comment period. Hearing none, Vice-Chair Caporusso closed the Public Comment period.

Commissioner Discussion:

- Who is currently in the rolls as Chair and Alternate of the Design Committee?
- If you serve as Chair or Vice-Chair of the Planning Commission, can you serve on the Design Committee?

Commissioner Brashears made the motion, seconded by Commissioner Jensen, to appoint Kristine Dohner as the Chair to the Design Committee.

Motion Passed.

Roll Call vote: Ayes: Jensen, Dohner, Brashears, Martin, Caporusso

Absent: Krafka, Mendonsa

Commissioner Brashears made the motion, seconded by Commissioner Martin, to appoint Robert Jensen as the Alternate to the Design Committee.

Motion Passed.

Roll Call vote: Ayes: Jensen, Dohner, Brashears, Martin, Caporusso

Absent: Krafka, Mendonsa

8. ADJOURNMENT

Motion by Kristine Dohner, seconded by Erich Brashears, to adjourn the meeting. The Motion Passed unanimously at 7:22 p.m. with a voice vote.



PLANNING COMMISSION COMMUNICATION

Title: SRSP PCL 14 - Life Time Fitness Modification - 1435 E Roseville Parkway - File PL19-0193
Contact: Kinarik Shallow, kshallow@roseville.ca.us, 916-746-1309

Meeting Date: 8/8/2019
Item #: 6.1.

ATTACHMENTS:

Description

Staff Report

Attachment 1 Original Conditions

Attachment 2 Public Comments

Attachment 2 Public Comments

ITEM 6.1: **Conditional Use Permit Modification – 1435 E Roseville Parkway – SRSP PCL 14 – Life Time Fitness Modification – File # PL19-0193**

REQUEST

The applicant requests approval of a Conditional Use Permit Modification to modify the operational conditions at Life Time Fitness. The modifications include expanded hours of operation for the main building and for outdoor lap swimming, and the allowance of outdoor music on three specific holidays and during one Yoga Under the Stars event each year.

Applicant – Marcus Lo Duca, Law Office of Marcus J. Lo Duca, PC
Property Owner – Angelo G. Tsakopoulos, Tsakopoulos Investments, LLC

SUMMARY RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact and approve the Conditional Use Permit Modification subject to four (4) conditions of approval.

SUMMARY OF OUTSTANDING ISSUES

Residents adjacent to the project site have expressed concerns related to noise and the request for outdoor music. The outdoor music is conditioned to comply with the noise standards established in the City's Noise Ordinance (Condition #4). The use of music would be limited to four days per calendar year during family swim hours (Memorial Day, July 4th, Labor Day, and Yoga Under the Stars). Further discussion is provided in the Public Outreach section of this report.

BACKGROUND

The 17.22-acre project site is located on Parcel 14 of the Stoneridge Specific Plan (SRSP), at the northeast corner of East Roseville Parkway and Secret Ravine Parkway (see Figure 1). The subject property has a zoning designation and land use designation of Community Commercial (CC), and is surrounded by an assisted living facility to the north, single-family residences to the northeast, Silver Ridge Apartments and St. Anna's Greek Orthodox Church to the southeast, and open space to the west.

The project site is developed with Life Time Fitness, which consists of a two-story ±120,000 square-foot fitness center with outdoor uses comprised of 14 tennis courts, a 58,600 square-foot pool deck and bistro, and a 7,100 square-foot child activity area. The existing facility was originally approved by City Council on December 4, 2013 (file #2012PL-103). The application included a request to approve an Ordinance Amendment (OA) to allow Outdoor Sports and Recreation as a conditionally permitted use in the CC zone; a Specific Plan Amendment (SPA) to eliminate two parcel specific conditions from the SRSP; a Conditional Use Permit (CUP) to allow outdoor recreation in the CC zoning district; and a Design Review Permit (DRP) for the design and construction of the facility.

The current request is to modify the operations of the existing CUP to allow for extended hours of operation for the main building and for outdoor lap swimming. The start time for family/recreational swim will remain at 10 a.m., however the project proposes to modify the end time from 8 p.m. to dusk. The proposed modifications also include the addition of outdoor music in compliance with the City's Noise

Ordinance in the outdoor pool area during family swim hours (10 a.m. to 8 p.m.) on three specific holidays (Memorial Day, July 4th, and Labor Day) and during one (1) Yoga Under the Stars event per year.

Figure 1: Project Location



CONDITIONAL USE PERMIT MODIFICATION EVALUATION

Section 19.78.060(J) of the City of Roseville Zoning Ordinance requires two findings of fact be made in order to approve a Modification for the Conditional Use Permit. The required findings are listed below in ***italicized bold*** print and are followed by an evaluation.

1. The proposed modification is substantially consistent with the intent of the original approval.

The original approval of the Conditional Use Permit (CUP) allowed for Life Time Fitness to have outdoor recreational activities, which include the outdoor pool and bistro, tennis courts, and children's play area. The approved operational plan included hours of operation as follows: 5 a.m. to 11 p.m. for all activities within the facility; 10 a.m. to 8 p.m. for family/recreational swim (lap swimming from dusk to dawn; 11 a.m. to 7 p.m. for water slides; 8 a.m. to 8 p.m. for the outdoor child activity area; 8 a.m. to 10 p.m. for the 10 tennis courts furthest away from the homes; and 8 a.m. to 9 p.m. for the four (4) tennis courts closest to the homes.

The hours of operation for the main building are proposed to be increased by one hour in the morning and one hour in the evening, to 4 a.m. to midnight seven days a week. The hours of operation for family/recreational swim will be modified to begin at 10 a.m. and last until dusk, while outdoor lap swimming would be permitted during the main building hours (from 4 a.m. to midnight). Additional modifications to the use permit include the use of outdoor music in compliance with the City Noise Ordinance in the outdoor pool area during family swim hours (10 a.m. to 8 p.m.) on three specific holidays (Memorial Day, July 4th, and Labor Day) and during one (1) Yoga Under the Stars event per year. No other changes in the operation are proposed.

The original use permit determined that the outdoor recreational activities were compatible with the surrounding neighborhood and were consistent with the City's General Plan. An acoustic analysis was

prepared for the original use permit to evaluate the potential noise impacts with respect to the adjacent land uses. Based on recommendations from the analysis, the project incorporated measures and design features to reduce noise associated with the project operations, such as limiting the hours of operation for the outdoor uses, prohibiting the use of a public announcement (PA) system, and constructing concrete block walls around the pool and outdoor play areas for noise attenuation. No restrictions on hours of operation were deemed necessary for lap swim activities. The use of outdoor speakers was permitted at the front entrance of the building to play ambient background music. As mentioned, the modification request will allow the limited use of music in the outdoor pool area on three specific holidays and one event per year. The CUP modification is conditioned to comply with all conditions of approval from the original CUP (included as Attachment 1), with the exception of the modified hours and use of music. As such, staff finds the proposed modifications are consistent with the intent of the original approval.

2. The proposed modification complies with all applicable standards and requirements of the Zoning Ordinance, with the applicable goals, policies and objectives set forth in the General Plan, the applicable Community Design Guidelines, and the Stoneridge Specific Plan.

The project site has a land use designation of Community Commercial (CC). The CC land use designation is intended to include retail stores and businesses with a full range of goods and services that are provided to an expanded service area. Health clubs (indoor sports and recreation) are considered to be consistent with the intent of the CC land use as they provide a recreation option for nearby residents and businesses. In regards to the outdoor activities, the General Plan relies on the Zoning Ordinance through the Conditional Use Permit process to address compatibility issues. The evaluation for the original Use Permit found that the use was appropriate and compatible with the CC land use and zoning designation of the property. The proposed modifications do not affect the nature of the services offered at the site.

The subject property is located within the Stoneridge Specific Plan (SRSP), which specifies that the permitted uses for Parcel 14 shall be as specified for the CC zone district of Section 19.12.020 of the Zoning Ordinance. The Zoning Ordinance allows for outdoor recreation in the CC zone district with approval of a CUP. The Zoning Ordinance does not establish any specific development standards for this use type, with the exception of parking requirements. The facility was found to comply with the parking requirements as part of the original Design Review Permit approval, and the proposed use permit modifications will not trigger the need for additional parking. Additionally, there are no exterior improvements proposed with this project, therefore the City's Community Design Guidelines (CDG) are not applicable. The facility was found to be in compliance with the goals and policies of the CDG as part of the Design Review Permit approval.

CONDITIONAL USE PERMIT MODIFICATION CONCLUSION

Based on the evaluation presented above, staff finds that the proposed modifications are consistent with the original Conditional Use Permit approved for the project. As proposed and with the recommended conditions of approval, the modifications are in compliance with all standards and requirements of the City's Zoning Ordinance, General Plan, Community Design Guidelines, and the Stoneridge Specific Plan.

PUBLIC OUTREACH

The proposed project was distributed to all internal and external agencies and departments who have requested such notice, and all comments or recommended conditions of approval have been incorporated into the project, as appropriate. A notice of the public hearing was published on July 26, 2019 and a notice of the hearing was also distributed to all property owners within 500 feet of the site, and to the Roseville Coalition of Neighborhood Associations.

A neighborhood meeting was held for the project on July 15, 2019. Approximately 15 residents were in attendance. The proposed operational modifications that were shared with the residents included the

use of music in the outdoor pool area on Fridays, Saturdays, Sundays, and on Memorial Day, July 4th and Labor Day during family swim hours (10 a.m. to 8 p.m.). Overall, those in attendance were in support of the extended hours of operation for the main facility and lap swimming, however several residents were in opposition to the use of outdoor music due to concerns with noise. In response to these concerns, the applicant removed the request for music on Fridays, Saturdays, and Sundays to limit the potential for noise impacts. Instead, the use of music will be infrequent and will be limited to the three holidays identified and for one Yoga Under the Stars event per year during family swim hours.

ENVIRONMENTAL DETERMINATION

The construction and operation of the Life Time Fitness facility was previously evaluated in the Life Time Fitness Environmental Impact Report (EIR), SCH#2013032063, which was approved by the City Council on December 4, 2013. The proposed project is consistent with scope of the analysis in the EIR, no new effects would be expected to occur, and all applicable mitigation measures from the EIR will be implemented. As such, no additional environmental documentation is required.

RECOMMENDATION

The Planning Division recommends the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact as stated in the staff report and approve the **CONDITIONAL USE PERMIT MODIFICATION – 1435 E ROSEVILLE PARKWAY – SRSP PCL 14 – LIFE TIME FITNESS MODIFICATION – PL19-0193** subject to four (4) conditions of approval.

CONDITIONS OF APPROVAL FOR CONDITIONAL USE PERMIT MODIFICATION (FILE #PL19-0193)

1. The project is approved as shown in Exhibit A and as conditioned or modified below. (Planning)
2. All conditions of approval from the original Conditional Use Permit (File #2012PL-013) shall remain in effect unless modified herein. (All Departments)
3. Project operations shall conform to the Operational Plan included as Exhibit A. (Planning)
4. Outdoor music shall comply with the noise standards established in the City's Noise Ordinance. (Planning, Police)

ATTACHMENT

1. File #2012PL-013 Staff Report
2. Public correspondence received

EXHIBIT

- A. Modified Operations Plan

Note to Applicant and/or Developer: Please contact Planning Division staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.



PLANNING DIVISION STAFF REPORT
PLANNING COMMISSION MEETING

August 22, 2013

Prepared by: Wayne Wiley, Associate Planner

ITEM V-C: ZONING ORDINANCE AMENDMENT, SPECIFIC PLAN AMENDMENT, CONDITIONAL USE PERMIT, AND DESIGN REVIEW PERMIT – LIFE TIME FITNESS – 1435 EAST ROSEVILLE PARKWAY – FILE #2012PL-103 (OA-000028, SPA-000048, CUP-000080 & DRP-000470).

REQUEST

The applicant requests approval of an Ordinance Amendment (OA) to allow Outdoor Sports and Recreation as a conditionally permitted use in the Community Commercial zone, a Specific Plan Amendment (SPA) to eliminate two parcel specific conditions, a Conditional Use Permit (CUP) to allow outdoor recreation in the CC zone, and a Design Review Permit (DRP) to allow the construction of a 120,000 square foot fitness center, outdoor pool, and 14 tennis courts with associated site improvements. A Draft Environmental Impact Report (DEIR) has been prepared to address project related impacts.

Applicant: Parham Javaheri, LTF Real Estate Company, Inc.
Owner: Angelo G. Tsakopoulos, Tsakopoulos Investments, LLC

SUMMARY RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Recommend that the City Council certify the Draft Environmental Impact Report;
- B. Recommend that the City Council approve the Ordinance Amendment;
- C. Recommend that the City Council adopt the one finding of fact and approve the Specific Plan Amendment;
- D. Recommend that the City Council adopt the three findings of fact and approve the Conditional Use Permit subject to six (6) Conditions of Approval; and
- E. Recommend that the City Council adopt the four findings of fact and approve the Design Review Permit subject to eighty-seven (87) Conditions of Approval.

The August 22nd Planning Commission Hearing is intended to provide the public with an opportunity to comment on the project and DEIR and to provide the Planning Commission with information for its consideration and subsequent recommendation to Council on the proposed entitlements. It is requested that the Commission accept any comments received on the DEIR, and recommend approval of the entitlements based on the analysis contained within this staff report.

REPORT ORGANIZATION

Staff Report Format: Due to the scope of the information provided in this document, the report has been separated into four sections consisting of an Executive Summary, Entitlement Evaluation, EIR Summary, and Recommendations/Conditions of Approval.

EXECUTIVE SUMMARY

Project Description

- **Project Location:** The project site is located on the northeast corner of East Roseville Parkway and Secret Ravine Parkway on Parcel 14 of the Stoneridge Specific Plan (SRSP). The 17 acre site is

currently vacant and is surrounded by vacant commercial land to the north, single-family residences to the northeast, multi-family residences and St. Anna's Greek Orthodox Church to the southeast, and open space to the west.

Figure 1: Vicinity Map



- **Existing Condition:** The project site was previously graded in 1998 and 1999 as part of the Stoneridge Specific Plan and Roseville Parkway improvements. Currently the parcel consists of minimal vegetation and has no natural resources present onsite. The parcel is on average 10' lower than the adjacent grades to the northeast (adjacent to the rear of the residential homes), approximately three feet lower than the existing grades along the southeast property line (near the Silver Ridge Senior Apartment complex), and sits slightly higher than Secret Ravine Parkway and East Roseville Parkway.
- **Background:** On December 22, 2004, Lowes Companies, Inc. submitted an application to develop the site and requested approval of a Design Review Permit to construct a 200,000 square foot Lowes Home Improvement store and garden center; a Conditional Use Permit to allow a building material store with outdoor display/storage in a Community Commercial zone; and a Tentative Parcel Map to subdivide the parcel into three lots. Subsequent to the submittal, the city received strong opposition to the project as the neighborhood felt the proposal was inconsistent with the Stoneridge Specific Plan's parcel designation for a neighborhood serving use (i.e. grocery store, restaurant, hair salon, spa). In addition, the residents raised concerns regarding noise, traffic, and air quality. After holding a neighborhood meeting and receiving feedback from staff on how to address the residents' concerns, the applicant withdrew their application. To date, the site has remained vacant with no further requests for entitlements.
- **Project Components:** The proposed project will include the construction of a two-story 120,000 square foot facility (75,000 square foot first story and 43,500 square foot second story), with outdoor uses comprised of 14 tennis courts, 58,600 square foot pool deck and detached bistro, and a 7,100 square foot child activity area. The proposed indoor amenities will include men's and women's locker rooms, family lockers, life spa/salon, medi spa, Life Café, recreation area, lounge, gymnasium/basketball courts, activity room, training studio, childcare, indoor lap pool/leisure pool, two whirlpool spas, sauna, sales and administrative offices, laundry room, and pro shop.

Requested Entitlements

- **Zoning Ordinance Amendment:** The project includes an amendment to the City's Zoning Ordinance to conditionally permit the Outdoor Sports and Recreation use type in the Community Commercial zone.
- **Specific Plan Amendment:** The applicant wishes to remove a Specific Plan parcel obligation requiring a pedestrian connection between the subject site and the adjacent Senior Apartment Complex. In addition, the applicant wishes to remove the 25 space park-n-ride obligation from Parcel 14, resulting in the transfer of the spaces to Harry Crabb Park.
- **Conditional Use Permit:** With approval of the Zoning Ordinance Amendment, a Conditional Use Permit to allow outdoor recreation uses (including a pool, waterslide, and tennis courts) in the CC zone is required.

- Design Review Permit: The 17 acre parcel is proposed for development of a two-story building, 14 tennis courts, outdoor pool, water slide, outdoor child activity area, 643 parking spaces, lighting and landscaping.

These items are addressed in more detail in the Entitlement Evaluation section and DEIR (see Section 2 and Exhibit A).

Summary of Outstanding Issues

- Issue #1: Three anonymous mailers containing misinformation on the project were mailed out to a number of homeowners throughout the Stoneridge and Southeast Roseville Specific Plan areas of the City raising concerns related to traffic, noise, and visual impacts. Although the flyers were mailed anonymously, staff believes they were generated by a competitor. To provide the public with information on the project and to address the misrepresentations in the flyers, the applicant hosted a total of three neighborhood meetings on January 29th and March 13, 2013, at the Marriott Hotel, Stoneridge Elementary School, and Silver Ridge Apartment Complex. Approximately 75 residents attended the first meeting and 50 residents attended the second meeting, with another 35 residents attending the Silver Ridge Senior Apartment onsite meeting.
- Issue #2: The concerns raised by residents at the neighborhood meetings included traffic and turning movements along area roadways, consistency with the Specific Plan, and an increase in noise associated with the proximity of the tennis courts and the outdoor pool to residents. Other issues included the potential for lighting to disturb adjacent residents and the change to the visual character of the parcel. Since the meeting, staff has been contacted by neighbors with concerns similar to those raised at the neighborhood meeting, as well as residents in favor of the project who see the project as a neighborhood amenity.

Environmental Determination

Environmental Impact Report: An initial study was prepared for the project to identify any possible environmental impacts associated with the proposal, and based on that analysis, the Planning Division intended to prepare a Focused Environmental Impact Report. However, on April 25, 2013, the city received comments on the Notice of Preparation from Rutan and Tucker, LLP on behalf of an unspecified client. One of the major concerns identified by Rutan and Tucker on behalf of their client was that the Initial Study focused out too many issues. Accordingly, this issue has been addressed by the expansion of the topics addressed in full in the Project EIR to include Traffic, Noise, Air Quality/Green House Gases, Biological Resources, Cultural Resources, Hazards and Hazardous Materials, Hydrology and Water Quality, Land Use/Planning, Public Services (fire, police, and parks/recreation), and Utilities (water, wastewater, and landfill capacity). The Draft EIR has identified that impacts are less than significant or can be reduced to a less than significant level with mitigation.

Environmental Impact Report Process: At the August 22, 2013, public hearing the Planning Commission will review and comment on the DEIR for the purpose of forwarding a recommendation to the City Council. The DEIR was distributed for public review beginning on July 24, 2013 and will end on September 9, 2013. The DEIR may be reviewed during normal business hours at the Planning Division located at 311 Vernon Street in Roseville, CA, and online at www.roseville.ca.us/lifetimefitness. Interested persons are invited to submit written comments prior to September 9, 2013, to Wayne Wiley, Planning Division, 311 Vernon Street, Roseville, CA 95678.

ENTITLEMENT EVALUATION

The following information includes an analysis of each of the entitlements requested in association with the proposed Life Time Fitness project. This analysis is provided for the consideration of the Planning

Commission in its recommendation to Council on the proposed Ordinance Amendment, Specific Plan Amendment, Conditional Use Permit and Design Review Permit.

Zoning Ordinance Amendment

- The proposed Zoning Ordinance Amendment (OA) is to conditionally permit Outdoor Sports and Recreation uses in the Community Commercial zone. In Section 19.12.020 of the Zoning Ordinance "Permitted Use Types", Indoor Sports and Recreation uses (i.e. health club facilities) are principally permitted; however, Outdoor Sports and Recreation uses (i.e. pools and tennis courts) are not identified as permitted uses in CC zone, but are principally permitted in the General Commercial (GC) and Regional Commercial (RG) zones.
- As defined in the Zoning Ordinance, the Community Commercial (CC) district is intended to serve the principal retail shopping needs of the entire community by providing areas for shopping centers, and other retail and service uses (e.g. health clubs). Accordingly, many Outdoor Sports and Recreation uses are customarily associated with other uses principally permitted in the CC zone and can be appropriate in certain locations.
- Table II-9 of the General Plan has compatibility guidelines designed to minimize conflicts between adjacent land uses and identifies the compatibility of adjacent land uses as either "compatible," "conditionally compatible," or "not compatible." The General Plan identifies the compatibility of Community Commercial with Low Density Residential as "conditionally compatible." Where Table II-9 states that uses are conditionally compatible, it is then incumbent on the City to review the special characteristics of the affected parcels to determine whether or not the proposed land uses are compatible in each case.
- The proposed Ordinance Amendment would conditionally permit Outdoor Sports and Recreation uses in the CC zone. Through this provision, compatibility with surrounding land uses would be evaluated and appropriate conditions/operational restrictions would be considered to ensure consistency with adjacent properties.

Conclusion

- With the appropriate conditions, staff finds that the proposed outdoor recreational uses will be compatible with the surrounding land uses. Furthermore, in evaluating future requests, the requirement of a CUP would provide the City with discretionary approval to evaluate the interface between Outdoor Sports and Recreation uses and surrounding properties.

Specific Plan Amendment

- The project applicant is requesting an amendment to the Stoneridge Specific Plan to eliminate two parcel-specific conditions. The request includes the removal of an obligation to provide non-vehicular access between Parcel 14 (project site) and Parcel 21 (adjacent HDR site), and the deletion of the 25 park and ride space obligation for Parcel 14.
- Because the proposed project is not a shopping center and will only be accessible to members of the gym, providing non-vehicular access (pedestrian connection) would not appear as useful as originally anticipated. In addition, based on a request by the adjacent residents of the Silver Ridge Senior Apartments to restrict pedestrian access across the two parcels (due to security concerns), the applicant is requesting that this parcel specific obligation be removed.
- Staff has also reviewed the request to remove the 25 space park-n-ride obligation from Parcel 14 to address the applicant's concern regarding liability and the need for additional parking during peak times.

- Park-n-ride lots are located throughout the City to promote ridesharing and to facilitate trips by transit. Accordingly, the locations of park-n-ride lots are determined based on proximity to public transit, freeway access, and nearby residential developments. Staff finds that although the original location is appropriate, relocating the spaces to Harry Crabb Park (near the corner of East Roseville Parkway and Olympus Drive) is also suitable based on its proximity to a major intersection and several Stoneridge residential subdivisions. As such, the 25 park-and-ride spaces are proposed to be relocated farther east, still within the SRSP area.
- As part of the agreement to relocate the 25 park and ride stalls offsite, the applicant will pay a total of \$10,000 to help offset the construction costs. This payment will be required prior to the issuance of a Certificate of Occupancy (see Condition #4 of the Design Review Permit).

Conclusion

- Staff has reviewed the proposed Specific Plan Amendment, and forwarded the application to all affected departments. Additionally, staff has notified the East Roseville Parkway Neighborhood Association of the current request. As proposed, the deletion of the two parcel specific conditions will accommodate the existing project, address adjacent neighbors' safety concerns, and provide a reasonable alternative for the location of the 25 park-n-ride spaces. Accordingly, staff finds the proposed changes appropriate and consistent with the intent of the SRSP.

Conditional Use Permit

With approval of the requested Ordinance Amendment, Outdoor Sports and Recreation uses will require a CUP to locate in the CC zone. Conditional Use Permits are evaluated for consistency with the City's General Plan, conformance with the City's Zoning Ordinance, and potential for impacts to the health, safety and welfare of persons who live or work in the area. Specifically, the Planning Commission must make the three findings listed below in ***bold italics*** to approve the Conditional Use Permit. An analysis of the project follows each finding.

- ***Finding #1: The proposed use or development is consistent with the City of Roseville General Plan and the Stoneridge Specific Plan.***

The land use designation for the subject property is CC. The CC land use designation is intended to include retail stores and businesses with a full range of goods and services that are provided to an expanded service area. Health clubs (indoor sports and recreation) are usually located in proximity to neighborhoods where their members live (e.g. Johnson Ranch, California Family Fitness) and the commercial districts where they work (e.g. 24-hour Fitness). In these areas they serve as a recreation option for residents and employees and are consistent with the intent of the CC land use. It is the outdoor activities where the General Plan relies on the Zoning Ordinance through the CUP process to address compatibility issues. With approval of the CUP, the health club's proposed outdoor recreational activities will be consistent with the CC land use designation.

- ***Finding #2: The proposed use or development conforms with all applicable standards and requirements of the Zoning Ordinance.***

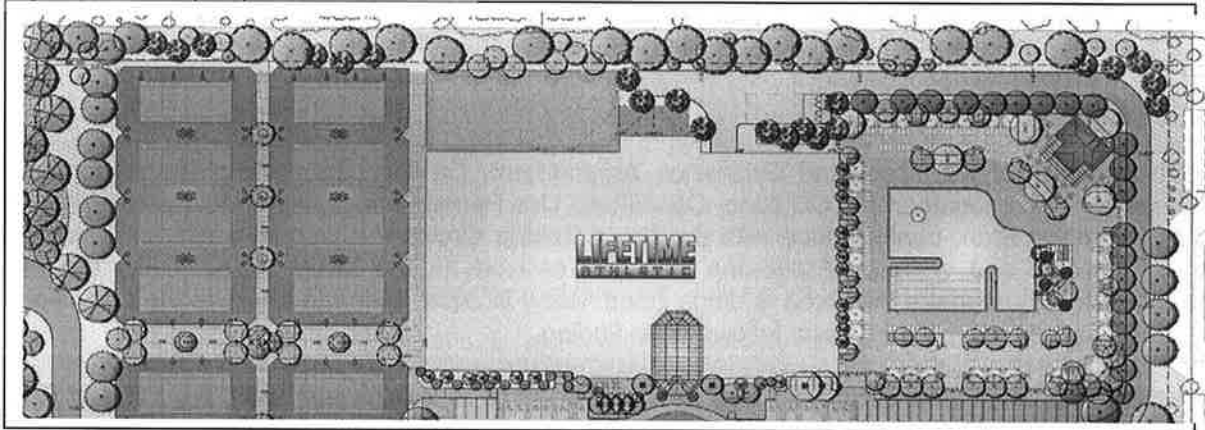
With approval of the OA, Chapter 19.14 of the Roseville Zoning Ordinance will be amended to conditionally permit Indoor Outdoor Sports and Recreation uses in the CC zone. The standards and requirements of the Zoning Ordinance are used to evaluate the appropriateness of a use or uses for that location. However, for Recreation / Outdoor Sports and Recreation uses the Roseville Zoning Ordinance does not establish any specific development standards except for parking requirements. As noted in the Design Review Permit evaluation section of this report, 598

parking spaces are required and the project provides 643 parking spaces, resulting in a 45 space surplus.

- **Finding #3:** *The location, size, design and operating characteristics of the project is compatible with and shall not adversely affect or be materially detrimental to the health, safety, or welfare of persons residing or working in the area, or be detrimental or injurious to public or private property or improvements.*

Site Design: Building siting and site access have been designed in an effort to minimize impacts to adjacent neighbors. Specifically, access to the rear of the site will be restricted and no parking will be located behind the building to limit visual and noise impacts on the adjacent residential homes. In addition, the project design includes a 30' wide landscape corridor along the northeastern property line between the project and the existing residences. This landscape corridor will provide a buffer between the project site and the rear yard areas of the adjacent homes. A 20' wide landscape area is also proposed along the southeast boundary, (adjacent to Silver Ridge Senior Apartment complex) to limit impacts on the adjacent apartment complex and restrict pedestrian access.

Figure 2: Site Plan (Rear)



To further help screen views and attenuate noise generated from the outdoor recreation areas, fences will be constructed around the tennis courts and outdoor pool deck. As proposed, the tennis courts will be surrounded by a ten foot tall black vinyl coated chain link fence with light green semi-transparent fabric wind breaks, as well as a ten foot acoustical barrier on the eastside of the two tennis courts closest to the residences to the east. The pool will be screened by a six foot tall black steel fence and a seven foot tall acoustical barrier (mounded landscaping with a three to four foot tall wall) will be constructed adjacent to the eastern edge of the pool to further help reduce noise impacts on residents of the apartment complex. In addition, to reduce visual impacts associated with the outdoor children activity areas, fencing that is identical to the pool deck fencing will be constructed around the perimeter of the play areas. Consistent with the Noise Study, Condition #4 has been added restricting the maximum number of children allowed in this area to 50.

Lighting: Lights within the parking lot will measure 30' in height, but will be located over 300' from the nearest single family homes and will be screened by the health club building. To reduce the impact of the overhead tennis court lights (which will be setback approximately 50' from the nearest residence), the applicant will reduced the heights of the light poles to 26'. The applicant also proposes to use shoe box light fixtures that will have non-glare sharp rear cut off reflectors and will be placed such that they will be directed away from the residential properties and will be oriented internal to the site. The applicant has provided a Lighting Plan (see Exhibit I) indicating the lighting contours of the project, which depicts the maximum light intensity at the project boundaries (adjacent to the residential homes and apartment complex) to be 0.20 foot candle. Additionally, the lights on

the four tennis courts nearest to the residential homes will be turned off an hour earlier (9:00 pm) than the remaining tennis court lights (10:00 pm), and all lights will only be lit when the courts are in use.

To ensure that appropriate lighting is provided on-site and that no significant off-site glare is produced to adjacent residences, staff has added Condition #5 which requires staff's review of the light fixture type and placement, and that all site lighting be directed to have no off-site glare, maintain a minimum of one (1) foot candle of light on-site (for security purposes), and be vandal resistant.

Noise: An acoustic analysis has been prepared by J.C. Brennan & Associates to evaluate the potential noise impacts with respect to the adjacent land uses (see Exhibit A Section 4.9). According to the analysis, the project is predicted to meet the General Plan noise standards for recreational uses (70 dB daytime and 65 dB nighttime). However, according to the acoustic analysis, certain project design and operational conditions are assumed. Therefore, mitigation measures including setback requirements, noise barriers, and limited hours of operation for the outdoor uses, are incorporated into the project.

Hours of Operation: The applicant proposes hours of operation that are consistent with the recommendations of the noise consultant. However, nearby neighbors raised concerns regarding the proposed hours of operation of Life Time Fitness' main facility. Accordingly, the applicant has amended the hours of operation as follows: 5:00 a.m. to 11:00 p.m. for all activities within the facility; 10:00 a.m. to 8:00 p.m. for family/recreational swim (lap swimming from dusk to dawn; 11:00 a.m. to 7:00 p.m. for water slides; 8:00 a.m. to 8:00 p.m. for the outdoor child activity area; 8:00 a.m. to 10:00 p.m. for the 10 tennis courts furthest away from homes; and 8:00 a.m. to 9:00 p.m. for the four tennis courts closest to homes. No public announcement system will be used.

To ensure that outdoor activities do not create a potential noise impact on the adjacent residences, staff recommends Condition #2, which requires outdoor uses be restricted to the hours of operation noted above. Additionally, consistent with the recommendation of the acoustic analysis, staff recommends that no public address system be utilized at the site (see Condition #6).

Conclusion

- As designed and conditioned, the location, size, design, and operating characteristics of the proposed use will be compatible with the area. The proposed outdoor areas will be adequately screened; and while the site will be visible from adjacent views, the site design, conditions of approval, and implementation of mitigation measures will minimize impacts on area residents. Based on the evaluations above, staff believes that the Planning Commission can make the required findings and approve the Conditional Use Permit.

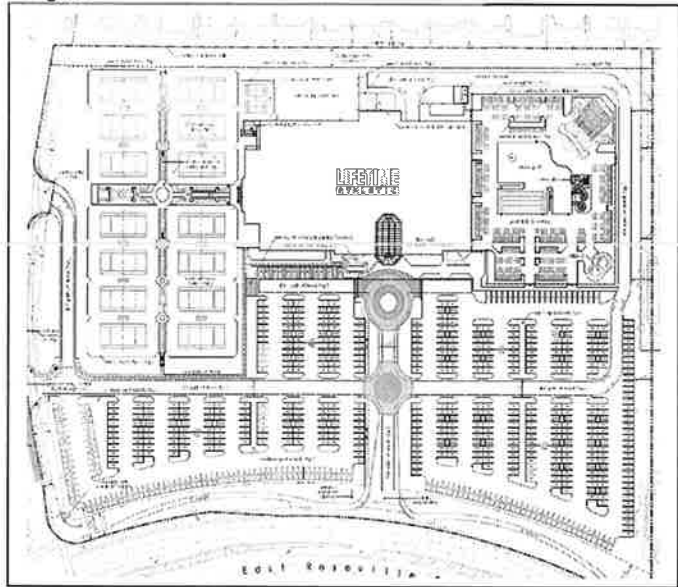
Design Review Permit

The evaluation of the Design Review Permit has been based on the applicable development standards within the City's Zoning Ordinance, Stoneridge Specific Plan (SRSP), and the City's Community Design Guidelines (CDGs). Section 19.78.060(J) of the Zoning Ordinance requires that four findings be made in order to approve a Design Review Permit. The four findings for approval of the Design Review Permit are listed below in the Recommendation section of this report. The following sections of evaluation focus on pertinent design issues.

Site Design

- The proposed fitness facility and associated outdoor recreation uses will be set back from East Roseville Pkwy a minimum of 200'. Based on the size of the facility, the proposed setbacks will provide a sufficient buffer from the street allowing adequate space for landscaping, parking, and onsite improvements, while also providing an appropriate streetscape presence.
- As proposed, the two-story 120,000 square foot building will be oriented towards East Roseville Parkway and will be visible from the street, resulting in massing and visual interest that will frame the intersection.
- In addition, the site will include an outdoor child activity area behind the gym, two water slides, a whirlpool, and outdoor seating area near the pool, and an enclosed trash enclosure at the northeast corner of the building, approximately 80' from the property line (see Exhibit D). Staff has evaluated alternative site designs; however, the proposed layout best meets the operational needs of the applicant and will minimize impacts to the adjacent properties.
- To further limit impacts on adjacent properties, the subject site will be designed with parking located towards the front of the parcel and limited vehicular circulation allowed at the rear of the site. The proposed parking lot layout and circulation pattern was based on feedback from the neighbors who expressed concerns about vehicle related impacts (i.e. vehicular noise, music, and head lights). As such, the proposed design will reduce noise and lighting impacts on the surrounding properties, while providing for appropriate emergency access to the site.
- The project will be setback from the street and provide enhanced landscaping, a buffered pedestrian pathway along the street, and well-articulated building at the intersection. As proposed the project will establish a streetscape presence and appearance through setbacks, landscaping, building placement and architecture that is consistent with the intent of the Specific Plan and Community Design Guidelines.

Figure 3: Site Plan



Vehicle Access & Circulation

- Based on traffic concerns raised by residents throughout the adjacent community, site access was studied closely by Fehr and Peers Transportation Consultants. Due to these concerns, the applicant has designed their project taking into consideration feedback from residents and consistent with the recommendations of the traffic consultant.
- Accordingly, access to the project site is proposed via one driveway off East Roseville Parkway and two driveways off Secret Ravine Parkway. The main entrance, off East Roseville Parkway, will be restricted to right turn movements only. The first entrance off Secret Ravine Parkway will be located approximately 200' from the intersection and will permit right turn ingress and egress, while the second entrance will be located approximately 500' east of the intersection and will allow unrestricted movements in and out of the site.

- There are two major internal drive aisles leading from the primary entrance off East Roseville Parkway and Secret Ravine Parkway. These driveways link to several subordinate drive aisles that provide access to the project's parking spaces. However, access to the rear of the site will be limited and will primarily be used for trash pick-up, as all deliveries will come through the front of the building.
- The proposed site layout will provide several access points for vehicular ingress and egress and will help distribute traffic throughout the site. As noted in Appendix E of the DEIR, the majority of the traffic will enter the site from the first driveway off Secret Ravine Parkway and exit the site onto East Roseville Parkway.

Parking

- Per the Zoning Ordinance, the parking requirement for health clubs is based on the sum of all uses proposed for the site. However, common areas (i.e. entrances, reception areas, closets and hallways) and ancillary uses (i.e. child activity areas, restrooms and stretch areas) are netted out. Based on City standards, the project is required to provide 598 parking spaces as listed below.

Use	Parking Ratio	Number of Spaces Required
Office	1:250 sf	10
Gymnasium (Basketball Courts)	10 per court	20
Activity Center (Flex)	1:50 sf	8
Activity Gym	1:50 sf	34
Studio	1:50 sf	25
Indoor Pool Room	1:150 sf	53
Massage	1:250 sf	5
Advance Training	1:150 sf	51
Cardiovascular Equipment	1:150 sf	81
Group Fitness	1:150 sf	34
Cycle Studio	1:150 sf	11
Resistance Training	1:150 sf	15
Team Training	1:150 sf	6
Pilates	1:50 sf	19
Free Weights	1:150 sf	40
Yoga	1:50 sf	34
Bistro/Cafe	1:150 sf	16
Outdoor Pool	1:100 of pool area	108
Tennis Courts	2 / per court	28
Total		598

- As shown in Exhibit D, the project provides 643 parking spaces, resulting in a 45 space surplus. The applicant feels that the additional spaces are necessary based on observations of their other similarly sized facilities, which require more parking during peak times than City standards require. As such, staff finds the proposed number of parking spaces appropriate.
- Based on the feedback from the nearby residents, the applicant has removed all parking from the rear of the site and the parking field will be located in front of the building primarily along East Roseville Parkway. In addition, the project will provide four multi-loop bike racks to allow parking for 42 bicycles near the front entrance.

Outdoor Amenities (Pool/Tennis Courts/Child Play Area)

- The outdoor facilities will be comprised of 14 tennis courts (totaling approximately 110,000 sf), a 58,600 sf pool deck and bistro, and a 7,100 sf outdoor child activity area. To soften views from the street and nearby residents, the tennis courts will be screened by a 10' tall black chain link fence with semi-transparent fabric and the pool deck will be screened by a six foot tall black, steel fence. Both areas will be surrounded by landscaping and security lighting in the form of 42" tall LED bollards. In addition, the outdoor children's activity area will be enclosed by a six foot bronze painted steel picket-style fence comprised of four inch square posts and three-quarter-inch square pickets and will be covered by two fabric canopies.
- As proposed, the site design limits impacts on the adjacent neighbors and screens views from the public right of way. In addition, the hours of activity will be limited to further reduce impacts. Further discussion of the hours of operation is included in the Conditional Use Permit section of this report.

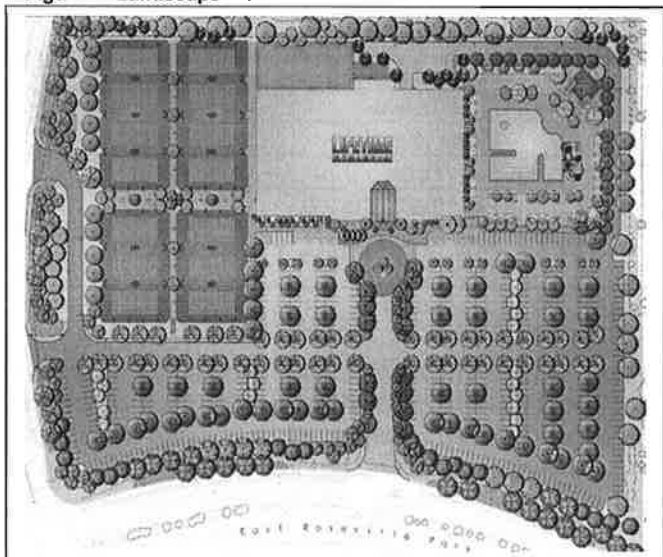
Lighting

- Special consideration has been paid to site lighting and in response to nearby residents concerns the applicant proposes light fixtures that will be designed with "full cutoff lenses" to focus light downward and prevent off site glare. The parking lot lighting will consist of 37 light poles that measure 30' in height and the 62 overhead lights on the tennis courts that will measure 26' in height and will only be lit when the courts are in use (during the specified hours noted in Exhibit J). Pedestrian sidewalks and landscaped areas will be lit using a combination of bollards and accent lighting designed to meet minimum light standards to reduce the potential for off-site glare. In addition, the building and parking lot lights will be set on an automatic timer, to further minimize impacts to adjacent properties.

Project Landscaping

- Consistent with the SRSP Design Guidelines, the project will provide a 50' wide landscape setback along East Roseville Parkway and 35' wide landscape setback along Secret Ravine Parkway. The landscape corridor will include an eight foot wide meandering sidewalk (see Condition #24) and will be planted with London Plane, Red Oak, Valley Oak, Aleppo Pine, and Little Leaf Linden trees. As proposed, the landscape setback will provide for a strong streetscape and continue a cohesive landscape appearance along East Roseville Parkway and Secret Ravine Parkway.

Figure 4: Landscape Plan



- In addition to the landscape corridors, the project will provide parking lot shade trees and trees around the perimeter of the outdoor activity areas that will enhance the center visually and provide for the appropriate percentage of parking lot shading. Approximately 536 trees will be planted onsite including Native and Non-Native Oaks, Maple, Elm, Cedar, Pine, and a variety of flowering fruit trees. All new trees will be planted from a minimum 15-gallon container, per the City's requirements, and the applicant will also

provide larger trees (36 inch box) along the rear of the site to help screen views from the adjacent residences (see Condition #12g).

- To help further reduce impacts on the adjacent neighbors, the project will include a 30' wide landscape buffer along the northeastern boundary of the site adjacent to the backyards of the single family homes. This area will be landscaped with a mix of Broadleaf and Coniferous evergreen trees that will reach up to 40' in height when mature and will help screen views of the facility from the adjacent residential properties (see Attachment 3). The trees will be planted to avoid creating shade on the adjacent residences, but will be located and spaced strategically to block views. In addition, a 15' - 35' landscape buffer is proposed along the southeast boundary of the site to further help buffer the project from the Silver Ridge Senior Apartment complex and St. Anna's Greek Orthodox Church.
- As proposed, the project landscaping will partially screen views of the project facilities, provide visual and noise buffers for the adjacent homes, and strengthen the pedestrian scale by buffering the sidewalk. As proposed, the landscape plan is consistent with the design intent of the CDG and SRSP and no changes are recommended.

Building Design/Architecture

- The proposed building design is predominately composed of brown and light sandstone finishes, with brick accents. Secondary accent materials include natural limestone comprising the entry pop-out, pilasters, and wainscot around the perimeter of the building. Light beige, sandstone-colored precast concrete sills and cornice pieces accentuate the openings and cap the walls to create contrast with dark sandstone accent brick and champagne-colored stucco.

Figure 5: Building Rendering



- Additional materials that contribute to the building design include the sierra tan-colored cap flashing at the top of the building and clear anodized window framing and mullions that make up the building's fenestration. Aqua-colored translucent skylight panels above the building's main entrance will provide additional architectural detail and will provide natural light for the main lobby/entrance area into the facility.
- The majority of the building will measure approximately 33' in height (to the top of the parapet), with a skylight architectural feature located at the front of the building that will extend up to 53'. The project will provide four sided architecture through the use of various high end building materials and colors and exterior accent lights will highlight the building's entrance and pilasters during the evening hours.

- As proposed, the site will provide a strong streetscape presence presenting a well-articulated building that is architecturally compatible with the surrounding developments. The colors, materials, and design of the building meet the intent of the CDG and SRSP.

Conclusion

- Zoning Ordinance Section 19.78.060(B) requires four finding of fact be made in order to approve a Design Review Permit. Based on the analysis contained in this staff report and with the project conditions, the required findings for approval can be made. The four findings for approval of the Design Review Permit are contained in the Recommendation section of this report.

DRAFT EIR DISCUSSION

Development of the project site was evaluated on a program level in the SRSP EIR (State Clearinghouse Number 97032058), certified in March 1998. While no specific development was proposed on the project site at the time the SRSP was approved, the EIR made assumptions of ultimate buildout of the area based on proposed land use assumptions. Mitigation measures were adopted by the City Council, which cover the entire Specific Plan area. However, because the SRSP EIR only covered the discussion of general issues associated with future development of the project area and evaluated development on a program level, and because the regulatory environment as well as the surrounding area has changed significantly since the EIR was certified in 1998 (including buildout of most of the SRSP area), new project-specific mitigation measures will be identified for development of this site.

The purpose of this DEIR is to evaluate the proposed project for possible environmental impacts. This EIR is not tiered from the SRSP EIR, but rather functions as a stand-alone EIR; however, this EIR will rely on the SRSP EIR as an important resource document for background information.

Comments Received

- During the NOP comment period, a total of three comment letters were received from Caltrans, the Regional Water Quality Control Board, and the law firm Rutan & Tucker LLP. The associated issues raised in those letters included concerns regarding potential impacts to Interstate 80, surface and ground water impacts, and concerns regarding the adequacy of information contained in the NOP and Initial Study. No significant impacts were identified regarding those concerns and all of the comments raised in the NOP comment letter have been addressed in the DEIR.

Impact Summary

- The DEIR contains a comprehensive analysis of each impact area and identifies the potentially significant impacts and proposed mitigation measures to reduce those impacts to less than significant levels. As such, with implementation of feasible mitigation measures, there are no "Significant and Unavoidable Impacts", as noted in the chapter summaries below.
- The following discussion summarizes, by section, the impact areas that have been deemed potentially significant or significant. A summary of the mitigation measures necessary to reduce these impacts to a less than significant level is also provided. Please refer to the Draft EIR (Exhibit A) for more detailed analysis of each impact area and discussion of impacts that have been determined to be less than significant.
- **Section 4.1 – Aesthetics**
 - No potentially significant or significant impacts identified.

➤ **Section 4.2 – Air Quality**

Impact	Significance Level	Mitigation Measures*	Residual Significance
4.2-2 – Non-Compliance with the Placer County Air Pollution Control District Standard for Air Quality	Potentially Significant	4.2-2(a); As identified in Table 3-1.	Less than Significant
4.2-5 – Result in the Cumulatively Considerable Net Increase in Criteria Pollutants	Potentially Significant	4.2-5(a); Exceed Title 24 by 10%; apply water conservation strategy. 4.2-5(b); Ensure only low volatile organic compound cleaning products are used onsite. 4.2-5(c); As identified in Table 3-1.	- Less than Significant - Less than Significant - Less than Significant

* NOTE: Mitigation measures are paraphrased from DEIR.

➤ **Section 4.3 – Biological Resources**

Impact	Significance Level	Mitigation Measures	Residual Significance
4.3-1 – Impacts to Special Species	Potentially Significant	4.3-1 (a); Conduct pre-construction raptor survey; provide buffer around any nest until young have successfully fledged.	Less than Significant

➤ **Section 4.4 – Climate Change**

Impact	Significance Level	Mitigation Measures	Residual Significance
4.4-1 – Greenhouse Gas Emissions	Potentially Significant	4.4-1(a) Implement Mitigation Measures 4.2-5 (a-c).	Less than Significant

➤ **Section 4.5 – Cultural Resources**

Impact	Significance Level	Mitigation Measures	Residual Significance
4.5-1 – Loss or Degradation of Undiscovered Cultural Resources	Potentially Significant	Halt work and consult a qualified archaeologist if resources are uncovered; halt work and follow identified procedures if human remains are uncovered.	Less than Significant
4.5-2 – Directly or Indirectly Destroy a Unique Paleontological Resource	Potentially Significant	Monitor for potential fossil recovery opportunities.	Less than Significant
4.5-3 –Cumulative Loss of Cultural Resources	Potentially Significant	Halt work and consult a qualified archaeologist if resources are uncovered; halt work and follow identified procedures if human remains are uncovered.	Less than Significant

➤ **Section 4.6 – Land Use Planning**

- No potentially significant or significant impacts identified.

➤ **Section 4.7 – Hazards**

- No potentially significant or significant impacts identified.

➤ **Section 4.8 – Hydrology and Water Quality**

- No potentially significant or significant impacts identified.

➤ **Section 4.9 – Noise**

- No potentially significant or significant impacts identified.

➤ **Section 4.10 – Public Services**

- No potentially significant or significant impacts identified.

➤ **Section 4.11 – Public Utilities**

- No potentially significant or significant impacts identified.

➤ **Section 4.12 - Transportation and Circulation***

Impact	Significance Level	Mitigation Measures	Residual Significance
4.12-1 – Change in LOS at East Roseville Parkway / Secret Ravine Parkway Intersection	Significant	• 4.12-1 (a); Extend left turn lane off Secret Ravine by 30' and modify the 120' transition taper to 90'. • 4.12-1(b); Install overlap phase on southbound right turn movement from Secret Ravine onto East Roseville Parkway and prohibit east bound U-turns at the intersection of East Roseville Parkway and Secret Ravine. • 4.12-1(c); Reduce Green split for southbound left-turn movement from Secret Ravine Parkway onto East Roseville Parkway and reallocate the green time to eastbound left-turn and westbound through movements • 4.12-1(d); Redtime traffic signal at East Roseville Parkway/North Sunrise Avenue intersection.	Less than Significant
4.12-1 – Change in LOS at North Sunrise Avenue/Land Hill Road Intersection	Significant	• Reduce green split for northbound through traffic and increase westbound left-turn maximum.	Less than Significant

*The proposed use will generate 4,460 daily trips and 482 PM Peak hour trips. The City of Roseville's traffic model assumed the site would generate approximately 8,141 daily trips and 707 PM Peak hour trips. As such, the proposed project will generate approximately 54% of the daily trips and 68% of the PM Peak hour trips analyzed in the City's traffic model and is well below the design capacity of the effected streets.

Alternatives Summary

This section provides a description of the alternatives to the proposed project analyzed in the Draft EIR and evaluates how specific impacts differ in severity from those associated with the project. The primary intent of the alternatives evaluation in an EIR is to provide the public and decision makers with a range of possible alternatives to consider. Accordingly a brief summary of the proposed alternatives are outlined below.

- **No Project Alternative (#1):** For purposes of this EIR the “no project” alternative assumes that no development would occur and the site would remain in its current undeveloped condition. However, this alternative would not achieve any of the Project Objectives (as discussed in Section 2.3 of the DEIR) because the site would not develop with any commercial or recreational uses.
- **Existing Zoning Alternative (#2):** This alternative is consistent with the parcels Community Commercial zoning and anticipates development of the site with a “neighborhood serving use” including a grocery/drug store and other neighborhood oriented uses, as allowed by the SRSP. Based on the General Plan floor area ratio (FAR) standards, this option assumes development of the site with a 190,000 square foot commercial use that is consistent with the approved zoning and land use of the parcel. Under this alternative the proposed health club facility would not be developed.
- **Reduced Footprint (#3):** The reduced development alternative assumes a smaller project that includes development of an 85,000 sf building with 50,000 sf of outdoor recreational amenities. The “reduced footprint” scenario would be similar to those of the proposed project, but less intense

because it would generate a reduction in vehicle trips, noise, water demand, and wastewater. However, in order to accommodate the reduced footprint scenario, the indoor leisure pool, gymnasium, basketball courts, and outdoor tennis courts would need to be eliminated, which is in conflict with Project Objective #1 of providing a range of indoor and outdoor family recreational activities.

- **Reduced Footprint/Reduced Intensity Alternative (#4):** This alternative is similar to Alternative 3, but would be smaller and have fewer amenities. Specifically, this alternative would include a 50,000 square foot building and would not provide tennis courts, Life Cafe, a training room, office space, reception area, or separate yoga and Pilates studios. Accordingly, this alternative would not provide the broad range of amenities or services envisioned in the project objectives.

The DEIR analysis identifies Alternative #1 as the “environmentally superior alternative” (as required by CEQA); however, in accordance with the CEQA Guidelines, if the “No project Alternative” is the environmentally superior alternative, the next best alternative must be identified. Accordingly, based on a review of the remaining alternatives, #4 would be the environmentally superior alternative. This alternative would not avoid all impacts associated with the project, but would reduce the severity of the impacts associated with project related traffic.

Cumulative Analysis

In addition to the project impacts, the Life Time Fitness project combined with other existing and reasonably foreseeable projects in the region, will not contribute to significant and unavoidable cumulative impacts. All of the associated project impacts can be mitigated to a less than significant level through the adoption of the recommended mitigation measures, and there are no project specific or cumulative impacts that cannot be avoided if the project is approved.

RECOMMENDATIONS & CONDITIONS OF APPROVAL

The Planning Division recommends the Planning Commission take the following actions:

- A. Recommend Council certify the Draft Environmental Impact Report;
- B. Recommend that the City Council approve the Ordinance Amendment as shown in Exhibit B;
- C. Recommend that the City Council adopt the one (1) finding of fact as stated below for the **SPECIFIC PLAN AMENDMENT – LIFE TIME FITNESS – 1435 EAST ROSEVILLE PARKWAY – FILE # 2012PL-103 (SPA-000048)**:
 1. *The proposed Specific Plan Amendment is consistent with the objectives, policies, programs and land use designations specified in the City of Roseville General Plan and Stoneridge Specific Plan.*
- D. Recommend that the City Council approve the **SPECIFIC PLAN AMENDMENT – LIFE TIME FITNESS – 1435 EAST ROSEVILLE PARKWAY – FILE # 2012PL-103 (SPA-000048)** as shown in Exhibit C;
- E. Recommend that the City Council adopt the three (3) finding of fact as stated in the staff report for the **CONDITIONAL USE PERMIT – LIFE TIME FITNESS – 1435 EAST ROSEVILLE PARKWAY – FILE # 2012PL-103 (CUP-000080)**;

- F. Recommend that the City Council approve the **CONDITIONAL USE PERMIT – LIFE TIME FITNESS – 1435 EAST ROSEVILLE PARKWAY – FILE # 2012PL-103 (CUP-000080)** with six (6) Conditions of Approval;
- G. Recommend that the City Council adopt the four (4) findings of fact as stated below for the **DESIGN REVIEW PERMIT – LIFE TIME FITNESS – 1435 EAST ROSEVILLE PARKWAY – FILE # 2012PL-103 (DRP-000470)**; and
1. *The project does preserve and accentuate the natural features of the property, such as open space, topography, trees, provides adequate drainage for the project, and allows beneficial use to be made of the site for development.*
 2. *The project site design does provide open space, access, vehicle parking, vehicle, pedestrian and bicycle circulation, pedestrian walks and links to alternative modes of transportation, loading areas, landscaping and irrigation and lighting which results in a safe, efficient and harmonious development and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, Community Design Guidelines, and Stoneridge Specific Plan.*
 3. *The building design, including the materials, colors, height, bulk, size and relief, and the arrangement of the structures on the site is harmonious with other development and buildings in the vicinity and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, Community Design Guidelines, and Stoneridge Specific Plan.*
 4. *The design of the public services, as approved, including, but not limited to trash enclosures and service equipment are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors and landscaping that are harmonious with the site and the building designs.*
- H. Recommend that the City Council approve the **DESIGN REVIEW PERMIT – LIFE TIME FITNESS – 1435 EAST ROSEVILLE PARKWAY – FILE # 2012PL-103 (DRP-000470)** with eighty-seven (87) Conditions of Approval.

CONDITIONS OF APPROVAL FOR THE CONDITIONAL USE PERMIT (CUP-000080):

1. This Conditional Use Permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on August 22, 2015. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from August 22, 2015. (Planning)
2. The project, including the outdoor activities, shall comply with the operational restrictions outlined within this staff report, Exhibit J, and the DEIR. (Planning)
3. The CUP shall be effectuated upon issuance of a Building or Foundation Permit. (Planning, Building)
4. No more than 50 children shall be allowed in the outdoor play area at any given time. (Planning)
5. All on-site external lighting fixture types and the placement thereof shall be reviewed by the Planning Department. Site lighting shall be installed such that the lights are directed to have no

off-site glare. Lighting within the parking areas shall provide a maintained minimum of one (1) foot candle of light. All exterior light fixtures shall be vandal resistant. (Planning & Police)

6. The use of a Public Announcement (PA) System shall be prohibited at the project site. (Planning)

CONDITIONS OF APPROVAL FOR THE DESIGN REVIEW PERMIT (DRP-000470):

1. This Design Review Permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on August 22, 2015. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from August 22, 2015.
2. The project is approved as shown in Exhibits A - J and as conditioned or modified below. (Planning)
3. The project shall comply with all required environmental mitigation identified in the SRSP EIR and Project EIR. (Planning)
4. Prior to the issuance of a Certificate of Occupancy, the applicant shall pay \$10,000 to the City's Park and Recreation Department to help offset the City's construction cost of the 25 park and ride stalls relocated to Parcel 31. (Planning, Alternative Transportation, Parks & Recreation)
5. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Engineering, Environmental Utilities, Electric, Finance)
6. The design and construction of all improvements shall conform to the Design and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Engineering)
7. The applicant shall not commence with any on-site improvements or improvements within the right-of-way until such time as grading and/or improvement plans are approved and grading and/or encroachment permits are issued by the Department of Public Works (Engineering)
8. The approval of this project does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. (Engineering)

PRIOR TO ISSUANCE OF BUILDING PERMITS:

9. Parking stalls shall meet, or exceed, the following minimum standards:
 - a. All parking stalls shall be double-striped. Parking stalls adjacent to sidewalks, landscaped areas or light fixtures, and all Accessible stalls shall abut a 6" raised curb or concrete bumper. (Planning)
 - b. Standard -- 9 feet x 18 feet; Compact--9 feet x 16 feet; Accessible--14 feet x 18 feet (a 9 foot wide parking area plus a 5 foot wide loading area) and a minimum of one (1) parking space shall be Accessible van accessible--17 feet x 18 feet (9 foot wide parking area plus an 8 foot wide loading area). (Planning)
 - c. An 'exterior routes of travel' site accessibility plan incorporating slope, cross-slope, width, pedestrian ramps, curb ramps, handrails, signage, detectable warnings or speed limit signs or

equivalent means shall comprise part of the site improvement plans submitted to City for review, prior to building plan check approvals. This site accessibility plan shall also include:

- i) Handicapped parking stalls shall be dispersed and located closest to accessible entrances. The total number of accessible parking spaces shall be established by Table 11-B-6 of the CBC.
 - ii) Accessible Parking spaces and crosswalks shall be signed, marked and maintained as required by Chapter 11 of the CBC.
 - iii) Accessible parking and exterior route of travel shall comply with CBC, Sections 1127B and 1129B. (Building)
10. Signs and/or striping shall be provided on-site as required by the Planning Division to control on-site traffic movements. Parking lot striping and signage shall be maintained in a visible and legible manner. (Planning)
11. The plans submitted to the Building Department for permits shall indicate all approved revisions/alterations as approved by the Commission including all conditions of approval. (Planning)
12. The project Landscape Plans shall comply with the following:
- a. The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines, backflow preventors, fire department connections, and public water, sewer, and storm drain facilities. (Planning, Fire, EUD, Electric, Engineering)
 - b. The tree plantings in the parking lot shall be designed to provide a minimum of 50% shade coverage after 15 years. (Planning)
 - c. At a minimum, landscaped areas not covered with live material shall be covered with a rock, (2") bark (no shredded bark) or (2") mulch covering. (Planning)
 - d. The landscape plan shall comply with the Stoneridge Specific Plan and the City of Roseville Water Efficient Landscape Requirements (Resolution 93-55).
 - e. Landscaping adjacent to preserve areas shall consist of California native, drought-tolerant groundcover, shrubs, plants and trees. (Open Space, Planning)
 - f. All landscaping in areas containing electrical service equipment shall conform with the Electric Department's Landscape Requirements and Work Clearances as outlined in Section 10.00 of the Departments "Specification for Commercial Construction." (Electric)
 - g. The applicant shall plant eight 36" box Broadleaf Evergreen trees on the slope between the wall and emergency access driveway to the rear of the building and eight 36" box Coniferous Evergreen trees around the trash enclosure and turnaround.
13. Any roof-mounted equipment and satellite dishes proposed shall be shown on the building plans. The equipment shall be fully screened from public streets and the surrounding properties. (Planning)

14. At the time of building permit application and plan submittal, the project applicant shall submit a proposed plan which shows the suite addressing plan for individual tenant spaces within the building. The Chief Building Official, or the designate, shall approve said plan prior to building permit approval. (Building)
15. A separate Site Accessibility Plan which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. (Building)
16. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Department for applicable Code editions). (Building)
17. For restaurants or other food services. The developer shall obtain all required approvals and permits from the Placer County Health Department and the City of Roseville Industrial Waste Division. (Building, Environmental Utilities)
18. Maintenance of copy of building plans: Health and Safety Code section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address.
19. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to Public Works prior to approval of any plans. (Engineering)
20. The Improvement Plans shall include a complete set of Landscape Plans. The Landscape Plans shall be approved with the Improvement Plans. (Planning, Engineering, Fire, Environmental Utilities, Electric)
21. A note shall be added to the grading plans that states:

“Prior to the commencement of grading operations, the contractor shall identify the site where the excess/borrow earthen material shall be imported/deposited. If the borrow/deposit site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified.” (Engineering)
22. A standard bus shelter pad shall be installed on northbound Secret Ravine Parkway, north of Roseville Parkway. (Engineering)
23. The Developer shall enter into a \$10,000 cash in lieu agreement with the City for the future construction of the Bus Shelter on northbound Secret Ravine Parkway, north of Roseville Parkway (shelter number 269) (Engineering, Alternative Transportation)
24. The frontage of East Roseville Parkway and Secret Ravine Parkway shall be improved with an 8 ft. wide detached meandering sidewalks. (Engineering)

25. The existing driveway on East Roseville Parkway shall be accessed with a standard 10 ft. wide right turn lane. The right turn lane shall be 220 ft. long with a 120 ft. taper. (Engineering)
26. Developer shall coordinate with Engineering to ensure all traffic related mitigation measures required per the Final Environmental Impact Report for the Life Time Fitness Center Project are addressed prior to a Certificate of Occupancy (COC) being granted. (Engineering)
27. The existing bus turnout on Secret Ravine Parkway shall be extended to the easterly driveway to form a 10 ft. auxiliary lane across the Secret Ravine Parkway frontage. The proposed driveway on Secret Ravine Parkway shall be a standard 35' A-7 driveway. The bus pad shall be relocated to a location east of the proposed driveway on Secret Ravine Parkway. (Engineering)
28. The existing left turn pocket on Roseville Parkway shall be closed with concrete curbing and landscaped. The cost of these improvements shall be reimbursed by the City. (Engineering)
29. The applicant shall dedicate all necessary rights-of-way or Public Utility Easement for the widening of any streets or transfer of public utilities across and over any portion of the property as required with this entitlement. This includes the proposed auxiliary lane on Secret Ravine Parkway and any right of way along Roseville Parkway that needs to be dedicated. A separate document shall be drafted for approval and acceptance by the City of Roseville, and recorded at the County Recorder's Office. (Engineering)
30. All storm drainage, including roof drains, shall be collected on site and treated with Best Management Practices (BMP's) per the City's Stormwater Quality Design Manual. All storm water shall be routed to the nearest existing storm drain system or natural drainage facility. Drain outfalls shall extend down to the receiving water and shall be constructed with adequate velocity attenuation devices. The grading/improvement plans for the site shall be accompanied with a shed map that defines that area tributary to this site and all drainage facilities shall be designed to accommodate the tributary flow. The storm drain system and proposed BMP's shall be privately owned and maintained by the property owner. Prior to the issuance of any permits, the owner shall provide a plan for the maintenance of the proposed BMP's. (Engineering)
31. Prior to the issuance of any permits, the property owner shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) to the City, as defined by the Regional Water Quality Control Board. The SWPPP shall be submitted in a single three ring binder. Upon approval, the SWPPP will be returned to the property owner during the pre-construction meeting. (Engineering)
32. The developer shall be responsible for any necessary relocation of signal interconnect cables that may require re-location as a result of the construction of turn lanes and/or driveways. (Engineering)
33. To ensure that the design for any necessary widening, construction, or modifications of Public Streets does not conflict with existing dry utilities generally located behind the curb and gutter, and prior to commencement of grading the project proponent shall have the existing dry utilities pot holed for verification of location and depth. At such time, pot hole data shall be provided to the engineer for determination of adequate clearance and separation. (Engineering)
34. Sight distances for all driveways shall be clearly shown on the improvement plans to verify that minimum standards are achieved. It will be the responsibility of the project proponent to provide appropriate landscaping and improvement plans, and to relocate and/or modify existing facilities as needed to meet these design objectives. (Engineering)

35. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During plan check of the improvement plans and/or during inspection, Public Works will designate the exact areas to be reconstructed. Any existing public facilities damaged during the course of construction shall be repaired by the property owner and at the property owner's expense, to the satisfaction of the City. (Engineering)
36. Prior to the approval of the improvement plans, it will be the project proponent's responsibility to pay the standard City Trench Cut Recovery Fee for any cuts within the City streets that are required for the installation of underground utilities. (Engineering)
37. The project shall be addressed as 1435 East Roseville Parkway. (Engineering)
38. The applicant/developer shall prepare a Transportation Systems Management (TSM) Plan for Life Time Fitness to be reviewed and approved by the Transportation Commission. (Public Works)
39. Bike parking shall be provided per the California Green Building Code. (Alternative Transportation, Building)
40. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plain view and in profile view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)"
41. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)
42. Water and sewer infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards and shall include:
 - a. Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12' unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes.
 - b. Water and sewer mains shall not exceed a depth of 12' below finished grade, unless authorized in these conditions of approval.
 - c. All sewer manholes shall have all weather 10-ton vehicle access unless authorized by these conditions of approval. (Environmental Utilities)
43. No trees are allowed over water or sewer utilities. (Environmental Utilities)
44. The project shall loop a public 12" water main through the site connecting the transmission mains between E. Roseville Parkway and Secret Ravine Parkway. (Environmental Utilities)
45. Sewer shall be public to the manhole in the northwest corner of property. The rest of the sewer is privately maintained but built to current city standards. (Environmental Utilities)

46. Trash enclosures, recycling areas, and enclosure approaches shall be designed to current Refuse Division specifications, the materials and colors shall match the building, and the location of such facilities shall be reviewed and approved by the Refuse Division, Planning and the Fire Department. The enclosure must have inside dimensions of 12 feet wide and 9 feet deep and be built to the specifications of the Solid Waste Department's Enclosure Description. (Refuse, Planning, Fire)
47. Access to trash enclosures shall have an inside turning radius of 25 feet and an outside turning radius of 45 feet must be maintained to allow the refuse truck access to and from the enclosure. Enclosures must have a clear approach of 65 feet in front of the enclosure to allow servicing bins. (Refuse)
48. A trash enclosure and recycling enclosure is required for each building/activity area, otherwise, the building owner is responsible for the trash service. (Refuse)
49. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
50. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting. (Fire)
51. The fire flow required, at a 50% reduction due to the buildings being sprinklered, will be based on the largest single structure in accordance with the California Fire Code at the time detail plans are submitted to the City of Roseville for review. The maximum fire flow will not exceed 4,000 gpm based on the Appendix III-AA of the California Fire Code. (Fire)
52. The Electric Department requires the submittal of the following information in order to complete the final electric design for the project:
 - a. one (1) set of improvement plans
 - b. load calculations
 - c. electrical panel one-line drawings
53. All on-site external lighting shall be installed and directed to have no off-site glare. Lighting within the parking areas and pedestrian walkways shall provide a maintained minimum of one (1) foot candle, and 0.5 foot candle of light, respectively. All exterior light fixtures shall be vandal resistant. (Planning & Police)
54. The parking lot shall have properly posted signs that state the use of the parking area is for the exclusive use of employees and customers of this project. (See California Vehicle Code Sections 22507.8, 22511.5, 22511.8, 22658(a), and the City of Roseville Municipal Code Section 11.20.110). The location of the signs shall be shown on the approved site plan. (Planning & Police)
55. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS

56. Any backflow preventors visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventors shall be screened with landscaping and shall comply with the following criteria:

- a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventor to the landscaping.
 - b. For maintenance purposes, the landscaping shall only be installed on three sides and the plant material shall not have thorns.
 - c. The control valves and the water meter shall be physically unobstructed.
 - d. The backflow preventor shall be covered with a green cover that will provide insulation. (Planning, Environmental Utilities)
57. The following easements shall be provided by separate instrument and shown on the site plan, unless otherwise provided for in these conditions:
- a. Water and Sewer easements.
 - b. Additional internal easements will be required to cover primary electrical facilities to the project when the final electrical design is completed. (Electric)
58. Easement widths shall comply with the City's Improvement Standards and Construction Standards. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. All existing public utility, electric, water, sewer and reclaimed water easements shall be maintained unless otherwise authorized by these conditions of approval. (Public Works, Environmental Utilities, Electric)
59. Inspection of the potable water supply system on new commercial/ industrial/ office projects shall be as follows:
- a. The Environmental Utilities Inspector will inspect all potable water supply up to the downstream side of the backflow preventor.
 - b. The property owner/applicant shall be responsible for that portion of the water supply system from the backflow preventor to the building. The builder/contractor shall engage a qualified inspector to approve the installation of this portion of the water supply. The Building Division will require from the builder/ contractor, a written document certifying that this portion of the potable water supply has been installed per improvement plans and in accordance with the Uniform Plumbing Code. This certificate of compliance shall be submitted to the Building Division before a temporary occupancy or a building final is approved.
 - c. The building inspectors will exclusively inspect all potable water supply systems for the building from the shutoff valve at the building and downstream within the building. (Building, Environmental Utilities)
60. All improvements being constructed in accordance with the approved grading and improvement plans shall be accepted as complete by the City. (Engineering)
61. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Engineering)
62. Water and sewer shall be constructed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. (Environmental Utilities)

63. All water backflow devices shall be tested and approved by the Environmental Utilities Department. (Environmental Utilities)
64. Restaurants or other Food Service Establishment (FSE). The applicant shall design for installation and/or install an exterior grease interceptor if the proposed business could potentially discharge substances containing fats, oils and grease (FOG) into the sewer system. The grease interceptor shall be adequate to separate and remove FOG contained in the wastewater from FSE's prior to discharge to the public sewer. (Environmental Utilities)
65. In the event an exterior grease interceptor cannot be installed due to space limitation, the developer shall install a grease trap, per City Standards, that will mechanically separate the FOG contained in the wastewater from the FSE prior to discharge to the public sewer. (Environmental Utilities)
66. Pursuant to the Municipal Code, the applicant shall apply for and obtain a FOG waste discharge permit (FOG WDP) from the Environmental Utilities Industrial Waste Division prior to occupancy or prior to discharging waste to the public sewer. The applicant shall submit information required by the Environmental Utilities Department for evaluation, including but not limited to: site plans, floor plans, mechanical and plumbing plans, and details to show all sewers, FOG control device, grease interceptor or other pretreatment equipment and appurtenances by size, location and elevation. Additional information related to the applicant's business operations and potential discharge may be requested to properly evaluate the FOG WDP application. (Environmental Utilities)
67. All Electric Department facilities, including streetlights where applicable, shall be designed and built to the "City of Roseville Specifications for Commercial Construction." (Electric)
68. The City of Roseville Electric Department has electrical construction charges which are to be paid by the developer and which are explained in the City of Roseville "Specification for Commercial Construction." These charges will be determined upon completion of the final electrical design. (Electric)
69. Any relocation, rearrangement, or change of existing electric facilities due to this development shall be at the developer's expense. (Electric)
70. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
71. All electric metering shall be directly outside accessible. This can be accomplished in any of the following ways:
 - a. Locate the metered service panel on the outside of the building.
 - b. Locate the metered service panel in a service room with a door that opens directly to the outside. The developer will be required to provide a key to the door for placement in a lock box to be installed on the outside of the door. Any doors leading from the service room to other areas of the building shall be secured to prohibit unauthorized entry.
72. One 3/4" conduit with a 2-pair phone line shall be installed from the buildings telephone service panel to the meter section of the customer's electrical switchgear or panel. (Electric)

73. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)
74. Proper clearances of streetlights must be maintained per the electric department's specifications. (Electric)
75. Existing facilities will need to be extended through the site to provide power to the proposed building. Extension of facilities to be paid for by the developer. (Electric)

OTHER CONDITIONS OF APPROVAL

76. Signs shown on the elevations are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)
77. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
78. The City reserves the right to restrict vehicle turning movements within the public right-of-way in the future if deemed necessary by the City Engineer. (Engineering)
79. The right-of-way along East Roseville Parkway and Secret Ravine Parkway shall be obtained by the developer prior to approval of improvement plans. If the developer is unable to obtain the needed right-of-way, the City shall initiate condemnation proceedings pursuant to California Government Code Section 66462.5 at the developer's expense and the developer shall defend and hold the City harmless for any liability which may occur as a result of the condemnation. (Public Works)
80. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)
81. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)
82. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor or person responsible for the building permit must notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. (Fire)
83. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
84. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and

eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)

85. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Department Field Inspector at the time of or prior to the foundation inspection. (Building)
86. Prior to Certificate of Occupancy, the applicant may apply for a Temporary Occupancy (TO) of the building. If a TO is desired, the applicant must submit a written request to the Building Division a minimum of thirty (30) days prior to the expected temporary occupancy date and shall include a schedule for occupancy and a description of the purpose for the Temporary Occupancy. (Building)
87. Concurrent with submittal for plan check and prior to a request for final building inspection, the applicant may request City approval of an occupancy phasing plan to allow individual or multiple building occupancies. This request shall be made in writing to the Building Department and shall include 10 copies of the following:
 - a. A description of measures that will be undertaken to minimize conflict between residents/ building occupants and construction traffic (e.g. fencing, etc.);
 - b. A phasing plan showing the proposed buildings, internal roads and access routes, landscaping, trash enclosure locations, and any other improvements planned for each phase; and
 - c. Estimated time frame for each phase and a specific date for the first phase. (Planning, Building)

ATTACHMENTS

1. Life Time Fitness Prototype Images
2. Colored Elevations
3. Line of Sight Elevation

EXHIBITS

- A. Draft Environmental Impact Report. Additional copies of the document are available at the Roseville Planning Division (Permit Center Counter), at the Downtown and Maidu Branch Libraries, and on the City's website.
- B. Zoning Ordinance Change Pages
- C. Specific Plan Change Pages
- D. Site Plan
- E. Grading Plan
- F. Utility Plan
- G. Elevations
- H. Landscape Plans
- I. Lighting Plan
- J. Operations Plan

From: [Peggy Cooper](#)
To: [Shallow, Kinarik](#)
Cc: [Christy Mohammed](#)
Subject: Proposed changes to Life Time Fitness - request for privacy clause
Date: Wednesday, July 24, 2019 10:20:45 PM

EXTERNAL: This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Hello,

I was invited and hoped to attend an informational meeting regarding these changes.

I live just next door, in a senior 55+ low income senior community, so quite obviously residents do not enjoy the luxuries financially that your members have.

My concern is that we already have the problem of people cutting through our complex and taking a shortcut to work out? Really, a few extra steps to allow us our privacy? We already have the GREEK FOOD FESTIVAL, next door that goes on and results in a lost weekend of quiet and peace in our complex, and issues of theft afterward for small petty things like garden hoses, and items set out for the pleasure of others in our community garden that is disrupted by the walk thru invasion of our complex to go smoke (which is not allowed) so notice needs to be given to members, and guests that Silver Ridge is not here to facilitate foot traffic. We already have enough homeless traffic from the trails across the street, and I see many residents of the gated community next door that feel free to trespass on our space to cut thru to your facility. The Greek Food Festival does not even trade our inconvenience with free entry to the festival. A shame in my book, leaving residents to hear the fun, smell the food, yet most likely not able to partake in the fun of the weekend. This is how I also feel about cross thru shortcuts to work out?

I would like a disclaimer that the Silver Ridge complex is not negatively affected with this change, and request not to cross over to members be given in writing.

These are low income seniors hoping for a section 8 voucher, living in poverty level conditions that do not allow the luxury of crime and theft without undue hardships to the residents.

I have been here a year, have talked to management about the walk thru traffic. There is no law against visitors so it makes it very tough to regulate, and since most incidents happen on weekends, there is no resident manager available to take care of these things until long after the violation occurs, making it impossible for law enforcement to get involved, leaving the burden on the older residents here to cope with, and suffer the losses which are too small even if insured, due to deductibles!

Shortly after moving here, I saw kids from the gated houses next to us, coming into our area to do drug deals? Again, nothing we can do or say about visitors that do not belong.

Could there be a clause circulated to residents nearby that we do not appreciate the cross traffic. We do not walk into their gated areas? So please, consider a statement or request to be circulated to members in nearby area that Silver Ridge is not a shortcut to workout for members!

Trying to assist the manager who is inundated with complaints of transients off the trail and cross thru traffic! Please note that I am speaking as a resident, not management at Silver Ridge, so have cc'd the management so they also know of my request. Thank you in advance for your assistance.

Please let me know if this is possible.

Sincerely,
Peggy Cooper
Resident at
1101 Stone Canyon Drive #1323
Roseville, CA 95661
(530)643-9358

From: [Michael Hayden](#)
To: [Shallow, Kinarik](#)
Subject: lifetime fitness file #PL19-0193
Date: Saturday, July 27, 2019 10:49:32 AM

EXTERNAL: This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Hello Kinarik,

I received notice of the public hearing for Lifetime Fitness. As a result I have a few comments/questions.

I attended the neighborhood meeting that was held at the church on July 15. At this meeting the representative from Lifetime, stated they wanted to play "ambient music" every day. I see nothing about this, in the mailing I received. Has this portion of the request been dropped?

The church where the meeting was held, borders Lifetime Fitness. They have a Greek Food Festival every Memorial Day weekend. They originally had outdoor Greek music, but for the last few years Roseville has not allowed it. So why should another neighbor, that is even closer to our community than the church is, be allowed to play amplified outdoor music 3 times a year?

Thank you for your consideration.

Michael Hayden
1508 Elk Ravine Way
Roseville CA 95661

From: [dalestaley](#)
To: [Shallow, Kinarik](#)
Subject: #SRSP PCL 14 & 21 Life Time Fitness modification.
Date: Thursday, August 1, 2019 12:30:56 PM

EXTERNAL: This email originated from outside of the organization. Do not click on any links or open attachments unless you recognize the sender and know the content is safe.

Hello, I'm a taxpayer and homeowner directly behind the pools/slide/outside food at LTF. I live at 1805 Grey Owl Circle, Roseville, CA 95661 Lot #85.

I'm against the extension of hours. I'm disabled, have had to move my bedroom away from LTF side of my home into a small bedroom in front as the noise starts at 0600, ends after 2200. I've had to move where I sleep because of the noise. I can't use my master bedroom or my bed.

It doesn't fit in smaller rooms.

I can hear whole conversations, laughing the loudest contests at 10pm when we want to sleep. I'm able to hear the noise without windows open. There were drones flying over our fence height at a recent LTF event. They've put outdoor speakers up and have swim courses, music blaring, whistles going. I've had to call the police bc of the noise at times.

I refinanced my home. The assessment noted the visual and noise blight from LTF that make the property less valuable.

My neighbor's and I on the same side of my street are very upset since LTF moved in. I was against this approval, there were other commercial lots available with no homes on the property line, rapid access to freeways.

I hear many of on the planning committee regretted approval of this monstrosity behind us. Show that by not approving the hour extension.

I'm unable to attend the meeting August 2, 2019 as I'm disabled.

This wasn't how I planned my senior years. You've truly negatively impacted my life, my investment in my home.

I have documents to back up my claims made by home assessor about the blight and my physician, SSDI can provide you documentation of my disability.

MY answer is no extension. It's horrible as it is. Btw, the owner of LTF didn't send me notification of a recent mtg at St Anne's. My neighbor's received it, but not me.

I know about the request for hour extension.

Submitted
Aug, 1, 2019

Dale A. Staley
916 899-8450

Sent on my Boost Mobile Samsung Galaxy S9.

EXHIBIT D

PROPOSED LIFE TIME FITNESS
OPERATIONAL CONDITIONS

A. Hours of Operation

Main Building: ~~4:00am~~ – ~~Midnight~~~~11:00pm~~. With the exception of lap swimming, no outdoor activities or uses shall take place before 7:00am.

Outdoor Pool: ~~Dawn to dusk, with the exception that~~
~~f~~Family/recreational swim shall not begin until 10:00am and lasts until dusk (lap swimming may begin at 4:00am and is permitted until midnight~~dawn~~).

Tennis Courts: 8:00am – 10:00pm with the exception of the four (4) closest courts to single family residences to the east, which shall be closed at 9:00 pm and their pole lights be turned off at that time. Only security level lighting on bollards shall be allowed after 10:00pm.

B. Swim Team/Swim Meets

No outdoor swim meets or events will be held at the project site.

C. Enhanced Landscaping

Pursuant to the submitted landscaping plan, eight (8) 36" box broadleaf evergreen trees shall be planted on the slope between the wall and emergency access driveway to the rear of the building, screening views to and from the building. Eight (8) 36" box coniferous evergreen trees shall be planted around the trash enclosure and the turn around.

D. Events/Outdoor Music

Outdoor music in compliance with the City Noise Ordinance shall be allowed in the outdoor pool area only on Memorial Day, July 4, Labor Day, and one (1) Yoga Under the Stars event during family swim hours (10:00am-8:00pm).



PLANNING COMMISSION COMMUNICATION

Title: NIPA PCL CO-12 - Campus Oaks CO-12 Phase 1 - 6300 Campus Parkway - File PL19-0177
Contact: Shelby Vockel, svockel@roseville.ca.us, 916-746-1347

Meeting Date: 8/8/2019
Item #: 6.2.

ATTACHMENTS:

Description

Staff Report

Attachment 1 HPCO Applicable Mitigation Measures

Exhibit A Tentative Subdivision Map

Exhibit B Site Development Plan

Exhibit C Preliminary Grading Plan

Exhibit D Preliminary Utility Plan

Exhibit E Proposed Elevations

Exhibit F Campus Oaks Master Plan Amended Pages

Exhibit G Development Standards

ITEM 6.2: **Tentative Subdivision Map, Major Project Permit Stage 2, and Administrative Permit – 6300 Campus Pkwy – Campus Oaks CO-12 Phase 1 – PL19-0177**

REQUEST

The applicant requests approval of a Tentative Subdivision Map to create 15 small lot single-family parcels, a Major Project Permit Stage 2 for residential architecture, and an Administrative Permit to transfer two units from parcel CO-1 to CO-12 within the Campus Oaks Master Plan. The unit transfers will not change the number of units within a transferring or receiving parcel by more than 20-percent.

Applicant/Owner – Stephen Des Jardins, BBC Roseville Oaks LLC

SUMMARY RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the three (3) findings of fact and approve the Tentative Subdivision Map subject to fifty-two (52) conditions of approval.
- B. Adopt the two (2) findings of fact and approve the Major Project Permit Stage 2 subject to twenty-five (25) conditions of approval.
- C. Adopt the three (3) findings of fact and approve the Administrative Permit subject to one (1) condition of approval.

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with the recommended conditions of approval.

BACKGROUND

The proposed project is located at 6300 Campus Parkway, on Parcel CO-12 within the Campus Oaks portion of the Hewlett Packard Campus Oaks Master Plan Area (Master Plan). The Master Plan, adopted in 2015 (PL14-0373), consists of a mix of residential, commercial, and office uses within an undeveloped portion of the former Hewlett Packard campus, formerly designated for light industrial uses. The Master Plan is the guiding document for future development of the plan area. Subsequent to the adoption of the Master Plan, the Campus Oaks Design Standards and Guidelines document was adopted (PL15-0340). The document ensures that the area is developed in a manner consistent with the character envisioned in the Master Plan.

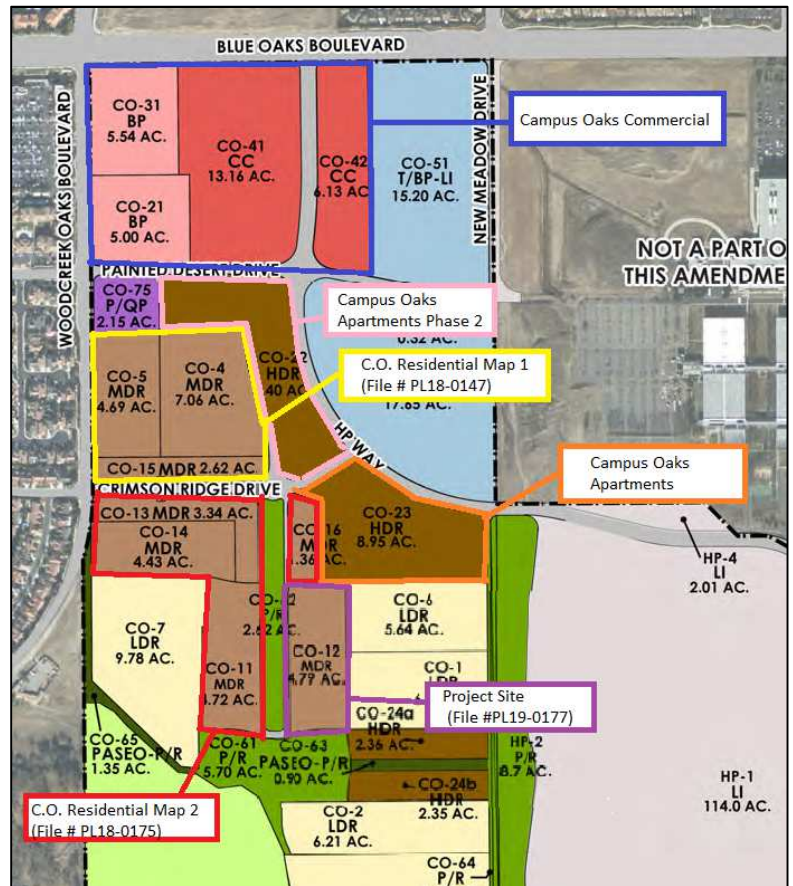
The project is centrally located in the Master Plan area, to the south of Crimson Ridge Drive. Parcel CO-12 is located on the east side of the planned park couplet on Parcel CO-62. To the north of parcel CO-12, parcel CO-23 is a High Density Residential (HDR) parcel that contains the first phase of the Campus Oaks Apartments (PL16-0331), which is nearing the end of construction. Figure 1 identifies the subject parcels within the Master Plan area, and Figure 2 shows an aerial view of the project site.

The Master Plan is in the early stages of buildout, with the majority of the plan area still requiring additional entitlements. Most of the Master Plan area has been rough graded and internal collector streets have been constructed. The Planning Commission approved a Tentative Subdivision Map, Major Project Permit Stage 2, and Administrative Permit for a 132 small-lot residential development on parcels CO-4, CO-5, and CO-15 on September 27, 2018 (PL18-0147). A new commercial development on parcels CO-21, CO-31, CO-41, and CO-42, including a General Plan Amendment, Rezone, Development Agreement

Amendment, Major Project Permit Stage 1 Modification, Major Project Permit Stage 2, and a Tentative Subdivision Map was approved December 5, 2018 by City Council (PL18-0080). Another Tentative Subdivision Map, located on Parcels CO-11, 13, 14, and 16, was approved by the Planning Commission on January 10, 2019 (PL18-0175). Additional entitlements are in review for a subdivision to the east of the project (Parcels CO-1, 2, 6, 7, 12, 24a, 24b, 61, 63, PL18-0192) that includes a Master Plan Amendment.

The project site has a Medium Density Residential (MDR) General Plan land use designation and is zoned Small Lot Residential/Development Standards (RS/DS). The project proposes to develop the site with 15 single-family residential lots and one large remainder lot, to be developed with the rest of Parcel CO-12. A Major Project Permit Stage 2 (MPP Stage 2) accompanies the request to evaluate the proposed home elevations. The application includes a request to transfer two residential units from parcel CO-1 to CO-12, which is permitted by the Master Plan to be approved administratively, as discussed in this report.

Figure 1: Campus Oaks Master Plan Recent Projects



MAJOR PROJECT PERMIT PROCESS

The intent of the Major Project Permit (MPP) process is to streamline the review of large development projects that could be constructed over a period of several years. The MPP process allows for the resolution of issues prior to the review of more detailed architectural and landscape issues that may not be finalized at the time the site plan is ready. In accordance with the City's MPP Ordinance, the MPP review process is segregated into three separate stages. Provided below is a summary of each stage:

- Stage 1: This portion of the MPP application consists of the approval of a preliminary development plan. The preliminary development plan will establish the configuration of the buildings, conceptual building elevations, parking areas and ratios, landscaping and open space locations, rough grading and drainage on and off site, vehicular and parking circulation, and development phasing. The complete environmental review of the project is also performed at this stage. The Planning Commission is the hearing authority for Stage 1 review and approval.
- Stage 2: This portion of the MPP application process consists of the review of the detailed architecture and landscaping for the project. The Planning Commission is the hearing authority for Stage 2 review and approval.

- Stage 3: Stage 3 is an administrative review, approved by the Planning Manager, of the improvement plans and building plans for compliance with the conditions of the Stage 1 and 2 approvals.

The HPCO Master Plan was approved through the MPP Stage 1 process. Development of the individual parcels within the master plan area will be evaluated through the MPP Stage 2 process to ensure conformance with the intent of the MPP Stage 1.

EVALUATION

The project includes a Tentative Subdivision Map to create 15 medium-density, single-family residential lots and one large remainder lot (Figure 3). This application also includes a MPP Stage 2 to evaluate home designs for the proposed subdivision on a portion of parcel CO-12, and an Administrative Permit for a unit transfer to add two additional units to the allocation for parcel CO-12. The evaluation section of this report includes an analysis of the Tentative Subdivision Map, MPP Stage 2, and Administrative Permit. Each entitlement is analyzed separately for its consistency with the goals and policies of the applicable regulations, including the General Plan, the Zoning Ordinance, the Community Design Guidelines, and the Master Plan.

TENTATIVE SUBDIVISION MAP

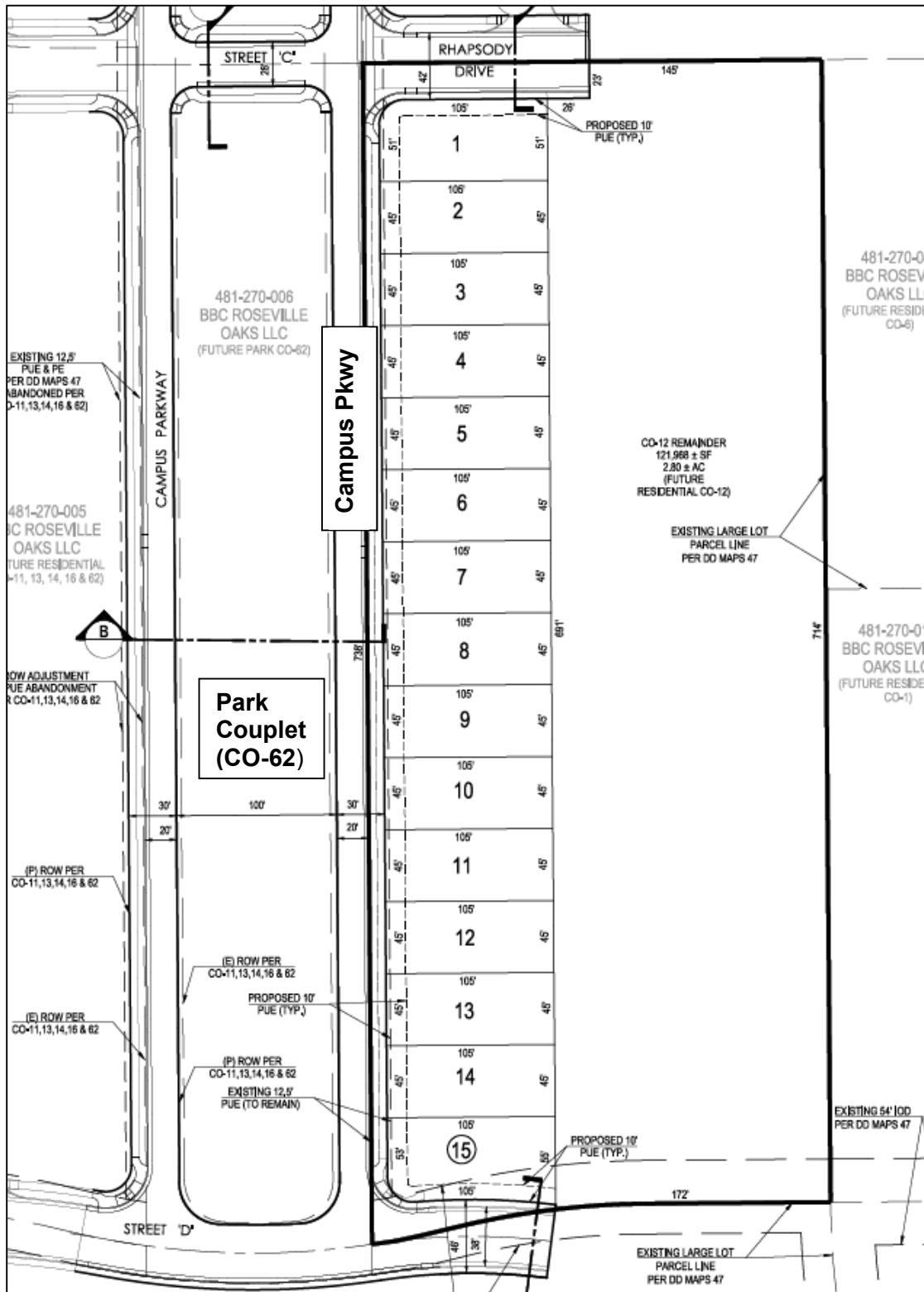
Section 18.06.180 of the City of Roseville Subdivision Ordinance requires that three findings be made in order to approve or conditionally approve a tentative subdivision map. The three findings are listed in the Recommendation section of this report.

The Tentative Subdivision Map is included as Exhibit A. The project includes 15 single-family residential lots in a linear block pattern adjacent to Campus Parkway, which is a public street (Figure 3). The project also creates one large remainder lot, approximately 2.8 acres in size, which will be reserved for future development on parcel CO-12. The proposed lot sizes, depths, and widths conform to the proposed development standards for the project, and the design of the proposed improvements have been reviewed by City divisions and departments involved in the development process. The lots have been found to conform to City standards. The applicant has submitted a lotting plan and home design which shows the lots can be used and built upon. Approval of the project will not result in significant increases in demands on sewage services, and there will be no impacts to the existing requirements established by the Regional Water Quality Control Board. Below is an evaluation which focuses on the design elements of the subdivision.

Figure 2: Project Site Aerial



Figure 3: Tentative Subdivision Map



The subdivision consists of medium density residential (MDR) small lots, homes that will face onto Campus Parkway. Garages for the homes will be located on the front side of the homes, with driveway access from Campus Parkway. The minimum lot size proposed by the project development standards is 4,300 square feet. A few lots, such as those located on corners, are slightly larger. Separated sidewalks are planned for the subdivision adjacent to Campus Parkway, providing pedestrian access on the east side of Campus Parkway between Street “C” (Rhapsody Drive) and Street “D”.

Access and Circulation

The proposed subdivision is located on the east side of the park couplet (parcel CO-62), and access to the individual homes will be via driveways off of Campus Parkway. Campus Parkway is a one-way loop road that circumnavigates the 100-foot-wide linear park on parcel CO-62. The park couplet is bisected by Street “C”, which provides cross access between the eastern and western portions of the subdivision. The Campus Parkway loop road connects to both Crimson Ridge Drive to the north, as well as Street “D” to the south of the proposed subdivision.

Pedestrian access to the front of the homes is provided via sidewalk along the frontage of the parcels. The proposed sidewalk will be five feet wide, and separated from Campus Parkway by a five-foot-wide landscape strip. All 15 lots within the subdivision are located directly across from the proposed park couplet, and sidewalk connections will be available between the park couplet and ramps along Street “C”, creating a continuous and complete network for pedestrian connectivity.

Parking

The City’s Zoning Ordinance requires two parking spaces for each single-family residential unit. With 15 units, the total parking required for the residential development is 30 spaces. Each residential unit within the subdivision includes a minimum of two parking spaces within the attached two-car garage, therefore providing the minimum 30 spaces. The two large floor plans include a third parking space in tandem within the garage. All 15 units will have driveways with adequate depth to provide two additional parking spaces in front of their garages. As the unit mix throughout the subdivision has not been formally allocated, staff assumes that a minimum of 60 parking spaces will be available within the subdivision (not including available street parking), which exceeds the minimum required 30 spaces.

MAJOR PROJECT PERMIT STAGE 2

The Major Project Permit Stage 2 (MPP Stage 2) includes review of the design for the proposed subdivision. Staff evaluated the project to establish consistency with the Master Plan and the Campus Oaks Design Standards and Guidelines.

Architecture and Landscaping

The proposed homes in Phase 1 of parcel CO-12 represent a different product type than what has been previously approved within the Master Plan area. Rather than alley-loaded homes, as were previously approved on the west side of the park couplet and on the east side of the park couplet north of Street “C” (referred to as the “Montecito” homes, approved with File #PL18-0175), the currently proposed homes are front loaded with driveways and garages adjacent to the entryway. All homes within the proposed subdivision will face onto public roadways, and have paved walkways extending from the front door of each home to the sidewalk along the street.

The proposed elevations for these lots have three floorplans in three styles (the “Delta”, “Ranch”, and “Modern”), with a variety of color palate options. The elevations are included as Exhibit E, and the development standards are included in Exhibit G. The styles utilize a variety of construction materials,

such as board and batten siding, stucco, stone, and brick detailing, as well as mixed roof forms to maintain visual interest within the subdivision. The floor plans illustrate that the front bedroom or living space, depending on the desired footprint, will project beyond the garage, creating a dimension through breaks in wall plane. The floor plans range in size from approximately 1,843 square feet to 3,341 square feet, and include a mix of one and two story homes. The proposed elevations conform to the Campus Oaks Design Standards and Guidelines as well as the Community Design Guidelines in that the homes will provide a mix of colors and materials, include wall plane and roofline variation, and generally provide for an engaging and active streetscape (Figure 4).

Figure 4: Typical Streetscape



The Campus Oaks Design Standards and Guidelines Section 3-4 includes a plant list and design concepts for streets within the plan area, and requires that accent trees be selected from the Campus Oaks Recommended Plant list. Campus Oaks Design Standards and Guidelines identify Trident Maple, Grecian Laurel, and Forest Pansy Redbud as appropriate tree species adjacent to the park couplet, and the landscape planting along parcel CO-12 will be compatible with previously approved landscape plans along the park couplet. The ultimate plant selection and layout will be reviewed for consistency with the Master Plan during improvement plan review. MPP Stage 2 Condition #3 will ensure that the landscape plan and plant selection is consistent with Section 3-4 prior to being approved.

Conclusion

The project has been designed in a manner consistent with the General Plan, Community Design Guidelines, and Campus Oaks Master Plan, providing both appropriate vehicular and pedestrian access and circulation; building designs which use a variety of materials, colors, and building form; and infrastructure adequate to serve the proposed use. The site is appropriately designed, and will not be detrimental to the public health and safety or materially detrimental to the public welfare.

ADMINISTRATIVE PERMIT

Section 5.6 of the Master Plan describes the process for minor density transfers and states that unit transfers can be approved administratively if the following conditions are satisfied:

1. The transfer and receiving parcels are located within Campus Oaks and are subject to a Development Agreement;
2. The transfer of units does not result in a change to the land use designation, specifically, the transfer does not: a) reduce the number of units from the transfer parcel below the minimum number of units allowed by the applicable land use designation, or b) increase the number of units

to the receiving parcel above the maximum number of units allowed by the applicable land use designation;

3. The transfer of units does not result in increased impacts beyond those identified in the Master Plan EIR/Master Plan Addendum and does not preclude the ability of the parcels to conform to the applicable standards or regulations contained in this Master Plan and related Development Standards and Design Guidelines;
4. The transfer of units does not adversely impact planned infrastructure, roadways, schools, or other public facilities, fee programs, and assessment districts;
5. The cumulative increase or decrease in units resulting from the transfer does not change the unit allocation by more than 20-percent of the units to either the transfer or receiving parcel, as established at the time of the Master Plan;
6. HDR units designated as affordable units may be transferred administratively until such time as they are encumbered by an Affordable Housing Rental Agreement (or other form as approved by the City); and,
7. For Parcel CO-22, unit transfers may be approved administratively provided the resulting density of the parcel does not fall below 25 dwelling units per acre.

The project includes a unit allocation transfer between two parcels within the Master Plan area. Unit transfers are proposed from Low Density Residential (LDR) parcels CO-1 (two units) to increase the density on the subject parcel, CO-12. It is noted that parcel CO-1 presently has a unit allocation of 31 units due to a recently approved administrative transfer; however, for the purpose of complying with Condition 1 of Section 5.6 of the Master Plan, the original number of units at the time of Master Plan adoption is considered. Table 1 below shows the change in units and density from the adoption of the Master Plan to the proposed project, as well as a cumulative percentage change in units:

Table 1: Unit Transfers Proposed by Campus Oaks Map CO-12 Phase 1

Parcel	Land Use Designation	Number of Units at time of Plan Adoption	Proposed Number of Units	Original Density (dwelling units/acre)	Proposed Density (dwelling units/acre)	Percentage Change in Units (from time of Plan Adoption)
CO-1	LDR	36	29	5.9	4.8	-19.4%
CO-12	MDR	34	36	7.1	7.5	+5.9%

The proposed unit transfer occurs within the Master Plan area and is subject to the existing development agreement, and the transfer will not result in a change to the land use designation or increase/decrease the unit allocation by more than 20% for either a giving or receiving parcel. No changes to the Development Agreement are necessitated by the proposed action. The unit transfers proposed are relatively minor in nature and expected as development plans are refined for a project the size of the Master Plan. In addition, no environmental impacts that were not identified in the EIR or Addendum will occur.

As described, the requested unit transfer meets the criteria outlined by the Master Plan. The unit transfer is therefore determined to be consistent with the intent of the General Plan, Zoning Ordinance, and the

Campus Oaks Master Plan. The resultant unit allocations for the parcels are found to be compatible with the surrounding uses and will not be detrimental to people or property within the area. The three findings for approval of an Administrative Permit are listed in the Recommendation section of this report. As analyzed above, staff recommends approval of the unit allocation transfer.

PUBLIC OUTREACH

The proposed project was distributed to the various agencies and departments which have requested notice of City applications, and all comments were considered and incorporated into the Conditions of Approval, as appropriate. Notice of the application was also distributed to the Roseville Coalition of Neighborhood Associations. No comments were received. A public notice of the Planning Commission hearing was published on July 26, 2019, and was distributed to all property owners within 300 feet of the project site. To date, no comments have been received.

ENVIRONMENTAL DETERMINATION

An Addendum to the Hewlett-Packard Master Plan Environmental Impact Report (HPMP EIR) was prepared as part of the analysis for the Campus Oaks Master Plan project (Hewlett-Packard Campus Oaks Addendum), which was approved by City Council on August 5, 2015. The addendum is available for review at <https://www.roseville.ca.us/cms/One.aspx?portalId=7964922&pageId=8775121>. This activity is within the scope of the Addendum to the HPMP EIR; therefore, pursuant to the California Environmental Quality Act, Sections 15168 and 15162, no further analysis is required. The project is subject to the mitigation measures identified in the Addendum, as provided in Attachment 1.

RECOMMENDATION

The Planning Division recommends the Planning Commission take the following actions:

- A. Adopt three (3) findings of fact as listed below and approve the **Tentative Subdivision Map – NIPA PCL CO-12 Campus Oaks CO-12 Phase 1 – PL19-0177** subject to fifty-two (52) conditions of approval.
 1. ***The size, design, character, grading, location, orientation, and configuration of lots, roads, and all improvements for the tentative subdivision map are consistent with the density, uses, circulation, and open space systems, applicable policies and standards of the General Plan or any specific plan for the area, whichever is more restrictive, and the design standards of this Title.***
 2. ***The subdivision will result in lots which can be used or built upon. The subdivision will not create lots which are impractical for improvement or use due to the steepness of terrain or location of watercourse in the area; the size or shape of the lots or inadequate building area; inadequate frontage or access; or, some other physical condition of the area.***
 3. ***The design and density of the subdivision will not violate the existing requirements prescribed by the Regional Water Quality Control Board for the discharge of waste into the sewage system, pursuant to Division 7 of the Water Code.***
- B. Adopt two (2) findings of fact as listed below and approve the **Major Project Permit Stage 2 – NIPA PCL CO-12 Campus Oaks CO-12 Phase 1 – PL19-0177** subject to twenty-five (25) conditions of approval.
 1. ***The Architecture and Landscaping is consistent with the General Plan, Campus Oaks Master Plan, and Community Design Guidelines; and***

2. ***The design shall not be detrimental to public health and safety, or be materially detrimental to the public welfare.***
- C. Adopt three (3) findings of fact as listed below and approve the **Administrative Permit – NIPA PCL CO-12 Campus Oaks CO-12 Phase 1 – PL19-0177** subject to one (1) condition of approval.
 1. ***The proposed use or development is consistent with the City of Roseville General Plan and the Campus Oaks Master Plan.***
 2. ***The proposed use or development conforms with all applicable standards and requirements of the Zoning Ordinance and the Campus Oaks Master Plan.***
 3. ***The location, size, design, and operating characteristics of the use or development is compatible with and shall not adversely affect or be materially detrimental to the health, safety, or welfare of persons residing or working in the area, or be detrimental or injurious to public or private property or improvements.***

CONDITIONS OF APPROVAL FOR TENTATIVE SUBDIVISION MAP FILE #PL19-0177

1. The project is approved as shown in Exhibits A-G and as conditioned or modified below. (Planning)
2. The approval of the Tentative Subdivision Map does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. The Developer shall submit civil drawings to the Department of Development Services – Engineering Division for review and approval. (Engineering)
3. The design and construction of all improvements shall conform to the Design and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Engineering)
4. The developer shall not commence with any on-site improvements until such time as grading and/or improvement plans have been submitted for review and are approved and grading and/or encroachment permits are issued by the Department of Development Services Engineering Division. (Engineering)
5. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. Project billing may occur up to two (2) months after the end of warranty or the Notice of Termination date for the SWPPP, whichever occurs later. (Engineering, Environmental Utilities, Finance)
6. The project shall comply with all required environmental mitigation identified in the Hewlett-Packard Master Plan Environmental Impact Report and HPCO Addendum and shall include all applicable mitigation measures as notes on the grading plans. (All Departments)

PRIOR TO ISSUANCE OF A GRADING PERMIT AND/OR IMPROVEMENT PLANS

7. Landscape Plans for all landscape corridors and all landscaped common areas shall be approved with the improvement plans. Landscaping shall be installed for Substantial Completion of the subdivision improvements. Landscape corridors shall also successfully complete the required establishment period. The landscape plan shall comply with the Campus Oaks Master Plan and the City of Roseville Water Efficient Landscape Ordinance. (Planning, Engineering, Parks, Fire, Environmental Utilities)

8. The applicant shall submit a street name application with proposed street names. The application can be found here: <https://www.roseville.ca.us/cms/one.aspx?portalId=7964922&pageId=10388929>. After city review, the applicant will receive the application identifying approved or rejected street names. If enough street names are approved, the applicant shall submit a map with the approved street names to receive a stamp and to be used as the approved street name exhibit. This shall be included in the submittal for improvement plans. (Business Services)
9. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to the Engineering Division prior to approval of any plans. (Engineering)
10. The applicant shall apply for and obtain an encroachment permit from the Engineering Department prior to any work conducted within the City right-of-way. (Engineering)
11. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During site inspection Engineering will designate the exact areas to be reconstructed. (Engineering)
12. All Lots/Parcels shall conform to Class 1 drainage, pursuant to the adopted City of Roseville Improvement Standards, except as shown on the tentative map or as approved in these conditions. (Engineering)
13. The following note shall be added to the Grading and/or Improvement Plans:

To minimize dust/grading impacts during construction the applicant shall:

- a) *Spray water on all exposed earth surfaces during clearing, grading, earth moving and other site preparation activities throughout the day.*
 - b) *Use tarpaulins or other affective covers on all stockpiled earth material and on all haul trucks.*
 - c) *Sweep the adjacent streets frontages at least once a day or as needed to remove silt and other dirt which is evident from construction activities.*
 - d) *Ensure that construction vehicles are cleaned prior to leaving the construction site to prevent dust and dirt from being tracked off site.*
 - e) *The City shall have the authority to stop all grading operations, if in the opinion of city staff, inadequate dust control measures are being practiced or excessive wind conditions contribute to fugitive dust emissions. (Engineering)*
14. Prior to the approval of the improvement plans, it will be the project proponent's responsibility to pay the standard City Trench Cut Recovery Fee for any cuts within the City streets that are required for the installation of underground utilities. (Engineering)
 15. A note shall be added to the grading plans that states:

*"Prior to the commencement of grading operations, the contractor shall identify the site where the **excess/borrow** earthen material shall be imported/deposited. If the **borrow/deposit** site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified." (Engineering)*

16. The applicant shall dedicate all necessary rights-of-way for the widening of any streets required with this entitlement. A separate document shall be drafted for approval and acceptance by the City of Roseville, and recorded at the County Recorder's Office. (Engineering)
17. Campus Parkway, Rhapsody Drive, Street C, and Street D shall be designed and constructed to the satisfaction of the Engineering Division. (Engineering)
18. The drainage study shall be accompanied with a shed map that defines that area tributary to this site. All drainage facilities shall be designed to accommodate the tributary flow. All on-site storm drainage shall be collected on site and shall be routed to the nearest existing storm drain stub of natural drainage course. (Engineering)
19. All storm drainage, including roof drains, shall be collected on site and shall be routed to the nearest storm drain system or natural drainage facility. Prior to discharge from the site, the storm water shall be treated with appropriate storm water pollution treatment device(s). Any drainage outfalls shall extend down to the receiving water and shall be constructed with adequate velocity attenuation devices. (Engineering)
20. The grading plans shall be accompanied with engineered structural calculations for all retaining walls greater than 4 feet in height. All retaining walls shall be of either split faced masonry units, keystone type construction, or cast in place concrete with fascia treatment. (Engineering)
21. **Prior to the approval of the Improvement Plans**, the project proponent shall provide proof of preparation and submittal of a Storm Water Pollution Prevention Plan (SWPPP) to the Regional Water Quality Control Board (RWQCB). Proof shall be in the form of the Waste Discharge Identification Number (WDID#), provided to the applicant from RWQCB, and placed on the coversheet of the improvement plans. Upon approval of the improvement plans, a copy of the SWPPP shall be required onsite and available for viewing by City inspection staff upon request. (Engineering)
22. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan-view and in profile-view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
23. Water and sewer infrastructure shall be designed and constructed pursuant to the adopted City of Roseville Improvement Standards and Construction Standards and shall reflect the following:
 - a) Sewer and water service laterals shall not be allowed off of water and sewer mains larger than 12 inches in diameter.
 - b) Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12 feet unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes.
 - c) Water and sewer mains shall not exceed a depth of 12 feet below finished grade, unless authorized in these conditions.

- d) All sewer manholes shall have all-weather 10-ton vehicular access unless authorized by these conditions. (Environmental Utilities)
24. Recycled water infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. The applicant shall pay all applicable recycled water fees. Easements shall be provided as necessary for recycled water infrastructure. (Environmental Utilities)
25. Any backflow preventers visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventers shall be screened with landscaping and shall comply with the following criteria:
- a) There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventer to the landscaping.
 - b) For maintenance purposes, the landscaping shall be installed on a maximum of three sides and the plant material shall not have thorns.
 - c) The control valves and the water meter shall be physically unobstructed.
 - d) The backflow preventer shall be covered with a green cover that will provide insulation. (Environmental Utilities)
26. A note shall be added to the Improvement Plans stating that all water backflow devices shall be tested and approved by the Environmental Utilities Department prior to the Notice of Completion for the improvements. (Environmental Utilities)
27. Fire hydrants shall be located as required by the Fire Department. The maximum distance between fire hydrants shall not exceed 500' on center. (Fire)
28. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
29. All Electrical Department facilities, including street lights where applicable, shall be designed and built to the "City of Roseville Specifications for Residential Trenching". (Electric)
30. The design for electrical service for this project will begin when the Electric Department has received a full set of improvement plans for the project. (Electric)
31. All landscaping in areas containing electrical service equipment shall conform to the "Electric Department Landscape Design Requirements" as outlined in Section 7.00 of the Electric Department's "Specifications for Residential Trenching." (Electric)
32. The location and design of the gas service shall be determined by PG&E. The design of gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
33. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

PRIOR TO OR UPON RECORDATION OF FINAL/PARCEL MAP

34. The following easements shall be provided and shown on the Final Map or by separate instrument, unless otherwise provided for in these conditions:
- a. A 10 foot wide public utilities easement along all road frontages;
- Easement widths shall comply with the City's Improvement Standards and Construction Standards. The easement documents shall be drafted for approval and acceptance by the City of Roseville and recorded at the Placer County Recorder's Office. (Environmental Utilities, Electric, Engineering)
35. All existing easements shall be maintained, unless otherwise provided for in these conditions. (Environmental Utilities, Electric, Engineering)
36. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. (Alternative Transportation, Environmental Utilities, Electric, Engineering)
37. A declaration of Conditions, Covenants and Restrictions (CC&Rs), in a form approved by the City Attorney, shall be recorded on the entire property concurrently with the Final/Parcel Map. The CC&Rs shall include the following items: (Attorney, Planning)
- a) A clause prohibiting the amendment, revision or deletion of any sections in the CC&Rs required by these conditions of approval without the prior written consent of the City Attorney.
 - b) A clause excluding any property owned by the City from the terms of the CC&Rs.
38. The City shall not approve the Final Map for recordation until either:
- a) A subdivision agreement is entered into along with the necessary bonds and insurance as required by the City. Said agreement shall be in a form acceptable to the City Attorney.
 - i) OR
 - b) The improvement plans are approved, and the improvements are constructed and accepted as complete. In this case, the subdivider shall enter into a one-year maintenance agreement concurrent with the recordation of the Final Map. (Engineering)
39. Street names shall be approved by the City of Roseville. (Engineering)
40. The Final/Parcel Map shall include an irrevocable offer to dedicate public rights-of-way and public and/or private easements as required by the City. Lettered Lot//Parcel along major roads shall be dedicated as landscape/pedestrian/public utility easements and in fee to the City as open space. (Engineering)
41. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Engineering)
42. The Final/Lot/Parcel/Parcel Map shall be submitted per, "The Digital Submittal of Cadastral Surveys". Submittal shall occur after Engineering approval but prior to Council approval. (Engineering)
43. Electric construction costs incurred by the City of Roseville Electric Department for this project shall be paid for by the developer per the applicable policy. (Electric)

44. The Environmental Utilities Department shall make a determination that there is adequate conveyance and treatment capacity in the City sewer system to handle the newly created Lot/Parcels. (Environmental Utilities)
45. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)

OTHER CONDITIONS OF APPROVAL

46. The applicant shall pay City's actual costs for providing plan check, installation and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Environmental Utilities, Engineering)
47. Any relocation, rearrangement, or change to existing electric facilities due to this development shall be at the developer's expense. (Electric)
48. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstructions during construction and when the project is complete. (Electric)
49. Existing public facilities damaged during the course of construction shall be repaired by the applicant, at the applicant's expense, to the satisfaction of the City. (Engineering)
50. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Engineering)
51. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor shall notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. Non-emergency releases or notifications about the presence of containers found shall be reported to the Fire Department. (Fire)
52. All plant material shall be maintained under a 30 calendar day establishment period after initial planting. Upon completion of the establishment period, all plant material shall remain under warrantee for an additional 9 months minimum. Any plant material which does not survive during the establishment period shall be immediately replaced. Any trees or shrubs which do not survive during the warrantee period shall be replaced one month prior to the end of the warrantee period. Tree or shrub replacement made necessary due to acts of God, neglect or vandalism shall be exempt from the warrantee. (Parks, Recreation, and Libraries)

CONDITIONS OF APPROVAL FOR MAJOR PROJECT PERMIT STAGE 2 FILE #PL19-0177

1. The development standards, unit designs and landscape plans for **NIPA PCL CO-12 Campus Oaks CO-12 Phase 1** are approved as described in Exhibits A-G, except as modified by these conditions of approval. (Planning)
2. This permit shall expire on the same date as the Tentative Map for **NIPA PCL CO-12 Campus Oaks CO-12 Phase 1, which is August 8, 2021**. Prior to said expiration date, the applicant may apply for an extension of time, provided this approval does not extend the expiration beyond **August 8, 2022**. Effectuation of this DRRS shall occur with the first residential Building Permit. (Planning)

3. The landscape plan shall comply with the Landscape Guidelines for the Campus Oaks Master Plan and the City of Roseville Water Efficient Landscape Ordinance. (Planning)
4. The project shall comply with all required environmental mitigation identified in Campus Oaks Master Plan Addendum, and shall include all applicable mitigation measures as notes on the grading plans. (All Departments)

PRIOR TO ISSUANCE OF BUILDING PERMITS

5. The project Landscape Plans shall comply with the following:
 - a. The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines, backflow preventers, fire department connections, and public water, sewer, and storm drain facilities. (Planning, Fire, EUD, Electric, Public Works)
 - b. At a minimum, landscaped areas not covered with live material shall be covered with a rock, (3") bark (no shredded bark) or (3") mulch covering. (Planning)
6. All on-site external lighting shall be installed and directed to have no off-site glare. (Planning)
7. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Green Building Standards Code-CGBSC, California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Division for applicable Code editions). (Building)
8. Prior to the issuance of building permits, the property owner shall pay into the following fee programs: Citywide Drainage Fee, Citywide Traffic Mitigation Fee (TMF), Highway 65 Joint Partners Association (JPA), South Placer Regional Transportation Authority (SPRTA), and City/County Fee. (Engineering)
9. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
10. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting. (Fire)
11. Testing of all fire systems shall be performed prior to opening the sales office for business. (Fire)
12. Framing construction cannot commence until access roads and public fire hydrants are approved by the Fire Department. (Fire)
13. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

DURING CONSTRUCTION AND PRIOR TO ISSUANCE OF OCCUPANCY PERMITS

14. All electric metering shall be directly outside accessible. (Electric)

15. It is the responsibility of the developer to ensure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)

OTHER CONDITIONS OF APPROVAL

16. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)
17. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Department Field Inspector at the time of or prior to the foundation inspection. (Building)
18. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)
19. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)
20. All alley loaded driveways shall have the address and street name of the designated unit as identified on the approved city lot maps. (Fire)
21. Signs are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)
22. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
23. Fences and walls shall be consistent with the locations and treatments specified in the Sierra Vista Specific Plan Design Guidelines. (Planning)
24. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
25. Any relocation or modification to the existing utility facilities or other existing improvements required for the development of this subdivision shall be at the developer's expense. (Electric, Environmental Utilities, Engineering, Fire)

CONDITIONS OF APPROVAL FOR ADMINISTRATIVE PERMIT FILE #PL19-0177

1. The Administrative Permit for the unit transfers from CO-1 to CO-12 is approved as shown in Exhibit F. (Planning)

Attachments

1. HPCO Applicable Mitigation Measures

Exhibits

- A. Tentative Subdivision Map
- B. Site Development Plan
- C. Preliminary Grading Plan
- D. Preliminary Utility Plan
- E. Proposed Elevations
- F. Campus Oaks Master Plan Amended Pages
- G. Development Standards

Note to Applicant and/or Developer: Please contact the Planning Division staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.

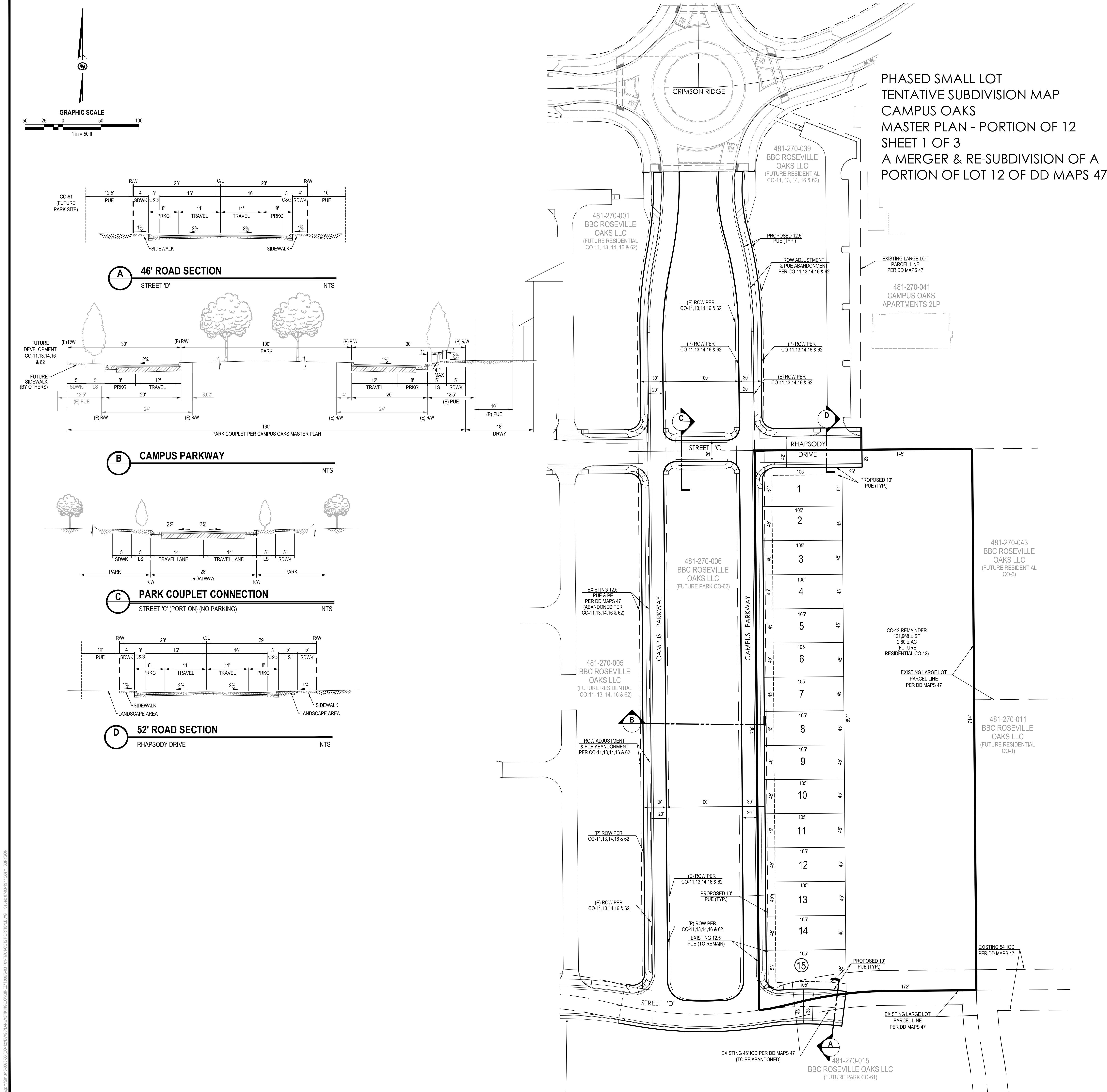
**TABLE OF APPLICABLE MITIGATION MEASURES
HEWLETT PACKARD CAMPUS OAKS MASTER PLAN AMENDMENT MITIGATION MONITORING PROGRAM**

Mitigation Measure	Implementation	Timing	Reviewing Party	Documents to be Submitted to City	Staff Use Only
1996 Mitigation Measure 4.10-1: Provide Dust Controls. In order to reduce construction-generated PM10 emissions, the contractor shall comply with the dust control strategies developed by the Placer County APCD. The developer shall include in construction contracts the following requirements or measures shown to be equally effective: a) The contractor shall water as indicated by City inspectors to keep all earth surfaces moist during clearing, grading, earthmoving and other site preparation activities. b) The contractor shall use tarpaulins or other effective covers for haul trucks that travel on public streets. c) The contractor shall sweep streets within and adjacent to the project as needed or as directed by City inspectors. d) The contractor shall schedule clearing, grading and earthmoving activities during periods of low wind speeds, and restrict those construction activities during high wind conditions with wind speeds greater than 20 mph average during an hour. e) The contractor shall control construction and site vehicle speed to 15 mph on unpaved roads. f) The contractor shall minimize open burning of wood and vegetative waste materials from both construction and operation of the project. No open burning shall occur unless it can be demonstrated to the Placer County APCD that alternatives have been explored. These alternatives may include, but are not limited to, chipping, mulching and conversion of biomass fuel. For any open burning, an APCD permit must be obtained in conformance with APCD Regulation 3 (Open Burning), Rules 301-325.	The applicants shall submit construction management plans as part of the Grading Permit or Improvement Plan application. Engineering will review plans for inclusion of these measures prior to issuance of permits or approval of plans.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits or Improvement Plans. Add as note on Improvement Plans.	Engineering	Dust Control Plan and proof of submittal to PCAPCD	
1996 Mitigation Measure 4.10-2(a): Maintain construction equipment and vehicles. The contractor shall reduce NOx, ROG and CO emissions by complying with the construction vehicle air pollutant control strategies developed by the Placer County APCD.	The applicants shall submit construction management plans as part of the Grading Permit application. Engineering will review grading plans for inclusion of these measures prior to issuance of grading permits.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits. Add as note on Improvement Plans.	Engineering	None	
1996 Mitigation Measure 4.10-2(b): Develop and Implement Construction Employee Trip Reduction Plan. Consistent with the City's TSM Ordinance, the construction contractor shall develop and implement a trip reduction plan designed to reduce construction-phase employee vehicle trips. Elements of this plan could include the following: 1. Providing all construction employees with information relating to public transit facilities serving the site, such as bus routes and schedules; 2. Carpooling incentives, including incentives for carpool participants such as preferred on-site parking; and 3. Carpool rider matching services.	The applicants shall submit construction management plans as part of the Grading Permit application. Engineering will review grading plans for inclusion of these measures prior to issuance of grading permits.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits. Add as note on Improvement Plans.	Engineering	None	
2015 Mitigation Measure 3-1. Participation in Mitigation Program. The Applicant shall participate in the District's Offsite Mitigation Program by paying the equivalent amount of money, which is equal to the projects contribution of pollutants (ROG and NOx), which exceeds the cumulative threshold of 10 lbs per day. The estimated payment for the proposed project is \$65,274 based on \$16,640 per ton for a one year period. The actual amount to be paid shall be determined, and satisfied per current California Air Resource Board guidelines, at the time of recordation of the Final Map (residential projects), or issuance of a Building Permit (non-residential projects).	The applicants shall submit proof of payment as part of the Grading Permit application.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits.	Engineering	Proof of payment.	

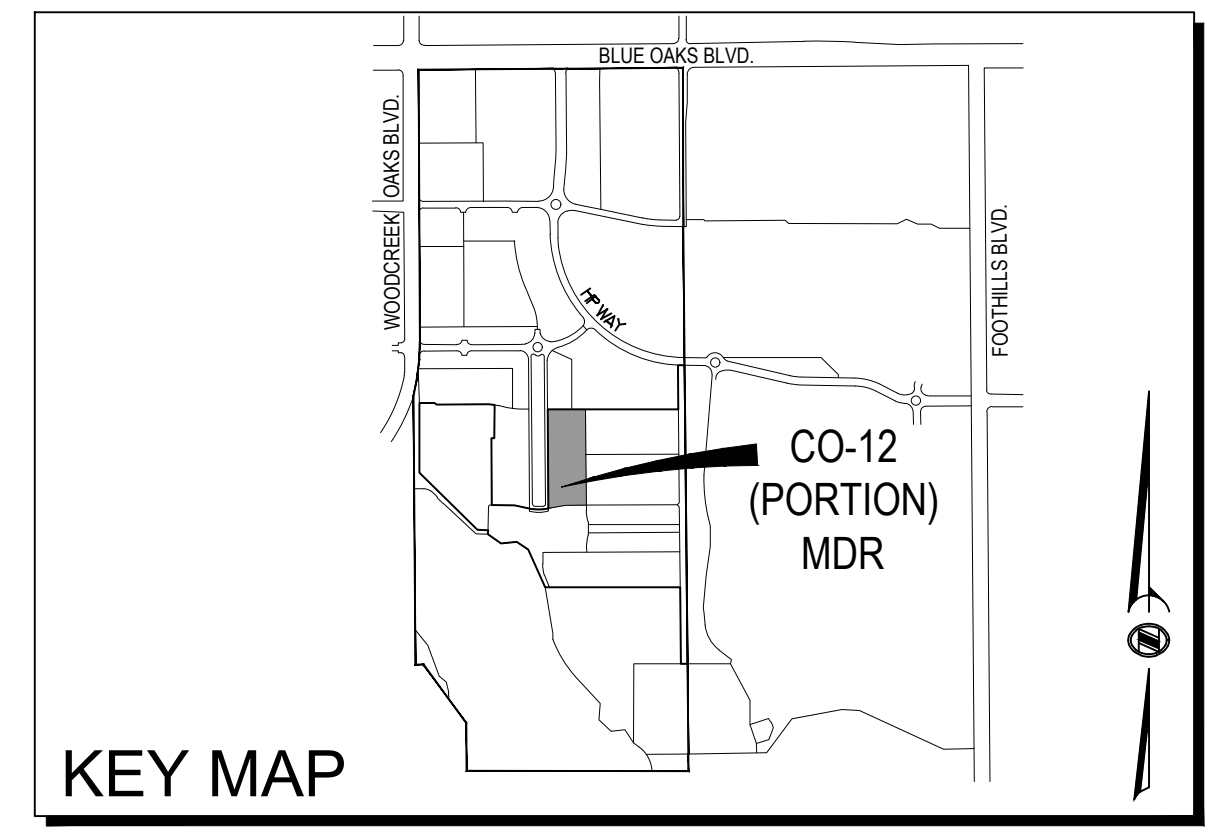
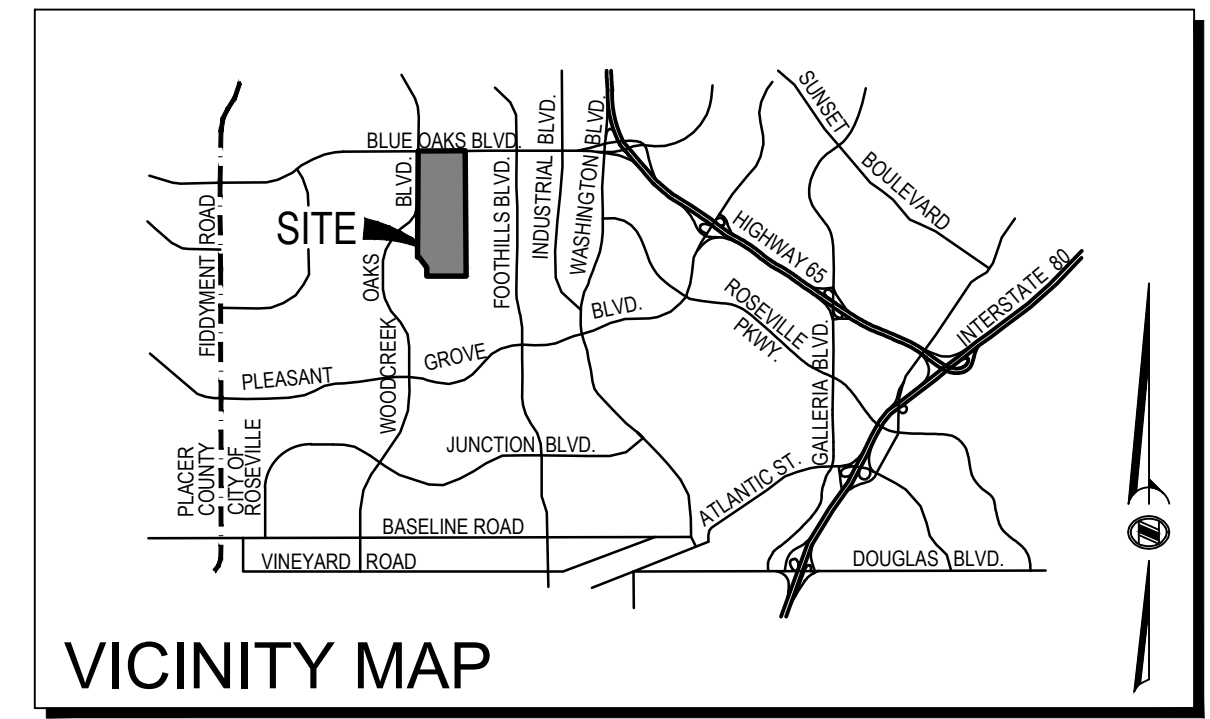
1996 Mitigation Measure 4.5-5 – Develop and implement construction protocols. The Proposed Project shall include policies that require the implementation of construction protocols that include, but may not be limited to, the following: - Restrict construction activities to areas away from preserved oak and riparian habitat Construction activities in the vicinity of oak trees shall be minimized. Laydown, staging, refueling and parking areas shall not be located adjacent to open space oak or riparian zones. Construction activities that by necessity occur in the vicinity of oak woodlands and riparian zones to be preserved. Encroachments or damage that have not been authorized by a tree permit shall be implemented as detailed in the Tree Preservation Ordinance. - Provide for construction parking away from sensitive habitat resources. Parking areas for construction personnel shall be located a minimum of 350 feet from the drip line of any mature oak tree intended for preservation, where parking will not compact or contaminate soils, damage tree roots, or otherwise degrade trees intended for open space or landscape preservation. - Erect temporary barrier fencing to delimit protected areas. Temporary fencing, consisting of five-foot orange construction drift fence, flagging, signs or other markings shall be erected around open space areas and restricted areas, and maintained for the duration of construction, to prevent inadvertent damage to natural resources. Fencing shall be maintained bi-weekly, and shall be the responsibility of an on-site compliance officer designated by the developer. The Applicant shall monitor and prepare annual reports as required by USCOE.	The applicants shall submit construction management plans as part of the Grading Permit or Improvement Plan application. Planning and Engineering will review plans for inclusion of these measures prior to issuance of permits or approval of plans.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits. Add as note on Improvement Plans and Grading Plans.	Planning and Engineering	None	
1996 Mitigation Measure 4.5-7 – Conduct pre-construction survey and implement restrictions. To ensure that fully protected and raptor species are not injured or disturbed, the Applicant shall implement one of the three following measures: A. All tree removal shall occur between August 30 and March 15 to avoid the breeding season of any raptor species that could be using the area. This period may be modified with the authorization of the DFG [DFW]. -OR- B. Prior to the beginning of construction during the period between March 15 to August 30, all trees within 350 feet of any grading or earthmoving activity shall be surveyed for active raptor nests by a qualified biologist. If active raptor nests are found, a fence or equally effective demarcation shall be erected around the tree at a distance of 350 feet from the edge of the canopy to prevent construction disturbance and intrusions on the nest area. -OR- C. The Applicant shall confer with CDFG [CDFW] and develop measures that satisfy the requirements of CDFG [CDFW] and the City. Any raptor nest should be relocated according to CDFG [CDFW] protocol, or in consultation with CDFG [CDFW], to the nearest suitable nest tree. Alternatively, the Applicant could develop protocol to the satisfaction of CDFG [CDFW] and the City.	Results of preconstruction surveys shall be submitted prior to the issuance of a grading permit or Improvement Plans. Applicable construction restrictions shall be reflected within plans. The applicants shall prepare annual reports on the status and success of mitigation and shall submit these reports to USFWS and CDFG. The applicants shall coordinate with USFWS and CDFG to modify as necessary any mitigation plans in an effort to attain mitigation success.	<i>Pre-Construction and Construction:</i> Surveys required prior to construction. If surveys are positive for birds, then remainder of mitigation steps are required prior to construction. Add as note on Improvement Plans and Grading Plans.	Planning and Engineering	Nesting bird Survey	
1996 Mitigation Measure 4.6-1. Unidentified Cultural Resources. In the event of the discovery of buried archaeological deposits it is recommended that project activities in the vicinity of the find should be temporarily halted and a qualified archaeologist consulted to assess the resource and provide proper management recommendations. Possible management recommendations for important resources could include resource avoidance or data recover excavations.	The applicants shall submit construction management plans as part of the Grading Permit or Improvement Plan application. Planning and Engineering will review plans for inclusion of these measures prior to issuance of permits or approval of plans.	Add as note on Improvement Plans and Grading Plans.	Planning and Engineering	None	

1996 Mitigation Measure 4.3-2. Site-specific geotechnical evaluation to assess development on soils characterized by slow permeability, low strength and high shrink-swell potential. To comply with General Plan Policies SA-2 and SA-3, a site-specific geotechnical evaluation shall be conducted as part of the development review process per the determination of the Public Works Director. Additionally, the site-specific geotechnical evaluations shall provide recommendations for development in areas with identified soil constraints, which shall be implemented during construction.	The applicants shall be responsible for conducting soil testing and/or recommendation of the Phase I environmental site assessments, if conditions are encountered which warrant such studies.	<i>Construction:</i> Applies if conditions found which warrant assessment (e.g. stained soils, underground tanks). Add as note on Improvement Plans.	Engineering and Fire	Phase I environmental assessment, if conditions warrant	
1996 Mitigation Measure 4.4-4. Implement erosion control plan. Mitigation Measure 4.4-4 requires that for any construction activities that would disturb fewer than five acres of land, all contractors must prepare and retain on site an erosion control plan that includes a description of post-construction sediment, erosion control measures and maintenance responsibilities, and non-storm water management controls. The State General Permit requires implementation of BMPs. BMPs include schedules of activities, prohibitions of practices, maintenance procedures, and other management practices to prevent or reduce pollution (e.g., straw bales, dikes, silt fences, sediment traps, or similar methods). These measures would reduce water quality impacts associated with construction activities to a less-than-significant level.	The developer shall create a SWPPP, submit it to the City, and comply with its provisions.	<i>Pre-Construction and Construction:</i> Submit SWPPP and ensure that BMPs remain in place during construction. Add as note on Improvement Plans and Building Plans.	Engineering	SWPPP	
2015 Mitigation Measure 12.1a: Construction contractors shall be required to limit construction activities to daytime hours from 7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 8:00 p.m. on Saturday and Sunday.	The applicants shall submit construction management plans as part of the Grading Permit application. Engineering will review grading plans for inclusion of these measures prior to issuance of grading permits.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits. Add as note on Improvement Plans and Grading Plans.	Engineering	None	
2015 Mitigation Measure 12.1b: Construction contractors shall post signs at construction sites that include information on permitted construction days and hours, a day and evening contact number for the job site, and a contact number in the event of problems. An onsite complaint and enforcement manager shall respond to and track complaints and questions related to noise.	The applicants shall submit construction management plans as part of the Grading Permit application. Engineering will review grading plans for inclusion of these measures prior to issuance of grading permits.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits. Add as note on Improvement Plans and Grading Plans.	Engineering	None	
2015 Mitigation Measure 12.1c: The applicant shall require construction contractors working within 800 feet of an occupied residence to implement the following measures: - Equipment and trucks used for proposed project construction shall use the best available noise control techniques (e.g., improved mufflers, equipment redesign, use of intake silencers, ducts, engine enclosures, and acoustically-attenuating shields or shrouds, wherever feasible). - Impact tools (e.g., jack hammers, pavement breakers, and rock drills) used for proposed Project construction shall be hydraulically or electrically powered where feasible to avoid noise associated with compressed air exhaust from pneumatically powered tools. Where use of pneumatic tools is unavoidable, an exhaust muffler on the compressed air exhaust shall be used; this muffler can lower noise levels from the exhaust by up to about 10 dBA. External jackets on the tools themselves shall be used where feasible; this could achieve a reduction of 5 dBA. Quieter procedures, such as use of drills rather than impact tools, shall be used whenever feasible. - Stationary construction noise sources shall be located as far from adjacent receptors as possible, and they shall be muffled and enclosed within temporary sheds, incorporate insulation barriers, or other measures to the extent this does not interfere with construction purposes.	The applicants shall submit construction management plans as part of the Grading Permit application. Engineering will review grading plans for inclusion of these measures prior to issuance of grading permits.	<i>Pre-Construction:</i> Prior to issuance of Grading Permits. Add as note on Improvement Plans and Grading Plans.	Engineering, Code Enforcement	None	

NOTE: This table is provided as a courtesy to the developer, to highlight the text of measures which are required to be placed on Improvement Plans and/or Building Plans. Refer to the applicable environmental document (e.g. Environmental Impact Report) for a full list of measures, and for context. Other measures may be applicable, but are not included here because they have already been completed or they are addressed via other mechanisms (e.g. development fees).



PHASED SMALL LOT
TENTATIVE SUBDIVISION MAP
CAMPUS OAKS
MASTER PLAN - PORTION OF 12
SHEET 1 OF 3
A MERGER & RE-SUBDIVISION OF A
PORTION OF LOT 12 OF DD MAPS 47



OWNER / APPLICANT	PLANNER / ENGINEER
BBC ROSEVILLE OAKS, LLC CONTACT: STEPHEN DES JARDINS 130 DIAMOND CREEK PLACE ROSEVILLE, CA 95747 PHONE: (916) 786-8158	MORTON PITALO, INC. 2870 GATEWAY OAKS DR., SUITE #120 SACRAMENTO, CA 95833 CONTACT: KEN TOPPER / SCOTT PEDERSEN PHONE: (916) 496-8781 EMAIL: KTOPPER@MPENG.COM SPEDERSEN@MPENG.COM
UTILITY PROVIDERS	
WATER: CITY OF ROSEVILLE WATES: CITY OF ROSEVILLE GAS: PG&E ELECTRIC: ROSEVILLE ELECTRIC TELEPHONE: ROSEVILLE TELEPHONE CABLE TV: COMCAST	
SERVICE PROVIDERS	
SCHOOL DISTRICT: ROSEVILLE JOINT UNION HIGH SCHOOL DISTRICT ROSEVILLE CITY SCHOOL DISTRICT FIRE PROTECTION: CITY OF ROSEVILLE POLICE PROTECTION: CITY OF ROSEVILLE STORM DRAINAGE: CITY OF ROSEVILLE SOLID WASTE: CITY OF ROSEVILLE	
PROJECT INFORMATION	
ASSESSOR PARCEL NUMBERS: PORTION OF 481-270-004-032 USE: VACANT EXISTING ZONING: RS/DS PROPOSED ZONING: RS/DS EXISTING GENERAL PLAN: MDR PROPOSED GENERAL PLAN: MDR	
EXISTING EXISTING NUMBER OF PARCELS: 1 # ACRES: 4.74 ± AC	
PROPOSED PROPOSED NUMBER OF LOTS: 15 # TYPE: RESIDENTIAL LOTS 1 REMAINDER LOT	
PROJECT INFORMATION	

- THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO FINAL MAP.
- MINOR MODIFICATION MAY BE MADE TO LOT LINES AT FINAL MAP.
- FOR PRELIMINARY PLANNING PURPOSES ONLY. BOUNDARY, TOPO, EASEMENTS AND SITE CONDITIONS TO BE VERIFIED PRIOR TO FINAL MAP AND ENGINEERING.
- PURSUANT TO GOVERNMENT CODE SECTION 66456.1 THE SUBDIVIDER MAY FILE MULTIPLE FINAL MAPS BASED UPON THIS TENTATIVE MAP. THE FILING OF A FINAL MAP ON A PORTION OF THIS TENTATIVE MAP SHALL NOT INVALIDATE ANY PART OF THIS TENTATIVE MAP. INCLUDING THE AUTHORITY OF THE LOCAL AGENCY TO IMPOSE REASONABLE CONDITIONS RELATING TO THE FILING OF MULTIPLE FINAL MAPS.
- ALL UTILITY SYSTEMS ILLUSTRATED ON THE TENTATIVE MAP ARE SUBJECT TO CHANGE AT THE TIME OF FINAL DESIGN.
- GRADING SHOWN ON THIS TENTATIVE MAP ILLUSTRATES A GENERAL GRADING CONCEPT AND IS SUBJECT TO CHANGE AT THE TIME OF FINAL DESIGN.
- PURSUANT TO SECTION 66445 (J) OF THE GOVERNMENT CODE, THE FOLLOWING EASEMENTS ARE PROPOSED TO BE ABANDONED:
 - 46' IOD PER DD MAPS 47 AFFECTING LOT 15.
- PUBLIC UTILITY EASEMENTS OVER, ON, UNDER AND ACROSS THE LAND DESIGNATED ON THESE PLANS AS "PUE" ARE FOR THE INSTALLATION AND MAINTENANCE OF ANY AND ALL UTILITY SERVICE FACILITIES INCLUDING BUT NOT LIMITED TO POLES, WIRES, AND CONDUITS FOR ELECTRICAL, TELEPHONE, TELEVISION, GAS, SANITARY, AND WATER SERVICES, AND ALL APPURTENANCES THERETO TOGETHER WITH THE RIGHT TO CONSTRUCT, PLACE TRAFFIC CONTROL, AND TRIM AND REMOVE TREES AND VEGETATION.
- ALL PUBLIC ROADS (D, CAMPUS PARKWAY, AND RHAPSODY DRIVE) SHALL BE DEDICATED TO THE CITY AS AN IOD IN FEE.

ABBREVIATIONS	
DE	DRAINAGE EASEMENT
IOD	IRREVOCABLE OFFER OF DEDICATION
PUE	PUBLIC UTILITY EASEMENT
PE	PEDESTRIAN EASEMENT

PC EXHIBIT A

mp

MORTON & PITALO, INC.
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
LANDSCAPE ARCHITECTURE • TRAFFIC ENGINEERING
72 Iron Point Circle, Suite 120 • Folsom, CA 95630
phone: 916.984.7621 • fax: 916.984.9617 • survey fax: 916.563.6770
survey email: staking@mpengr.com • web: www.mpengr.com

CONSULTANT

APPROVALS

NO	DATE	DESCRIPTION
REVISIONS		
BENCH MARK		
		ELEV = 112.83
3-1/4" BRASS DISC STAMPED LS5614, TOP OF CURB WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. & ROSEVILLE PARKWAY @ NE END OF CURB RETURN		
COMPUTED BY		
DESIGNED BY		
DRAWN BY		
PROJECT ENGINEER		
PROJECT		

ENTITLEMENT DRAWINGS FOR
**CAMPUS OAKS
MASTER PLAN
PORTION OF CO-12**

ROSEVILLE, CA

DRAWING

**TENTATIVE
SUBDIVISION MAP**

DATE	JULY 5, 2019	SHEET	1
SCALE	1"=50'	OF	
JOB NUMBER	13-0076-03		3

NOT FOR CONSTRUCTION

Blue Oaks Blvd

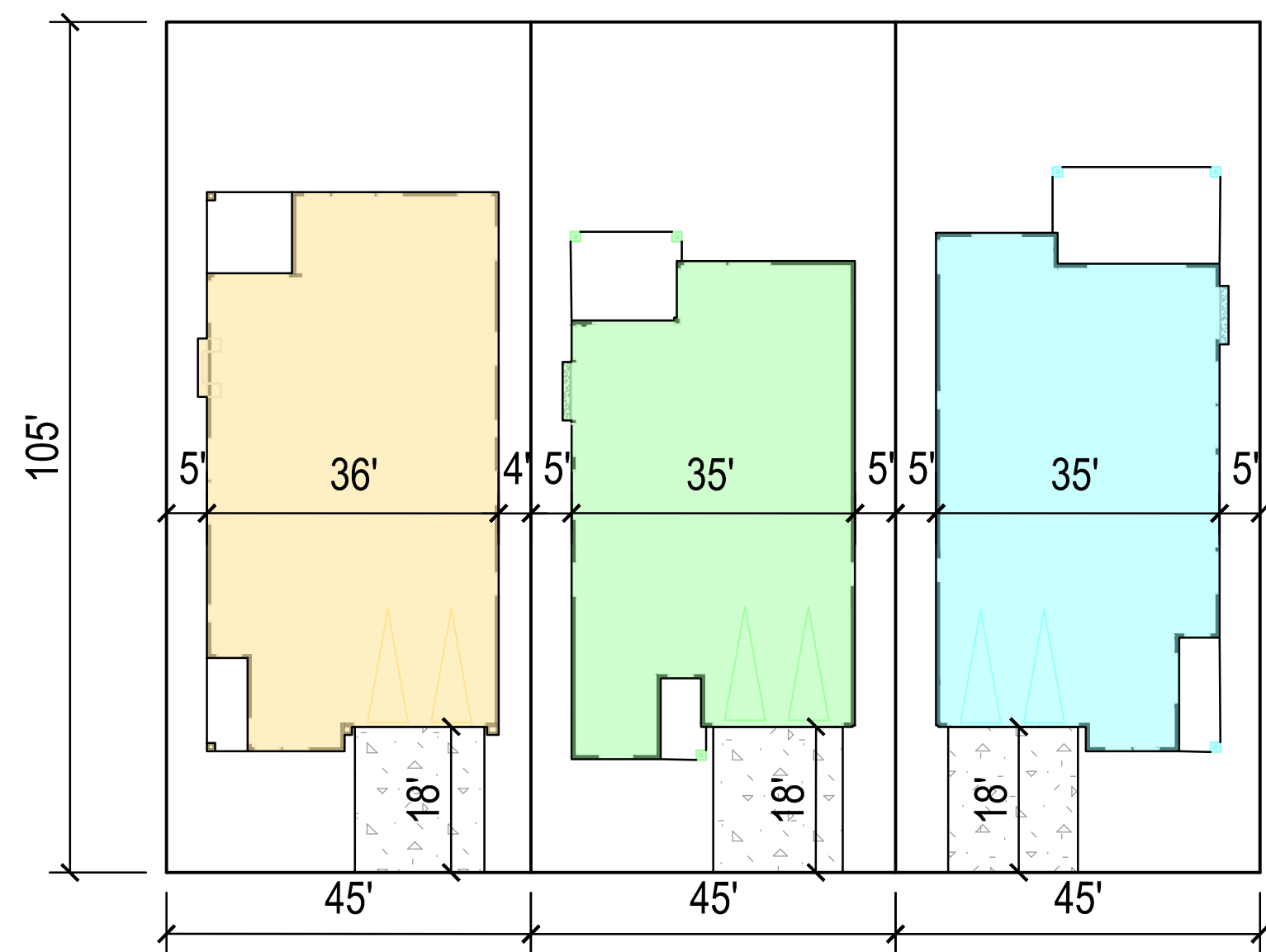
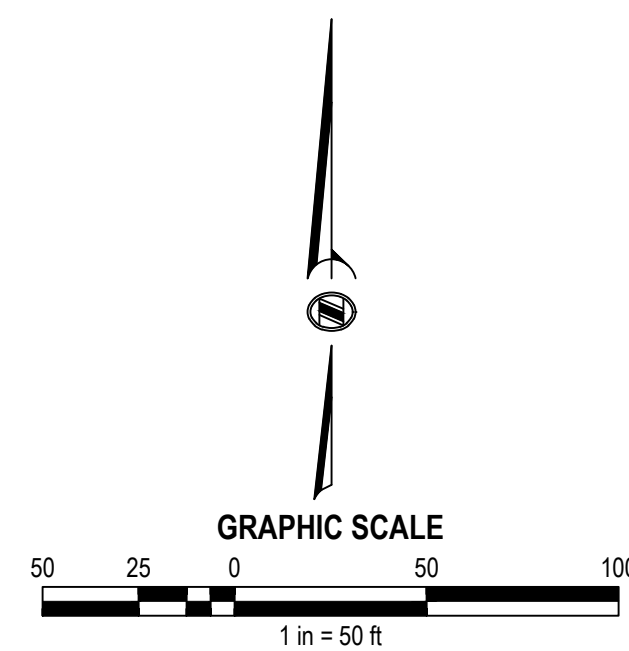
Foothill Ave Blvd

Foothill Blvd

Profile Arroyo

PHASE B
(CO-12)
MDR

KEY MAP



PLAN 1 PLAN 2 PLAN 3

1,863 S.F. 2,798 S.F. 3,364 S.F.

5 LOTS 5 LOTS 5 LOTS

LOT MIX

City of Roseville Approval

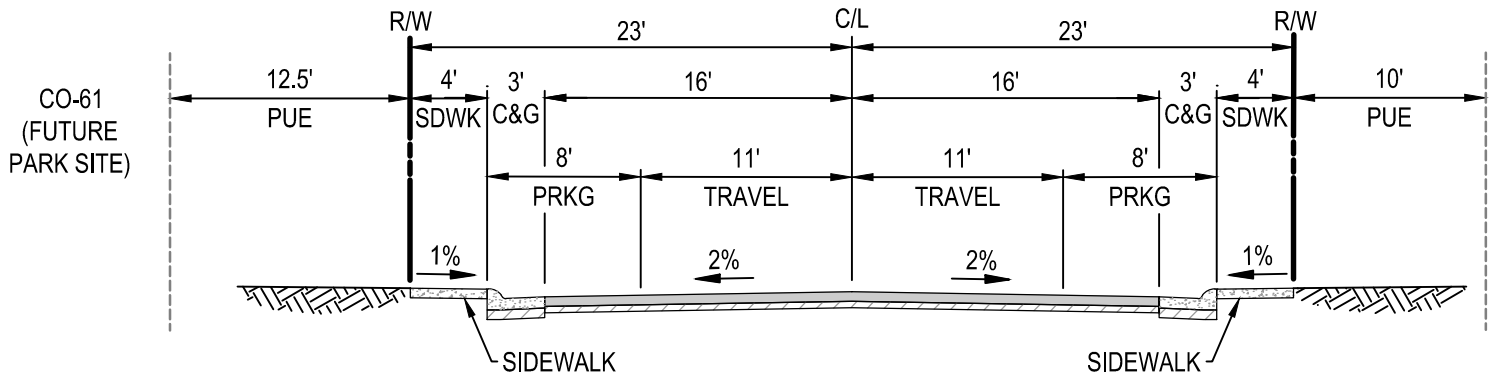
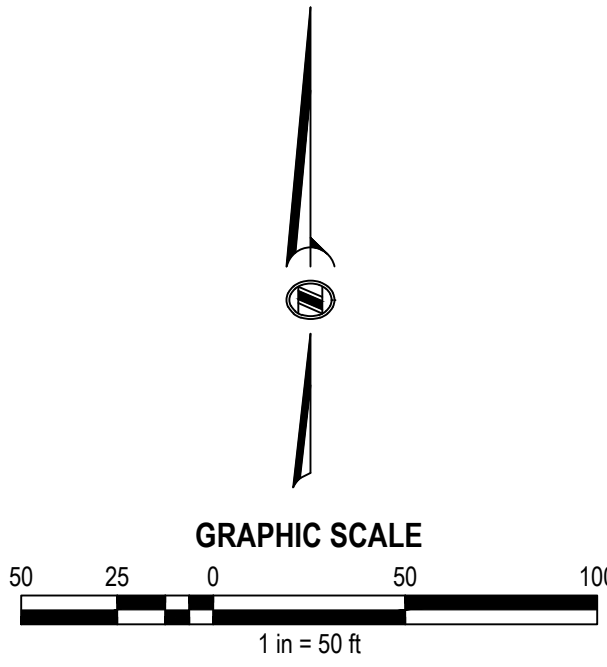


MORTON & PITALO, INC.
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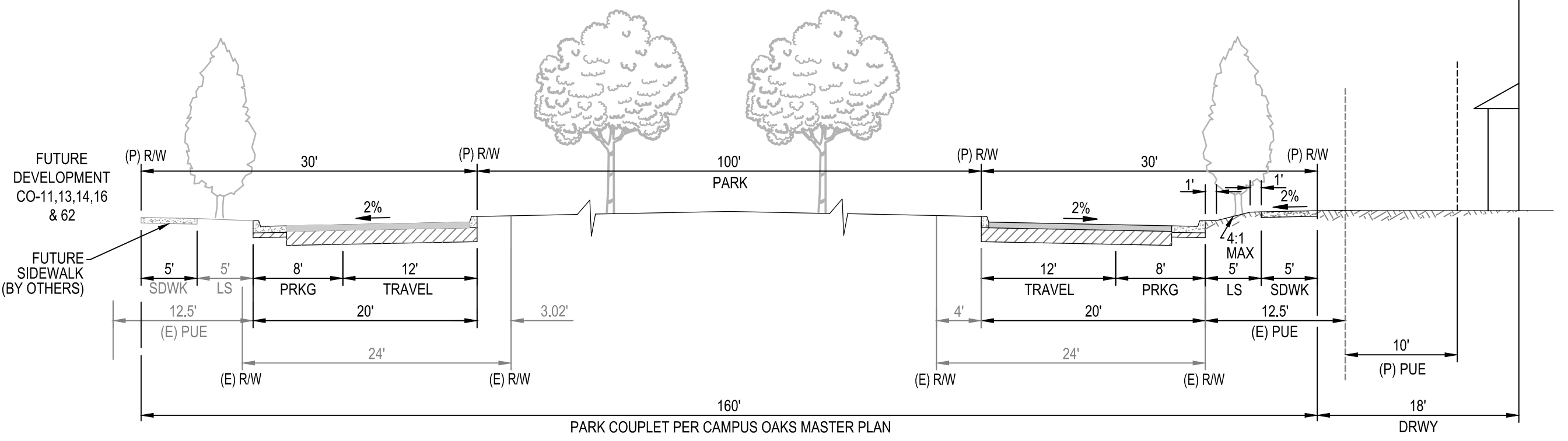
CONSULTANT

APPROVALS

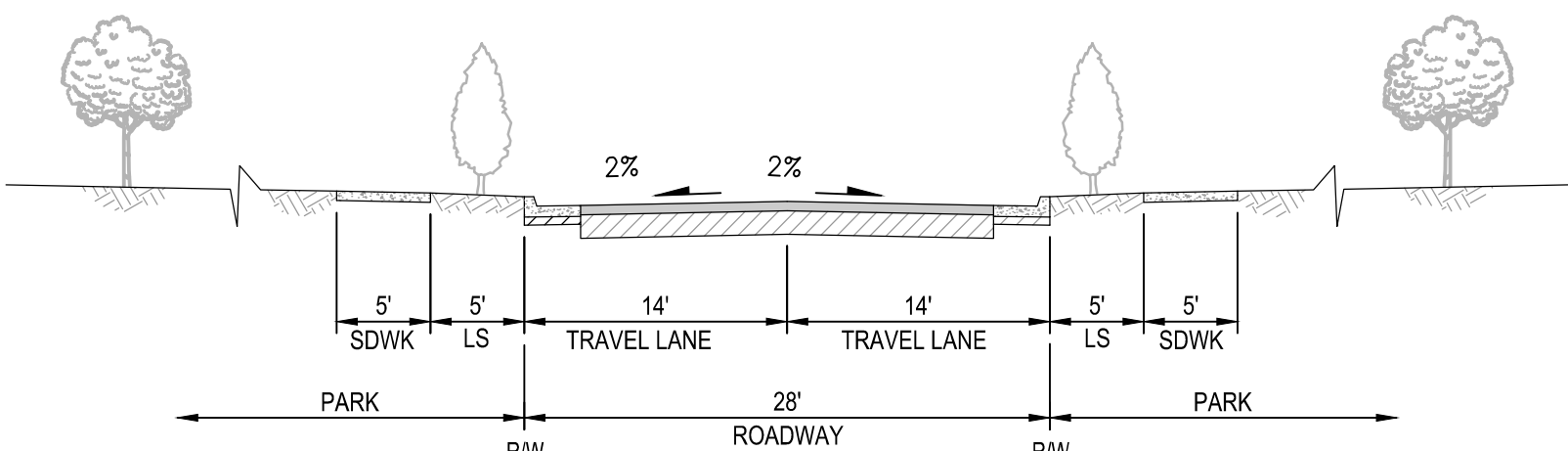
PRELIMINARY GRADING PLAN
CAMPUS OAKS
MASTER PLAN - PORTION OF 12
SHEET 2 OF 3



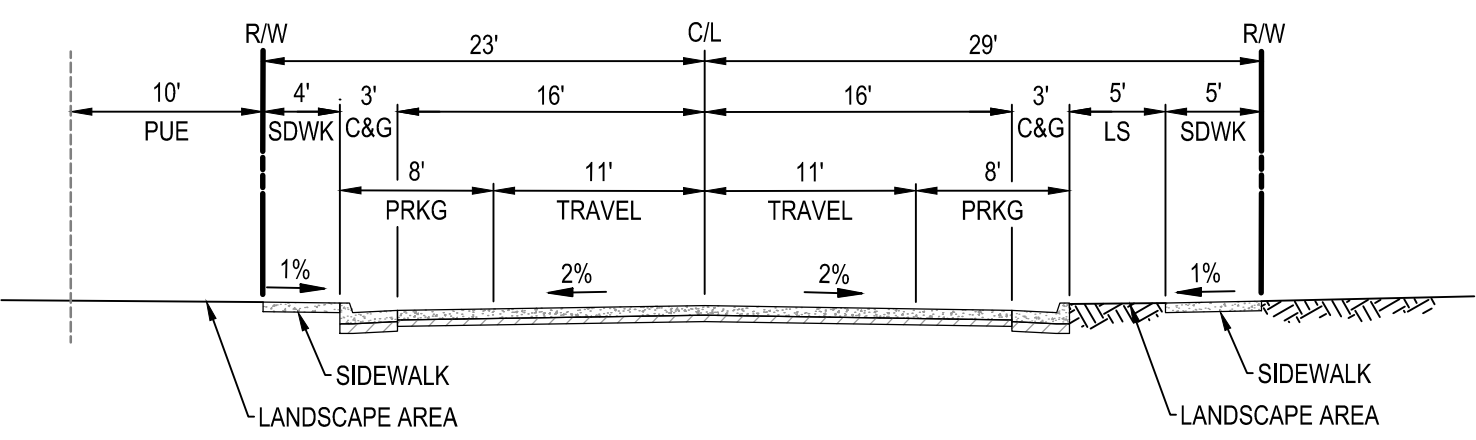
A 46' ROAD SECTION
STREET 'D'



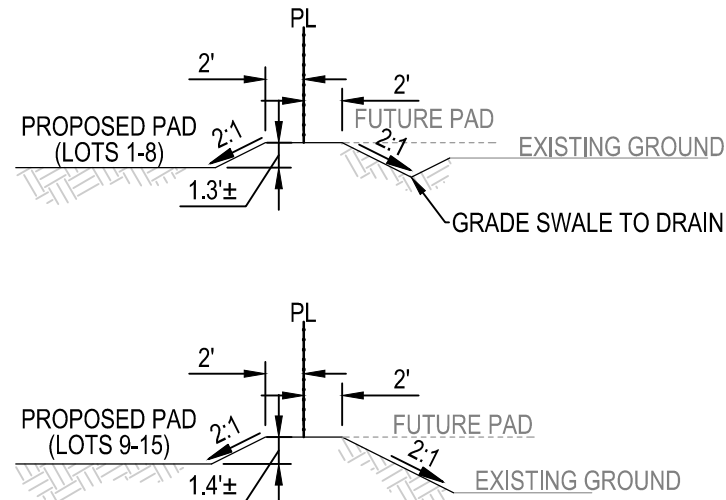
B CAMPUS PARKWAY



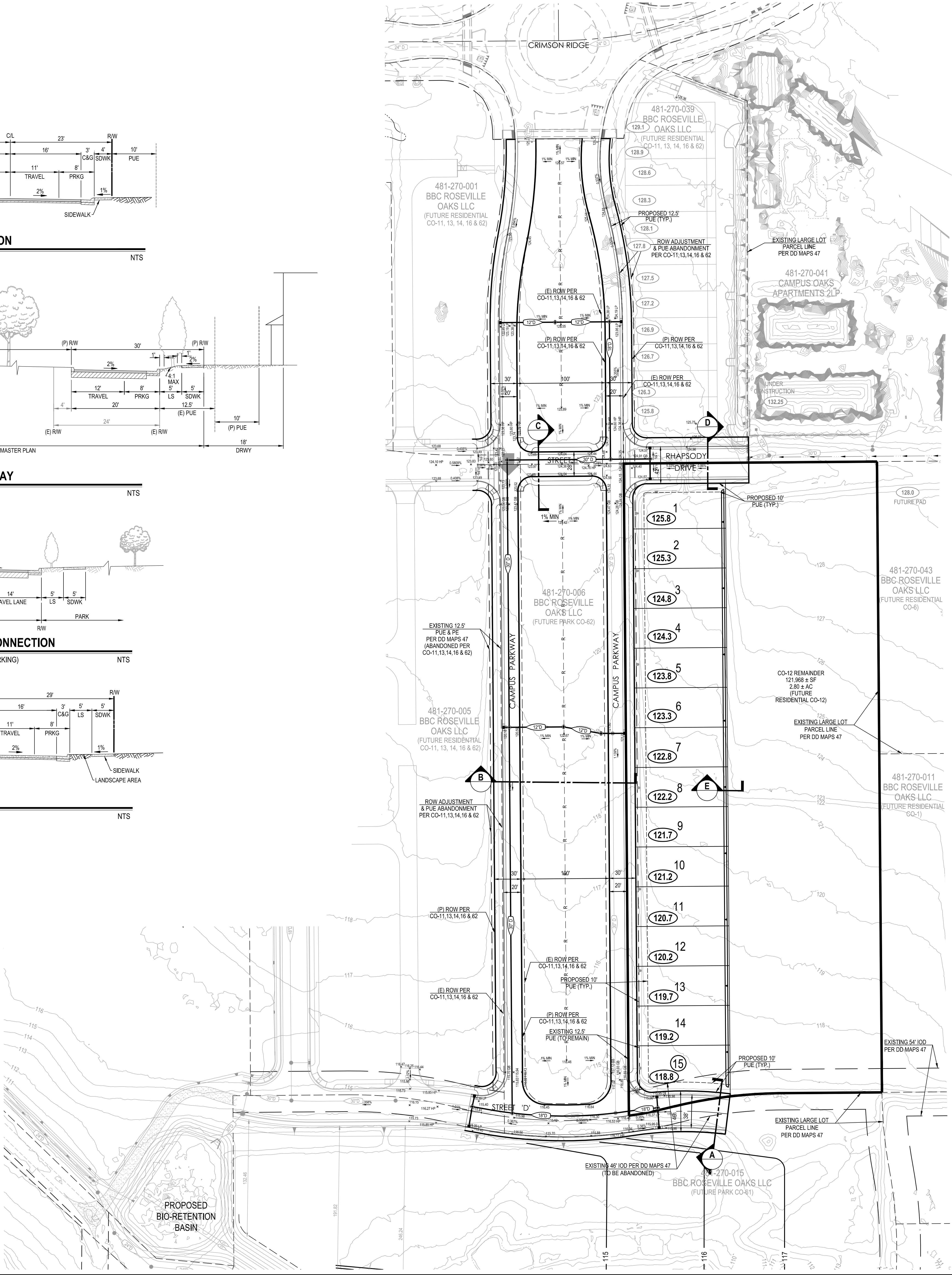
C PARK COUPLET CONNECTION
STREET 'C' (PORTION) (NO PARKING)



D 52' ROAD SECTION
RHAPSODY DRIVE



E EAST BOUNDARY CONFORM



LEGEND
OVERLAND RELEASE

EARTHWORK:	
CUT:	0,000 CY
FILL:	0,000 CY
NET:	0,000 CY (FILL)

NO	DATE	DESCRIPTION

REVISIONS
BENCH MARK
ELEV = 112.83

3-1/4" BRASS DISC STAMED L55614, TOP OF CURB
WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. &
ROSEVILLE PARKWAY @ NE END OF CURB RETURN

COMPUTED BY
DESIGNED BY
DRAWN BY
PROJECT ENGINEER
PROJECT

ENTITLEMENT DRAWINGS FOR
**CAMPUS OAKS
MASTER PLAN
PORTION OF CO-12**

ROSEVILLE, CA

DRAWING

PRELIMINARY GRADING PLAN

DATE	JULY 5, 2019	SHEET	2
SCALE	1"=50'	OF	
JOB NUMBER	13-0076-03		3

City of Roseville Approval



MORTON & PITALO, INC.
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CONSULTANT

APPROVALS

NO DATE DESCRIPTION
REVISIONS
BENCH MARK
ELEV = 112.83
3-1/4" BRASS DISC STAMED LS5614, TOP OF CURB
WEST SIDE OF DI @ SE CORNER OF WASHINGTON BLVD. &
ROSEVILLE PARKWAY @ NE END OF CURB RETURN

COMPUTED BY
DESIGNED BY
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PROJECT

ENTITLEMENT DRAWINGS FOR
**CAMPUS OAKS
MASTER PLAN
PORTION OF CO-12**

ROSEVILLE, CA

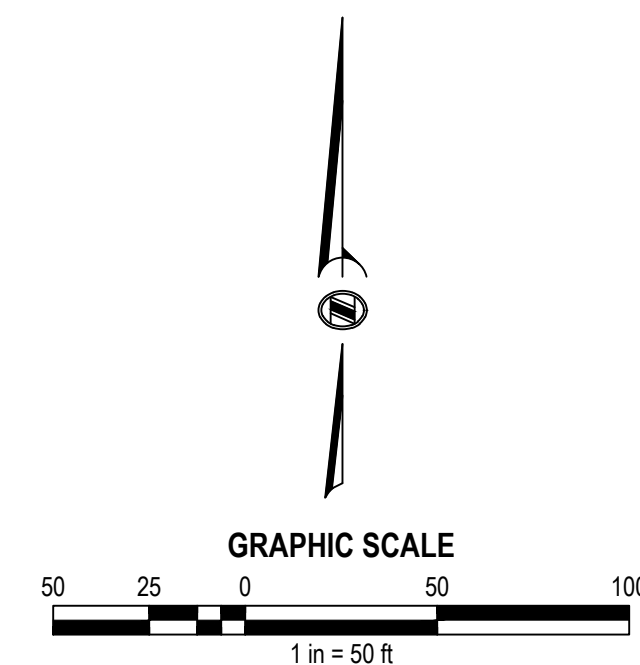
DRAWING

PRELIMINARY UTILITY PLAN

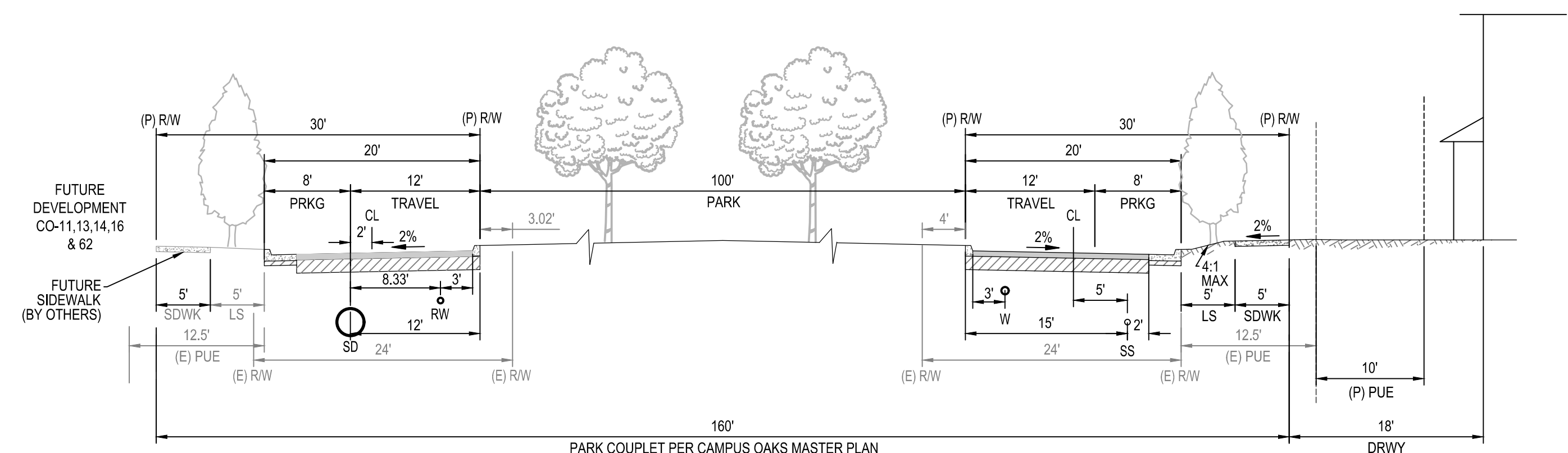
DATE JULY 5, 2019
SCALE 1"= 50'
JOB NUMBER 13-0076-03
SHEET 3
OF 3

EXISTING	PROPOSED	DESCRIPTION
		SANITARY SEWER PIPE & SIZE
		DOMESTIC WATER PIPE & SIZE
		SANITARY SEWER MANHOLE
		GATE VALVE
		FIRE HYDRANT
		BLOW OFF VALVE
		AIR RELIEF VALVE
		WATER SERVICE
		SEWER SERVICE

SYMBOLS



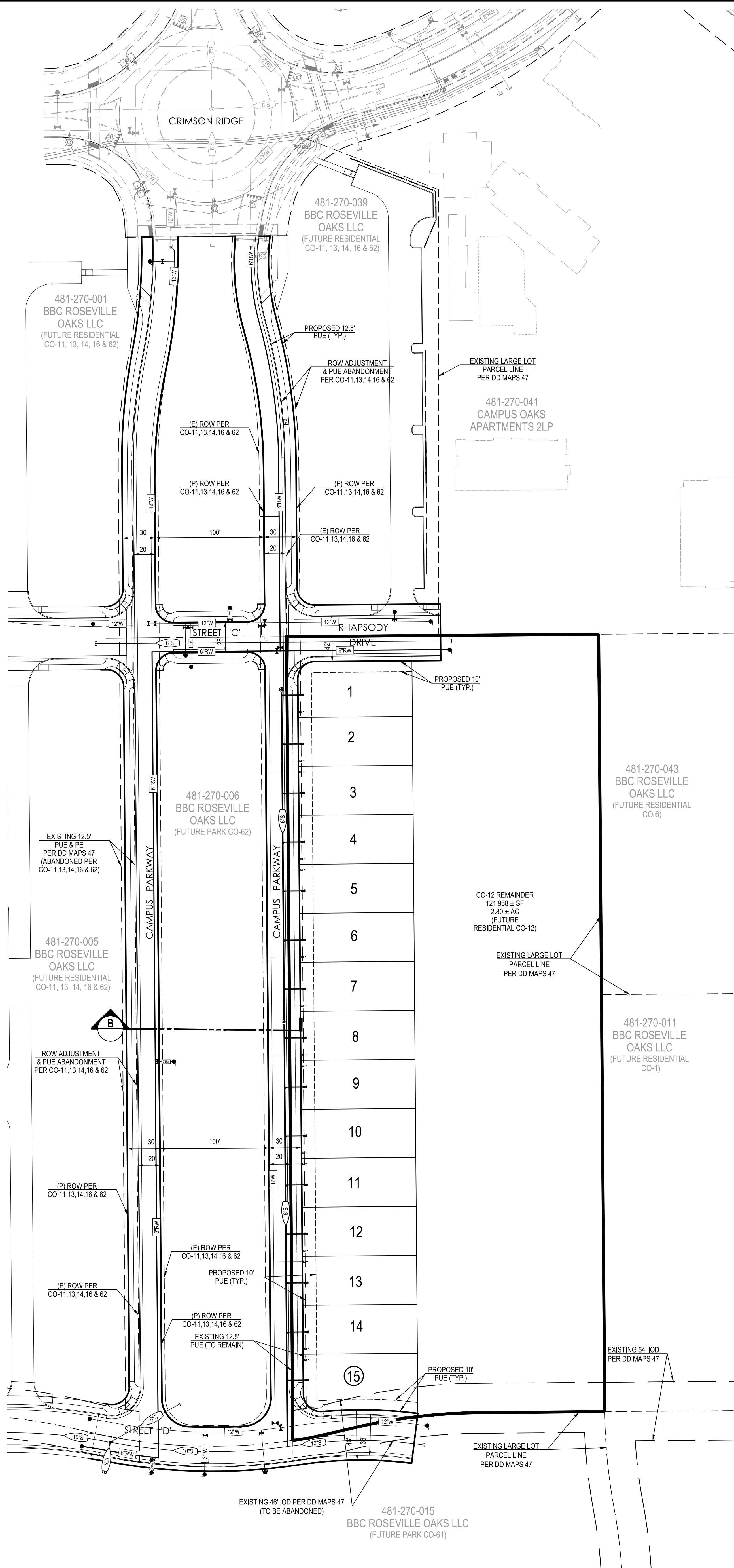
PRELIMINARY UTILITY PLAN
CAMPUS OAKS
MASTER PLAN - PORTION OF 12
SHEET 3 OF 3



B CAMPUS PARKWAY
NTS

WATER SERVICE LOCATION VARIANCE REQUEST

LOTS:	• 1	• 24	• 35
	• 2	• 26	• 36
	• 17	• 27	• 38
	• 18	• 29	• 39
	• 20	• 30	• 41
	• 21	• 32	• 42
	• 23	• 33	• 44



City of Roseville Approval

DATE: 07/05/2019 10:50:00 AM DRAWN BY: J. STALING CHECKED BY: J. STALING PLOT: 13-0076-03 SHEET: 3 OF 3

NOT FOR CONSTRUCTION



ELAN SERIES

ELEMENTS MONTELENA



ELAN: STYLE NARRATIVE

THE COMMUNITY VISION

Premier Homes presents Elements Montelena, a unique collection of single and two story single family detached homes. The homes feature a contemporary and open flex floor plans for the generations designed to provide ultimate modern choices for today's lifestyle.

ELAN SERIES | 1843 TO 3341 SQUARE FEET

The Elan Series offers options such as offices, dens, flex "your space", "mode" living next generation suites, salons, retreats and more, and feature two and three car garages on select plans.

Exterior architecture reflects Central Valley traditions expressed in modern style. Varied roof pitches, materials and "house forward" design create a unique "people scaled" neighborhood. Over nine (9) special color combinations will blend materials and break from the monotone / flat typical "valley colors".

THE ARCHITECTURE

DELTA

Varied roof pitches, board and battel and simple details found throughout the Sacramento River Delta farm areas.

RANCH

Simple, low pitch rooflines and horizontal material designs inspired from classic 1905's ranch homes throughout the region.

MODERN

Clean, modern, minimally detailed design that truly allows color to "pop" and allow simple rooflines to create mass.

ELAN: 1843 PLAN: FRONT ELEVATIONS



*Plan One The Ranch
Color Combination 1*

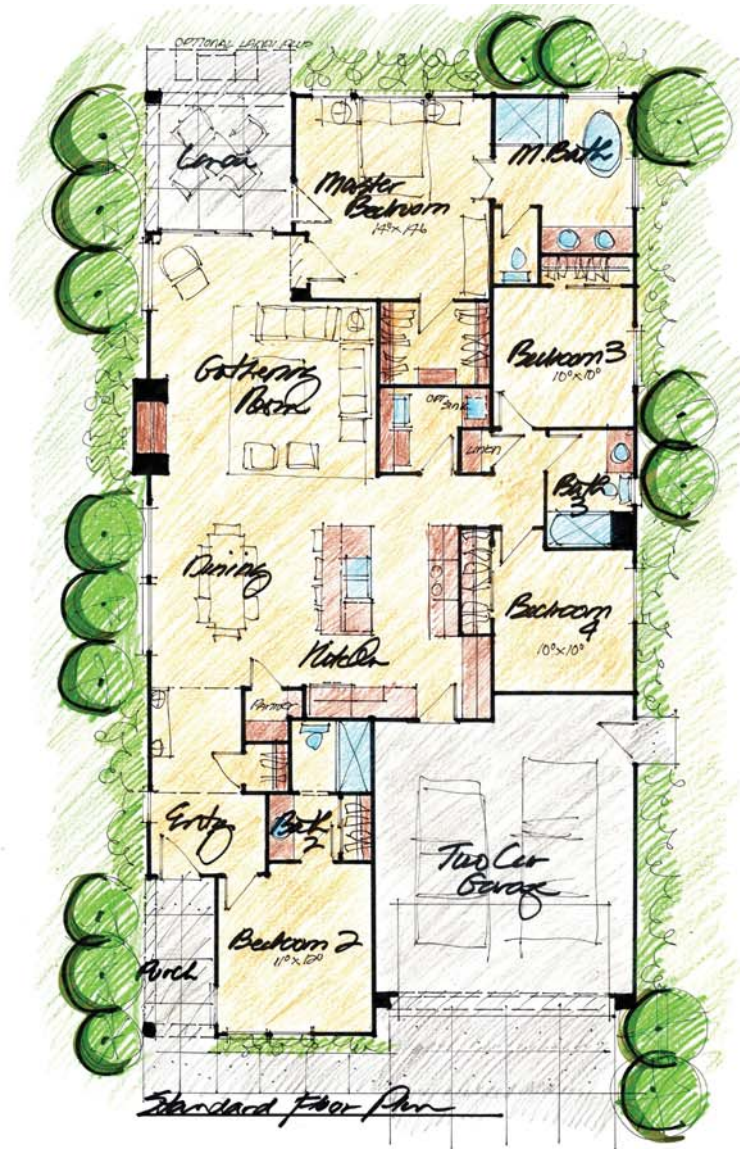


Plan One The Palisade

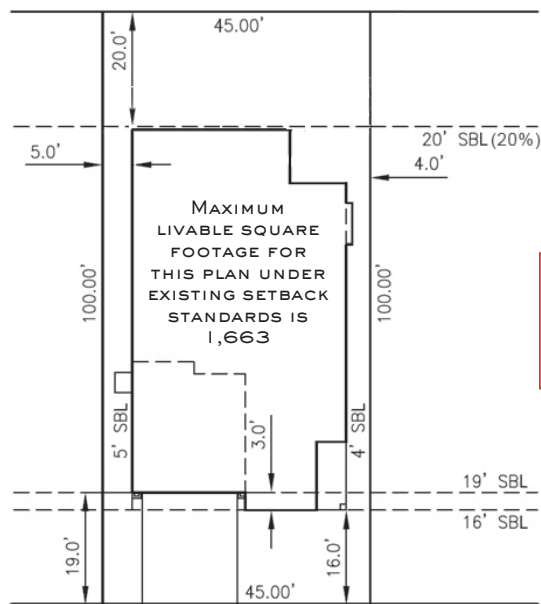


*Plan One The Modern
Color Combination 3*

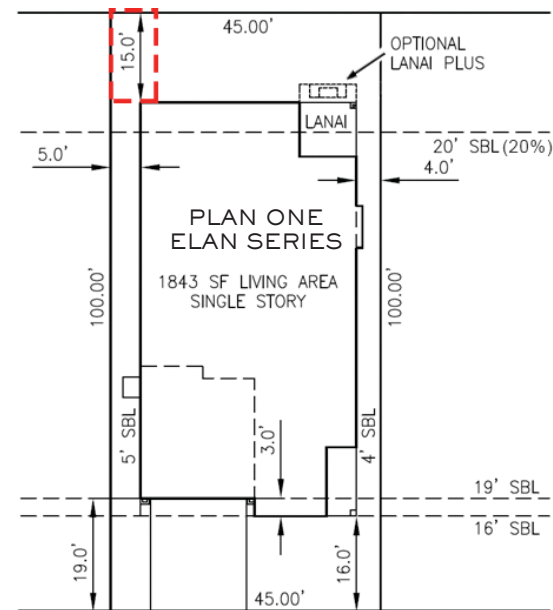
ELAN: 1843 PLAN: FLOORPLAN



ELAN: 1843 PLAN: SETBACKS



Plan 1 Overall Dimensions
(Including Lanai and Protrusions)
37'x69'



SETBACK STANDARDS:

FRONT:

- 13' to Living
- 19' to Garage

SIDE:

- 45' wide 4' and 5' sides

REAR:

- 10' to Living
- 19' to Garage
- 4' and 5' sides
- 20% lot depth for rear

Current setback standard: limits the ability to provide single story plans. Market trends indicate a decreased demand for large rear yards and an increased desire for outdoor living spaces like covered patios. Aging Baby Boomers seek single story living in suburban areas near family without significant down-sizing. Additionally, younger generations place more value on travel and entertainment than maintenance and upkeep.

ELAN - PLAN ONE (SINGLE STORY) SETBACK:

FRONT:

- 100' Deep Lot = 16' to living
- 100' Deep Lot = 19' to garage

SIDE:

- 45' wide 4' and 5' sides

REAR:

- 100' deep lots
- 15' rear SB**
- 25% Reduction from current standard

Proposed setback standards (This plan only): Modifying the current rear setback standards allows for a livable single-story plan in the Elan series to serve the growing segment of the population demanding single-story living. Additionally, having a single story plan in the Elan series provides for a more diverse streetscape throughout the community. All other plans in this project conform to current setback standards.



ELAN: 2674 PLAN: FRONT ELEVATIONS



*Plan Two The Ranch
Color Combination 2*



*Plan Two The Delta
Color Combination 3*



*Plan Two The Modern
Color Combination 1*

ELAN: 2674 PLAN: FLOORPLAN



Bedroom 5 Option



Den Option



Plan Two X
Made Living Option



Standard Lower Floor Plan



Standard Upper Floor Plan



Tech Space Option
Adds 95 sq. ft.



Bedroom 4 Option



ELAN: 2674 PLAN: SETBACKS

SETBACK STANDARDS:

FRONT:

13' to Living
19' to Garage
5' and 4' Side Yards

REAR:

20% , no less than 10'

SIDE:

5' one side, 4' one side

SERIES TWO - PLAN TWO (TWO STORY) SETBACK:

FRONT:

100' Deep Lot = 16' to living
100' Deep Lot = 19' to garage

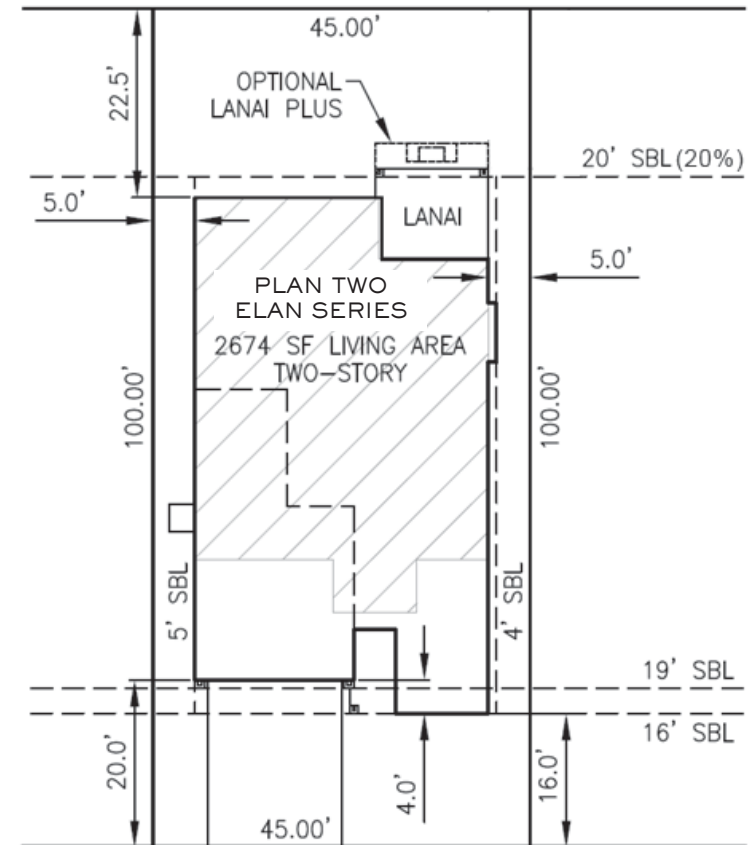
REAR:

22.5' Rear Yard

No setback adjustments requested for this home.

SIDE:

45' Wide Lot = 5' side Yard



Plan 1 Overall Dimensions
(Including Lanai and Protrusions)
36'x65'



PREMIER
HOMES

A-41

ELEMENTS MONTELENA | ELAN SERIES
CITY OF ROSEVILLE, CALIFORNIA

ELAN: 3341 PLAN: FRONT ELEVATIONS



*Plan Three The Ranch
Color Combination 3*



*Plan Three The Delta
Color Combination 7*



*Plan Three The Modern
Color Combination 8*

ELAN: 334I PLAN: FLOORPLAN



ELAN: 334I PLAN: SETBACKS

SETBACK STANDARDS:

FRONT:

13' to Living
19' to Garage
20% , no less than 10'

SIDE:

5' one side, 4' one side

REAR:

20% , no less than 10'

SERIES TWO PLAN THREE (TWO STORY) SETBACK:

FRONT:

100' Deep Lot = 16' to living
100' Deep Lot = 19' to garage

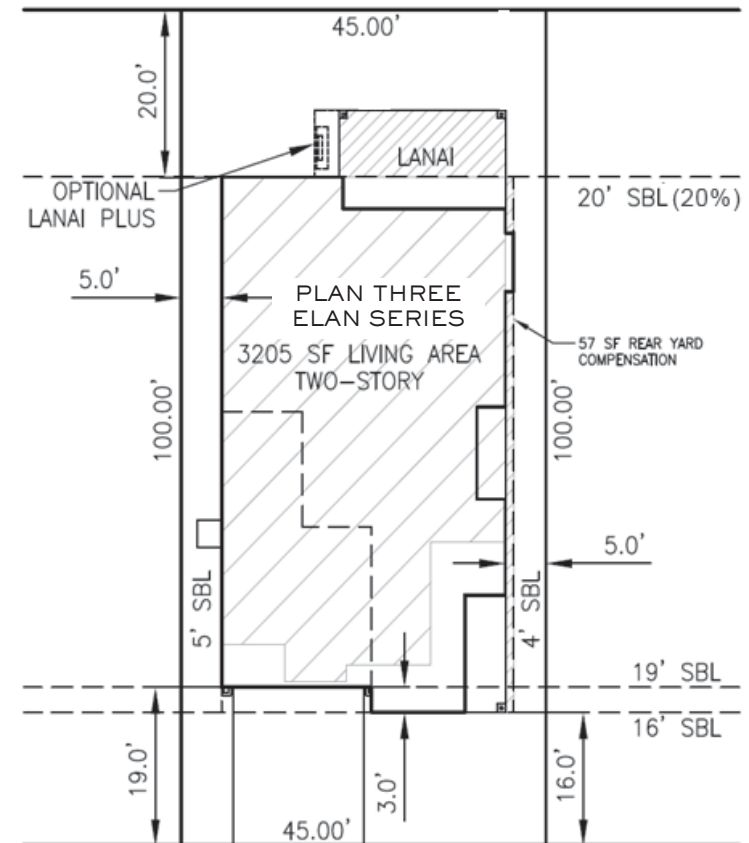
REAR:

100' Deep Lot = 20' Rear Yard

No setback adjustments requested for this home.

SIDE:

45' Wide Lot = 5' side Yard



Plan 1 Overall Dimensions
(Including Lanai and Protrusions)
35'x72'



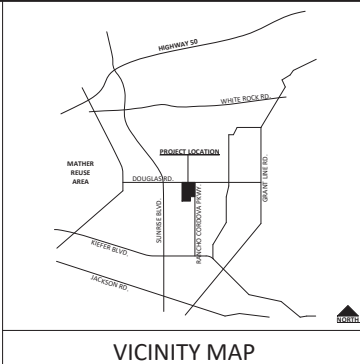
PREMIER
HOMES

A-49

PREMIER HOMES

ELEMENTS MONTELENA

ELAN - PLAN 1 (SERIES 2 - PLAN 1)



VICINITY MAP



THE DELTA

THE RANCH

THE MODERN

SHEET INDEX

ARCHITECTURAL

A1.11	COVER SHEET
A3.11	FLOOR PLANS
A3.12	FLOOR PLANS OPTIONS
A3.13	UTILITY PLAN
A3.14	ELECTRICAL LOAD CALCS
A3.15	DIMENSION & FLOORING PLAN
A4.11	SCHEDULES
A6.11	ROOF PLAN - THE DELTA/THE RANCH
A6.12	ROOF PLAN - THE MODERN
A7.11	EXTERIOR ELEVATIONS - THE DELTA
A7.12	EXTERIOR ELEVATIONS - THE DELTA
A7.13	EXTERIOR ELEVATIONS - THE RANCH
A7.14	EXTERIOR ELEVATIONS - THE RANCH
A7.15	EXTERIOR ELEVATIONS - THE MODERN
A7.16	EXTERIOR ELEVATIONS - THE MODERN
A8.11	SECTIONS
A9.11	DETAILS
A10.11	COLOR & MATERIALS
AG1	CAL GREEN REQUIREMENTS
AG2	CAL GREEN REQUIREMENTS

TITLE 24

EN-1.0 TITLE 24 ENERGY COMPLIANCE

SOLAR

PV 1-12 NEW ROOFTOP SOLAR PHOTOVOLTAIC

MECHANICAL

M-0.1 GENERAL NOTES
M-1.1 PLAN: ESPRIT, PLAN 1

PLUMBING

P-0.1 INDEX, LEGEND, NOTES, SCHEDULE
P-0.2 PLUMBING DETAILS
P-1.1 GAS FLOOR LAYOUT
P-1.2 WASTE & VENT LAYOUT
P-1.3 HOT & COLD WATER LAYOUT

STRUCTURAL

S1.11 STRUCTURAL FOUNDATION PLAN A/B
S2.11 STRUCTURAL SHEAR PLAN OPT A/B
S3.11 STRUCTURAL ROOF FRAMING PLAN A/B
S3.12 STRUCTURAL ROOF FRAMING PLAN C
SC-1 STRUCTURAL NOTES AND CRITERIA
SD-1 STRUCTURAL DETAILS
SD-2 STRUCTURAL DETAILS

SEAN
FREITAS
ARCHITECT

(916) 580-9981
Sean@SeanFreitas.com
SEANFREITAS.COM



Premier Homes, LLC
8483 Douglas Plaza Drive, Suite 110
Granite Bay, CA 95746
Kevin Yttrup: 916.773.0207

These drawings are instruments of service and are the property of Sean Freitas, Architect. All design information contained in these drawings are for use only on this specified project and shall not be used otherwise without the expressed written permission. SEAN FREITAS, Architect (C-25653)

PROJECT: 20180510

CLIENT:
PREMIER HOMES, INC.
8483 DOUGLAS PLAZA DRIVE, SUITE 110
GRANITE BAY, CA 95746
Tel: (916) 773-0207
info@seanfreitas.com

ELAN - PLAN 1 (SERIES 2 - PLAN 1)

ELEMENTS MONTELENA

PREMIER HOMES

DOUGLAS & MARCO CORDOVA PKWY.
RANCHO CORDOVA, CA 95742

TITLE:

COVER SHEET

ISSUE:

Project Issue Date:

Project Status:

Revision Number:

Revision Date:

11/01/24

11/01/24

11/01/24

11/01/24

11/01/24

11/01/24

11/01/24

11/01/24

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11/01/24



SHEET:

A1.11

OF

SHEETS

11/01/24

11/01/24

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11/01/24

11/01/24

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11/01/24

GENERAL BUILDING NOTES

DATA AND MEASUREMENTS:

- 5.01 DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL endeavor TO OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 5.02 **DO NOT SCALE THE DRAWINGS.** WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
- 5.03 **DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS.** REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.
- 5.04 **ALL WALL DIMENSIONS ARE ACTUAL.** FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

SUBSTITUTIONS FOR SPECIFIED MATERIALS:

- 6.01 SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.

ROOF PREMANUFACTURED TRUSS SYSTEM:

- 12.01 IF IT IS ELECTED THAT ROOF FRAMING IS TO BE A PREMANUFACTURED TRUSS SYSTEM, THE TRUSS MANUFACTURER, CONTRACTOR AND CLIENT SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING. HOD LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS AND ACTUAL DIMENSIONS AS USED BY THE TRUSS MANUFACTURER. ANY ACTUAL DIMENSION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HOD PRIOR TO BUILDING TRUSSES. ANY DISCREPANCIES DISCOVERED AFTER TRUSSES ARE BUILT ARE NOT THE LIABILITY OF HOD.

BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	GLV	GLASS	SHW	SHOWER
ADJ	ADJACENT	GL	GLASS	SM	SIMILAR
ALUM	ALUMINUM	GYP	GYPHUM	SIMP	'SIMPSON'
BM	BEAM	H	HIGH OR HEIGHT	SID	SLIDING
BOW	BOTTOM OF WALL	HB	HOSE BIBB	S&P	SHELF & POLE
BKLG	BLOCKING	JTS	JOIST	STRUCT	STRUCTURAL
BRD	BOARD	LAV	LAVATORY	T	TREAD
CC	CENTER TO CENTER	LB	POUND	TEMP	TEMPERED
CL	CENTERLINE	LN	LINEN	TOC	TOP OF CONCRETE
CEM	CEMENT	LT	LIGHT	TGS	TOP OF GRADE
CER	CERAMIC	MANF	MANUFACTURER	TGP	TOP OF GRADE
CL	CONTROL JOINT	MAX	MAXIMUM	TOP	TOP OF FLOOR
CIS	CEILING	MC	MEDICINE CABINET	TOP	TOP OF PAVEMENT
CLR	CLEAR	MIN	MINIMUM	TOS	TOP OF SUB
CLS	CLOSET	MTL	METAL	TOW	TOP OF WALL
CD	CLEANOUT	N	NORTH	TV	TELEVISION
CONC	CONCRETE	O/	OVER	TY	TYPICAL
CONTR	CONTINUOUS	OC	ON CENTER	UCR	UNDER COUNTER REFRIG.
DBL	DOUBLE	OFD	OWNER FURNISHED CONTRACTOR INSTALLED	W	WEST
DF	DOUGLAS FIR	W/	WITH	WC	WATER CLOSET
DI	DRAIN INLET	PB	PUSH BUTTON	WD	WOOD
DIA	DIAMETER	PH	PHONE	WH	WATER HEATER
DD	DOOR	PL	PLATE	WP	WATER PROOF
DW	DISH WASHER	POC	POINT OF CONNECTION	WWM	WELDED WIRE MESH
E	EAST	PP	PRESSURE TREATED		
EL	ELEVATION	R	RISK		
EQ	EQUAL	REF	REFRIGERATOR		
FF	FINISH FLOOR	RENF	REINFORCED		
FIX	FIXTURE	RM	ROOM		
FLUOR	FLUORESCENT	RWD	REDWOOD		
FP	FIRE PLACE	S	SOUTH		
GA	GAUGE	SB	SET BACK		
GFI	GROUND FAULT INTERRUPTER	SF	SKIRT FOOT		

PROJECT TEAM

DESIGNER:
FH DESIGN, INC.
735 SUNRISE AVE., SUITE 100, ROSEVILLE, CA 95661
916.580.9981
SEAN.FREITAS@FHDESIGN.COM

STRUCTURAL ENGINEER:
FH DESIGN, INC.
735 SUNRISE AVE., SUITE 100, ROSEVILLE, CA 95661
916.580.9981
SEAN.FREITAS@FHDESIGN.COM

TITLE 24 ENERGY CONSULTANT:
VILLARA BUILDING SYSTEMS
4100 LINDA AVENUE, MCLELLAN, CA 95652
916.666.2700
WWW.VILLARA.COM

TRUSS DESIGN:
ENTRUSTED
5065 COMMERCIAL PLACE, SHERIDAN, CA 95661
916.581.0807
916.732.3408

CIVIL ENGINEER:
DAVID@CAPRINLER.NET

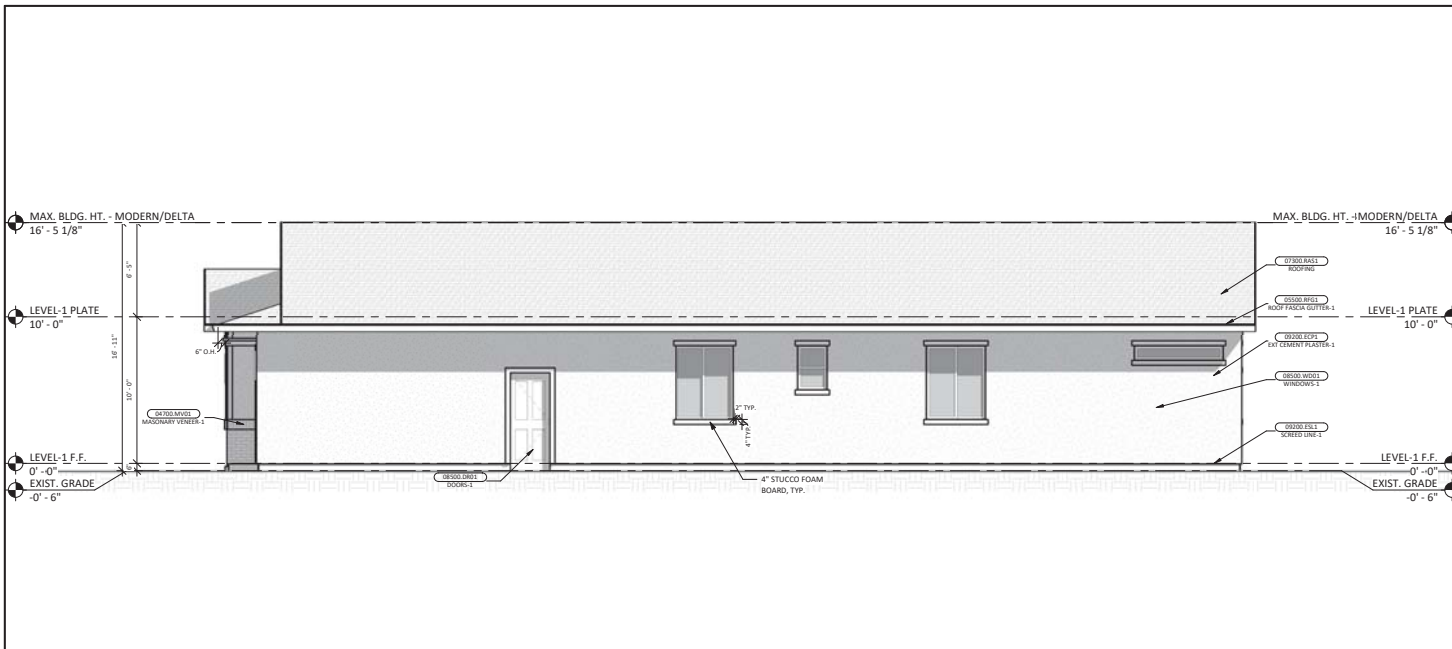
FIRE PROTECTION DESIGN:
INNOVATIVE FIRE SYSTEMS
108 MAIN STREET, ROSEVILLE, CA 95678
916.842.0593
DAVID@CAPRINLER.NET

PROJECT SCOPE

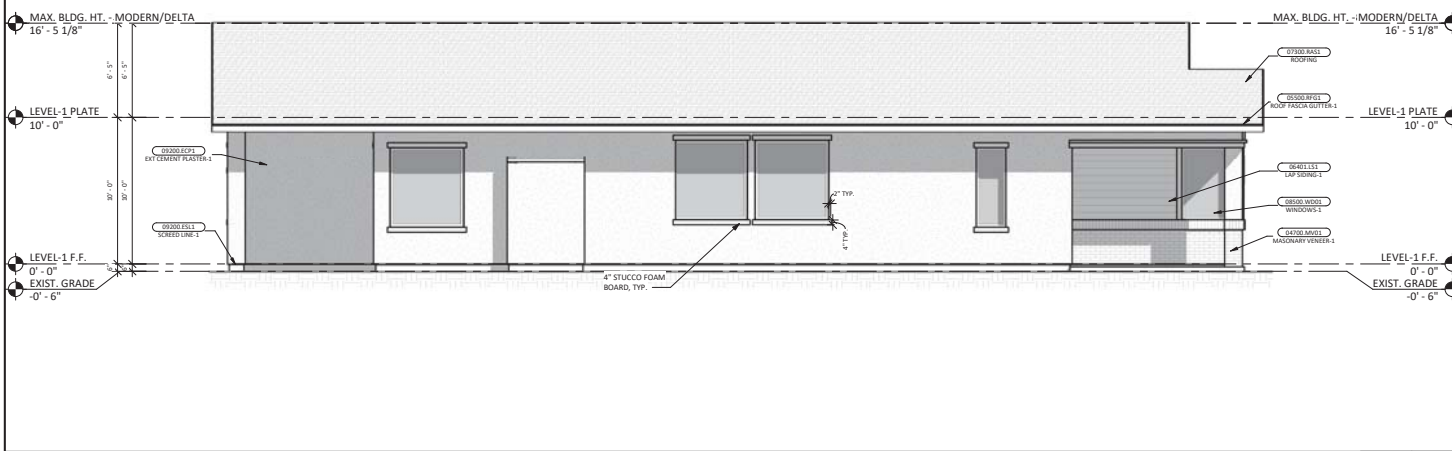
NEW HOME

PROJECT DATA

APPLICABLE BUILDING CODE:	2016 CBC, CBC, CEC, CMIC, CPC, CEC, CEC (ENERGY CODE), CFC, & CGBC		
OCCUPANCY GROUP:	R-3/U R-3 (SINGLE FAMILY RESIDENCE) U (GARAGE)		
CONSTRUCTION TYPE:	TYPE VB SINGLE STORY FIRE SPRINKLED PER CBC R-315 OR NFPA 13.3		
BUILDING AREA			
SPACE	EXISTING	PROPOSED	NET CHANGE
GARAGE	0 S.F.	403 S.F.	403 S.F.
FRONT PORCH	0 S.F.	57 S.F.	57 S.F.
BACK PATIO	0 S.F.	105 S.F.	105 S.F.
TOTAL UNCONDITIONED AREA:	0 S.F.	565 S.F.	565 S.F.
RESIDENCE	0 S.F.	1,863 S.F.	1,863 S.F.
TOTAL CONDITIONED FLOOR AREA:	0 S.F.	1,863 S.F.	1,863 S.F.
LOT COVERAGE:	0 S.F.	2,428 S.F.	2,428 S.F.



ELEVATION - RIGHT - THE DELTA SCALE 1/4" = 1'-0" 1



ELEVATION - LEFT - THE DELTA SCALE 1/4" = 1'-0" 2

07300 RASI	ROOFING-1: OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 WOOD	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
05500 WOOD	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DOOR	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DOOR	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 EXPT	EXTERIOR CEMENT PLASTER-1: ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: ESR-1134
09200 EXPT	SCREENED LINE-1: CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 4" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
06400 LSS	4" LAP SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06400 LSS	SHEET SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700 MASON	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.I.C. TABLE 25-1 OVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
04700 MASON	STREET ADDRESS-1: 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE CBC, SEC. 303.
05500 WOOD	CABLE END VENT: 18" X 24". PAINT 3-COAT AS SELECTED BY OWNER.
04700 MASON	BOARD & BATTEN-1: 14" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.

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PROJECT: 20180510

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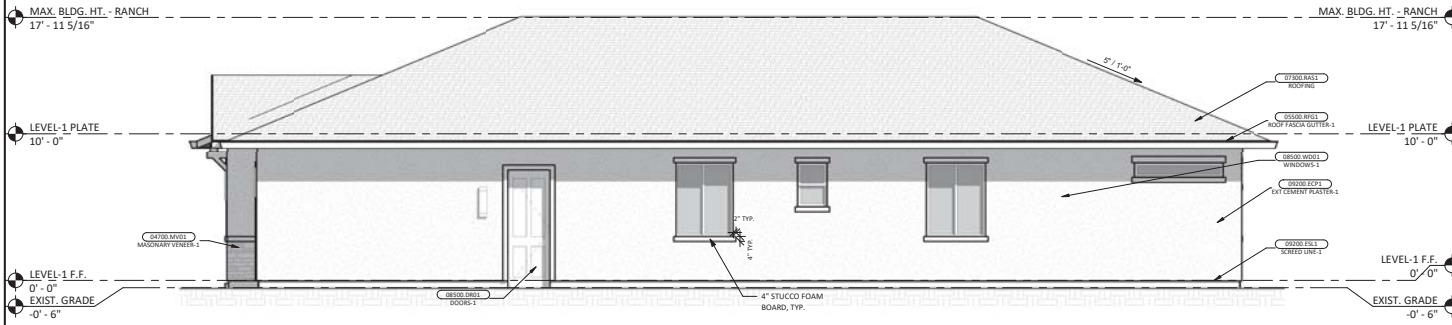
ELAN - PLAN 1 (SERIES 2 - PLAN 1)
ELEMENTS MONTELENA
PREMIER HOMES
DOUGLAS RD. & RANCHO CORDOVA PKWY.
RANCHO CORDOVA, CA 95742

TITLE:
EXTENSION ELEVATIONS - THE DELTA
ISSUE:
Project Issue Date: Issue Date:
Project Status: Project Status:
Revision Number: Revision Number:
Revision Date: Revision Date:

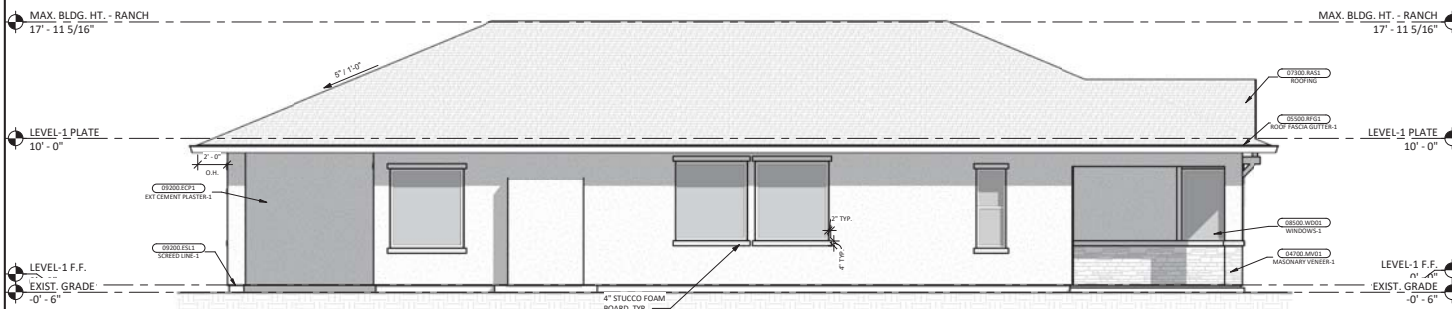
ARCHITECT'S APPROVAL:

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SHEET:
A7.12
SHEET: OF SHEETS

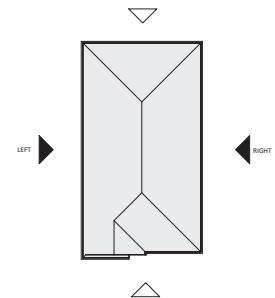


ELEVATION - RIGHT - THE RANCH SCALE 1/4" = 1'-0" 1



ELEVATION - LEFT - THE RANCH SCALE 1/4" = 1'-0" 2

LEGEND: ELEVATIONS EXTERIOR	
07300 RASI	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 BFIS	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
05500 WOOD	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DRO1	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 EDO1	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 ECP1	EXTERIOR CEMENT PLASTER-1: ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE KC REPORT ESR - 1134
09200 ESL1	SCREENED LINE-1: CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
06400 LSS	6" LAP SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06400 SSS	SHEET SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700 MV01	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25. OVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 SAG1	STREET ADDRESS-1: 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE CBC, SEC. 363.
05500 DWO1	GABLE END VENT: 18" X 24". PAINT 3 COAT AS SELECTED BY OWNER.
06401 BBS1	BOARD & BATTEN-1: 14" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.



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SEAN FREITAS, Architect (C-2563)

PROJECT: 20180510

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ELAN - PLAN 1 (SERIES 2 - PLAN 1)
ELEMENTS MONTELENA
PREMIER HOMES
DOUGLAS RD. & RANCHO CORDOVA PKWY.
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TITLE: EXTERIOR ELEVATIONS - THE RANCH

ISSUE:

Project Issue Date:	Issue Date:
Project Status:	Project Status:
Sheet Issue Date:	10/12/24
Revision Number:	1
Revision Date:	11/20/24

ARCHITECT'S APPROVAL:

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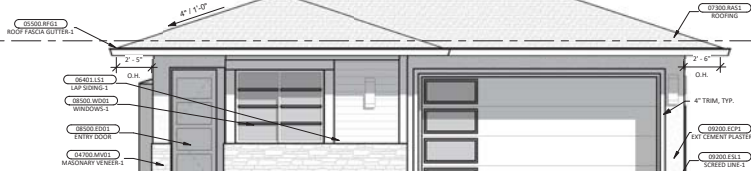
SHEET: **A7.14**

SHEET: OF SHEETS

MAX. BLDG. HT. - MODERN/DELTA
16' - 5 1/8"

LEVEL-1 PLATE
10' - 0"

LEVEL-1 F.F.
0' - 0"
EXIST. GRADE
-0' - 6"



MAX. BLDG. HT. - MODERN/DELTA
16' - 5 1/8"

LEVEL-1 PLATE
10' - 0"

LEVEL-1 F.F.
0' - 0"
EXIST. GRADE
-0' - 6"

SCALE:
0 2' 4' 8'

ELEVATION - FRONT - THE MODERN

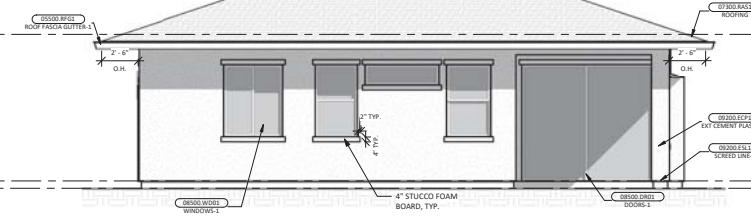
SCALE
1/4" = 1'-0"

1

MAX. BLDG. HT. - MODERN/DELTA
16' - 5 1/8"

LEVEL-1 PLATE
10' - 0"

LEVEL-1 F.F.
0' - 0"
EXIST. GRADE
-0' - 6"



MAX. BLDG. HT. - MODERN/DELTA
16' - 5 1/8"

LEVEL-1 PLATE
10' - 0"

LEVEL-1 F.F.
0' - 0"
EXIST. GRADE
-0' - 6"

SCALE:
0 2' 4' 8'

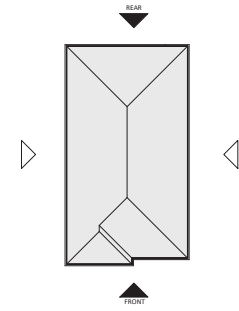
ELEVATION - REAR - THE MODERN

SCALE
1/4" = 1'-0"

2

LEGEND: ELEVATIONS EXTERIOR

07300 RAS1	ROOFING-1: OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 BF01	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
06500 W000	WINDOWS-2: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
06500 D001	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
06500 E001	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
06200 RCPI	EXTERIOR CEMENT PLASTER-1: ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: EIR - 115H
09200 ESCL	SCREENED LINE-1: CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
06401 L11	6" LAP SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401 S31	SHEET SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700 MV01	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25 OVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 S401	STREET ADDRESS-1: 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE CBC, SEC. 303.
05500 D001	CABLE END VENT: 18" X 24". PAINT 3 COAT AS SELECTED BY OWNER.
06401 B011	BOARD & BATTEN-1: 1/4" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.



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PROJECT: 20180510

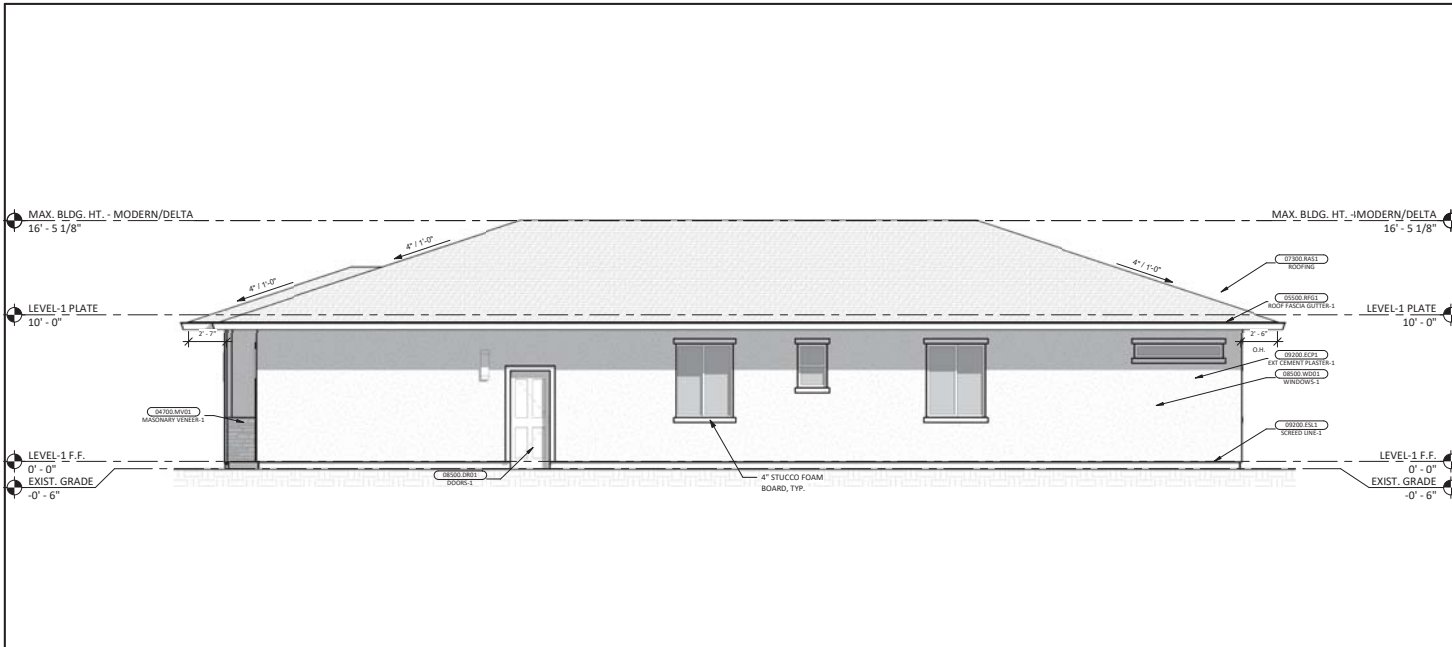
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Email: SEAN@SEANFREITAS.COM

ELAN - PLAN 1 (SERIES 2 - PLAN 1)
ELEMENTS MONTELENA
PREMIER HOMES
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RANCHO CORDOVA, CA 95742

TITLE:
EXTENSION ELEVATIONS - THE MODERN
ISSUE:
Project Issue Date:
Project Status:
Revision Number:
Revision Date:

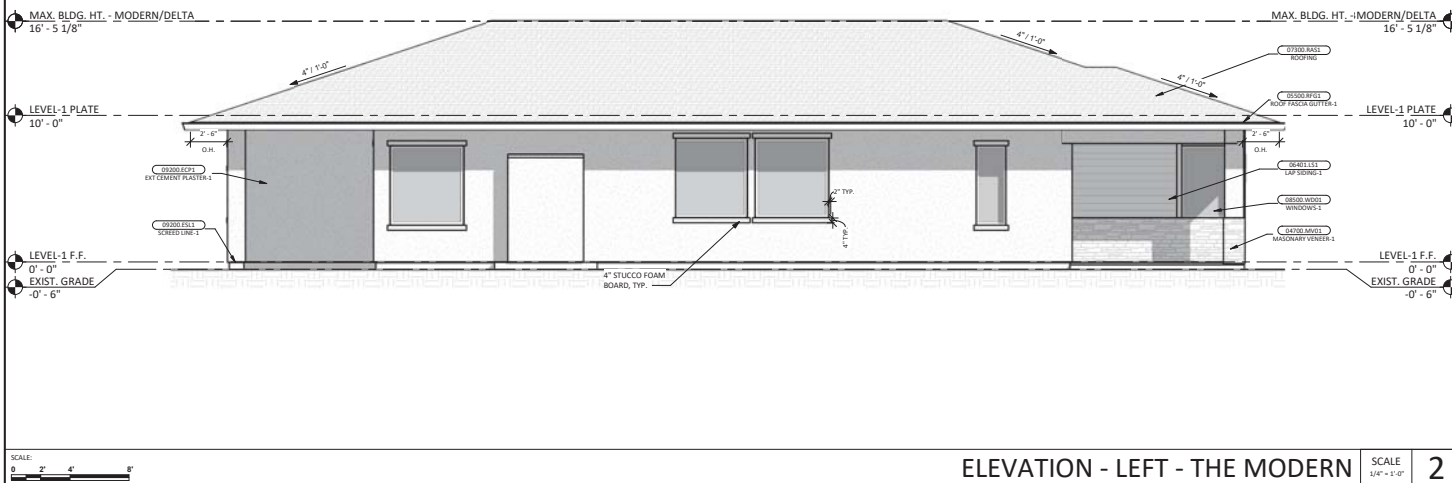
ARCHITECT'S APPROVAL:
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SHEET:
A7.15
SHEET: OF SHEETS



ELEVATION - RIGHT OPT - THE MODERN

SCALE 1/4\" = 1'-0\" 1

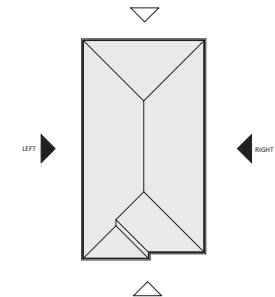


ELEVATION - LEFT - THE MODERN

SCALE 1/4\" = 1'-0\" 2

LEGEND: ELEVATIONS EXTERIOR

07300.RASI	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500.BFIS	ROOF FASCIA GUTTER: 1. SEE ROOF PLAN
05500.WOOD	WINDOWS: 1. AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.DRIS	DOORS: 1. AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.1001	ENTRY DOOR: 1. AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200.ECPI	EXTERIOR CEMENT PLASTER: 1. ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE KC REPORT ESR - 1134
09200.ESL	SCREENED LINE: 1. CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1\" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
06401.LSS	4\" LAP SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8\" OSB SHEATHING.
06401.SSI	SHEET SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8\" OSB SHEATHING.
04700.MVUS	MASONRY VENEER: 1. STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.I.C. TABLE 25. OVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400.SAGS	STREET ADDRESS: 1. 12\" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE CBC, SEC. 303.
05500.DWIS	GABLE END VENT: 18\" X 24\". PAINT 3-COAT AS SELECTED BY OWNER.
06401.BBS	BOARD & BATTEN: 1. 14\" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8\" OSB SHEATHING.



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PROJECT: 20180510

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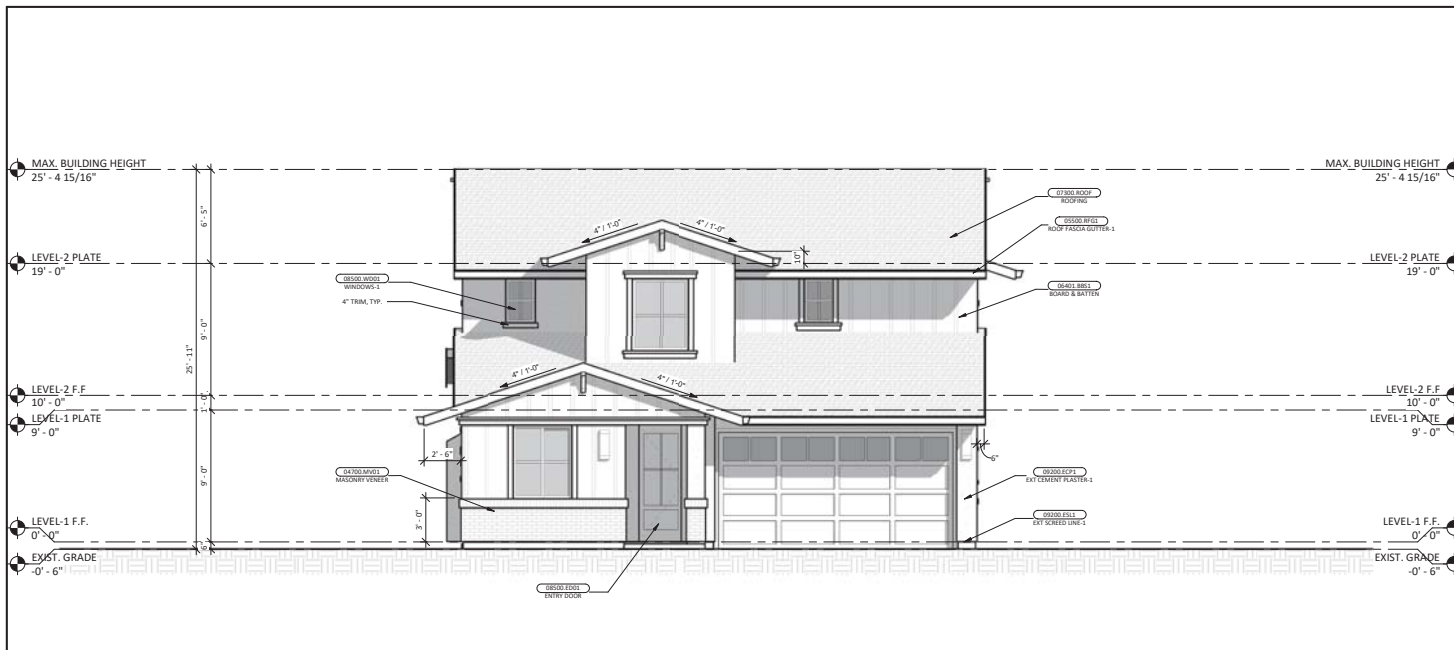
ELAN - PLAN 1 (SERIES 2 - PLAN 1)
ELEMENTS MONTELENA
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DOUGLAS RD. & RANCHO CORDOVA PKWY.
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TITLE: ELEVATIONS - THE MODERN
ISSUE:
Project Issue Date: Issue Date:
Project Status: Project Status:
Revision Number: Revision Number:
Revision Date: Revision Date:

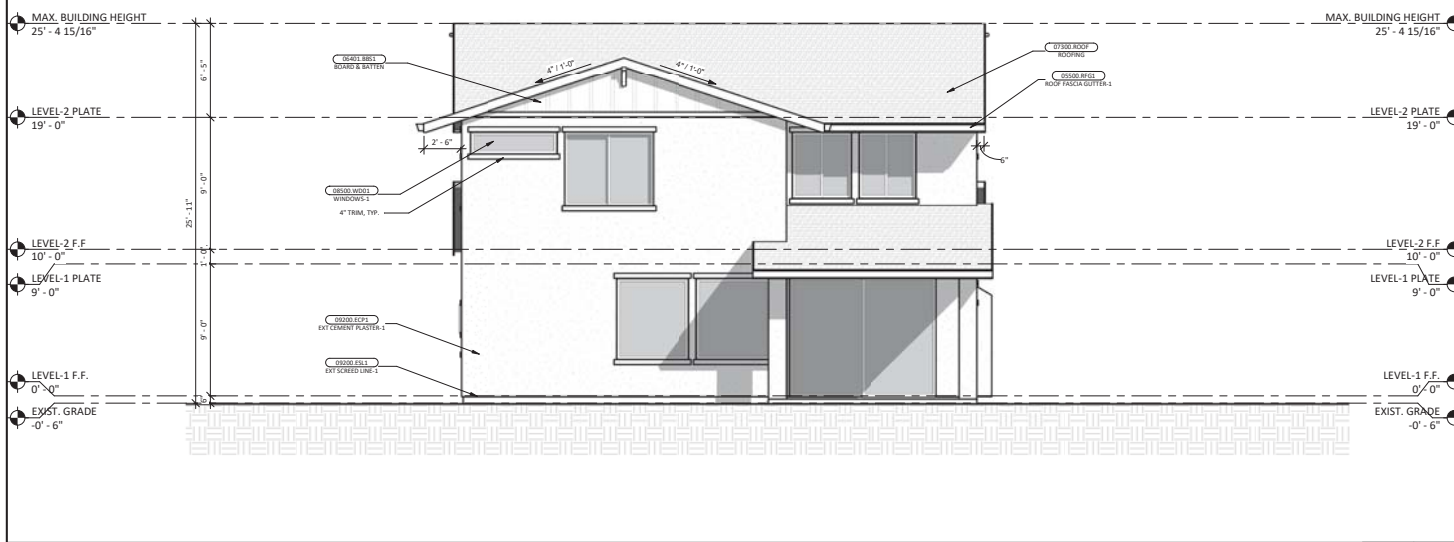
ARCHITECT'S APPROVAL:

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SHEET:
A7.16
SHEET: OF SHEETS

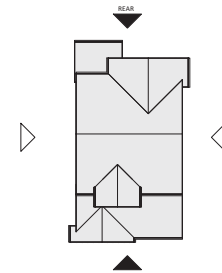


SCALE: 1/4" = 1'-0" **PROPOSED EXTERIOR ELEVATION - FRONT - THE DELTA** SCALE 1/4" = 1'-0" **1**



SCALE: 1/4" = 1'-0" **PROPOSED EXTERIOR ELEVATION - REAR - THE DELTA** SCALE 1/4" = 1'-0" **2**

07300 RASI	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
08500 BFGS	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
08500 WOODS	WINDOWS-2: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DRIS	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 EDOS	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 RCP1	EXTERIOR CEMENT PLASTER-1: ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: ESR-115H
09200 ELS1	SCHED LINE-1: CEMENT PLASTER SCHED LINE SHALL BE PLACED PARALLEL WITH AND 1/4" ABOVE FINISH GRADE LINE (NOT STIPPED). TYP. U.N.O.
09400 LSS	6" LAP SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
09400 SSS	SHEET SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
09700 MVOS	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25 COVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 SADS	STREET ADDRESS-1: 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE C.B.C. SEC. 16D.
05500 OVALS	GABLE END VENT: 18" X 24" PAINT 3 COAT AS SELECTED BY OWNER.
09400 BBS1	BOARD & BATTEN-1: 1/4" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.



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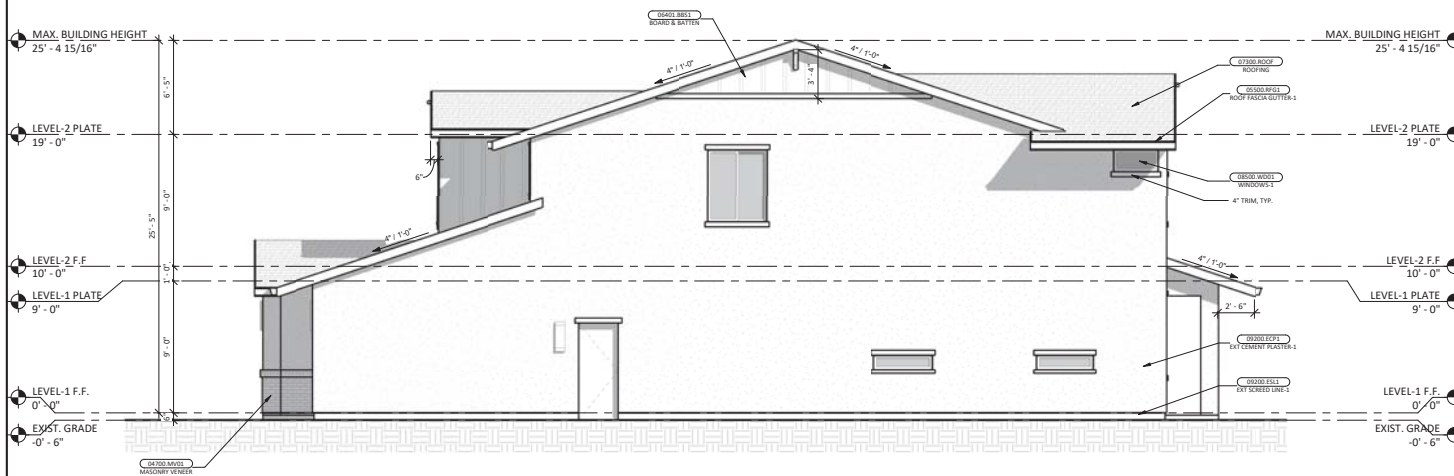
ELAN - PLAN 2 (SERIES 2 - PLAN 2)
ELEMENTS MONTELENA
PREMIER HOMES
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RANCHO CORDOVA, CA 95742

TITLE: EXTERIOR ELEVATIONS - THE DELTA
ISSUE:
Project Issue Date: Issue Date:
Project Status: Project Status:
Sheet Issue Date: 10/12/24
Revision Number: Revision Date: 11/20/24

ARCHITECT'S APPROVAL:

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE SIGNATURE AND EXPIRATION DATE OF THE ARCHITECT AND LOCAL BUILDING AUTHORITY HAVE CONSTRUCTION OVER THIS PROJECT.

SHEET:
A7.11
SHEET: OF SHEETS

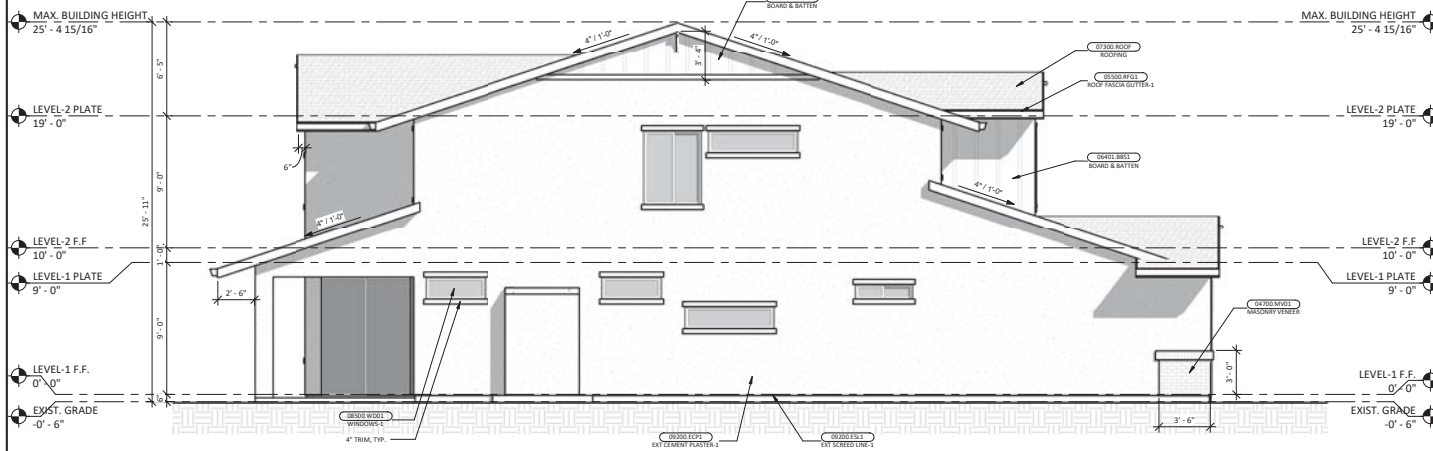


PROPOSED EXTERIOR ELEVATION - RIGHT - THE DELTA

SCALE 1/4" = 1'-0"

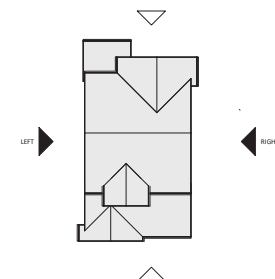
LEGEND: ELEVATIONS EXTERIOR

07300 RAS1	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
08500 BF01	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
08500 W000	WINDOWS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DR01	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 ED01	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 RCP1	EXTERIOR CEMENT PLASTER-1: ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: ESR-1154
09200 ES11	SCREENED LINE-1: CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
09400 L21	6" LAP SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
09400 L31	SHEET SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
09700 MV01	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25 COVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 S401	STREET ADDRESS-1: 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE C.B.C. INC. 300.
05500 D401	GABLE END VENT: 18" X 24" PAINT 3 COAT AS SELECTED BY OWNER.
06401 BB11	BOARD & BATTEN-1: 1/4" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.



PROPOSED EXTERIOR ELEVATION - LEFT - THE DELTA

SCALE 1/4" = 1'-0"



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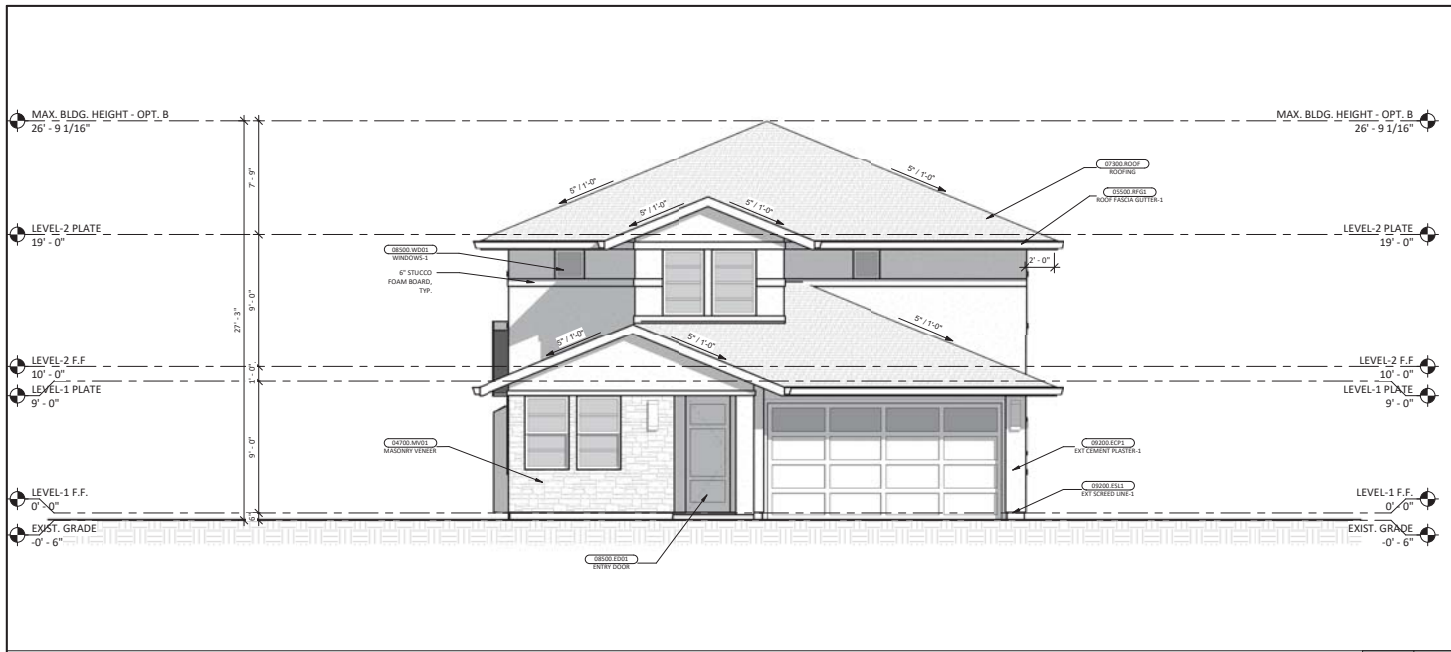
PROJECT: 20180510
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ELEMENTS MONTELENA
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TITLE: EXTERIOR ELEVATIONS - THE DELTA
ISSUE:
Project Issue Date: Issue Date:
Project Status: Project Status:
Sheet Issue Date: 10/12/24
Revision Number: Revision Number:
Revision Date: 11/20/24

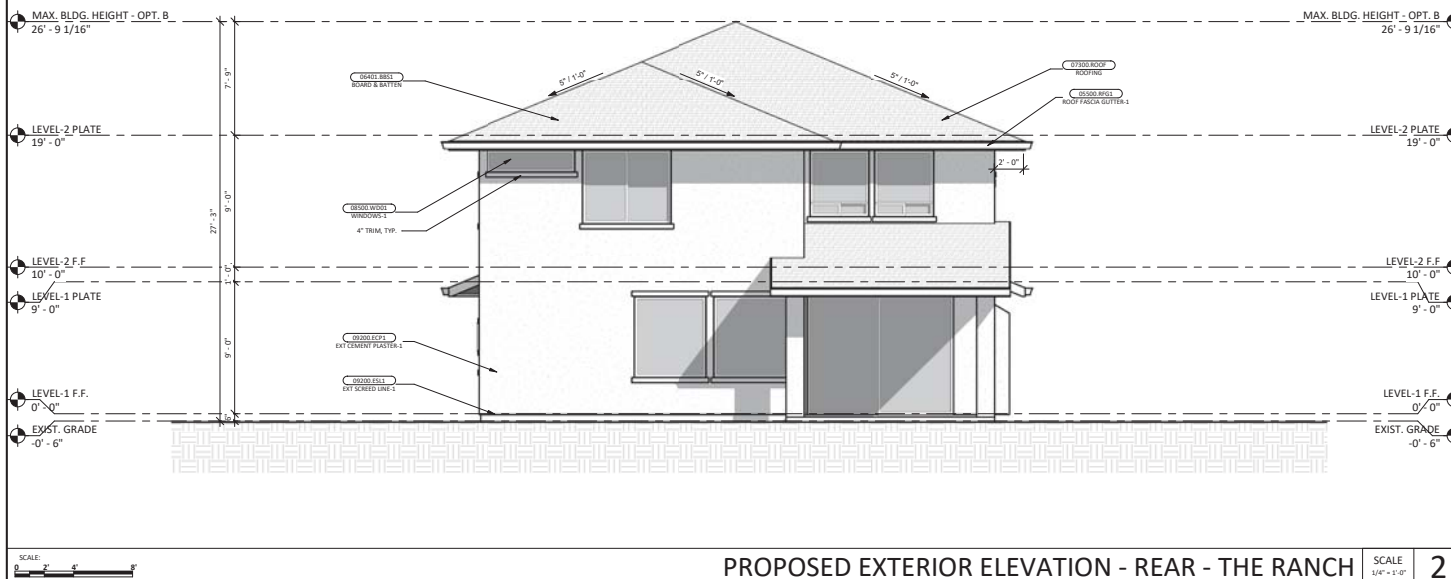
ARCHITECT'S APPROVAL:
THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS AND CONTRACT ARE REVIEWED BY THE ARCHITECT AND LOCAL BUILDING AUTHORITY (NAMES) (SIGNATURE OVER THIS PROJECT).

SHEET:
A7.12
SHEET: OF SHEETS



PROPOSED EXTERIOR ELEVATION - FRONT - THE RANCH

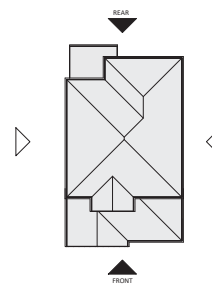
SCALE 1/4\" = 1'-0\" 1



PROPOSED EXTERIOR ELEVATION - REAR - THE RANCH

SCALE 1/4\" = 1'-0\" 2

07300 RASI	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 BF01	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
05500 W000	WINDOWS-1: AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DR01	DOORS-1: AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 ED01	ENTRY DOOR-1: AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 ECP1	EXTERIOR CEMENT PLASTER-1: ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: ECR - 1104
09200 ESL1	SCREENED LINE-1: CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1\" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
06400 L21	6\" LAP SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8\" OSB SHEATHING.
06400 L31	SHEET SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8\" OSB SHEATHING.
04700 MV01	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25-C OVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 S401	STREET ADDRESS-1: 12\" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE C.B.C. SEC. 160.
05500 G401	GABLE END VENT: 18\" X 24\" PAINT 3-COAT AS SELECTED BY OWNER.
06400 BB11	BOARD & BATTEN-1: 14\" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8\" OSB SHEATHING.



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TITLE: EXTERIOR ELEVATIONS - THE RANCH

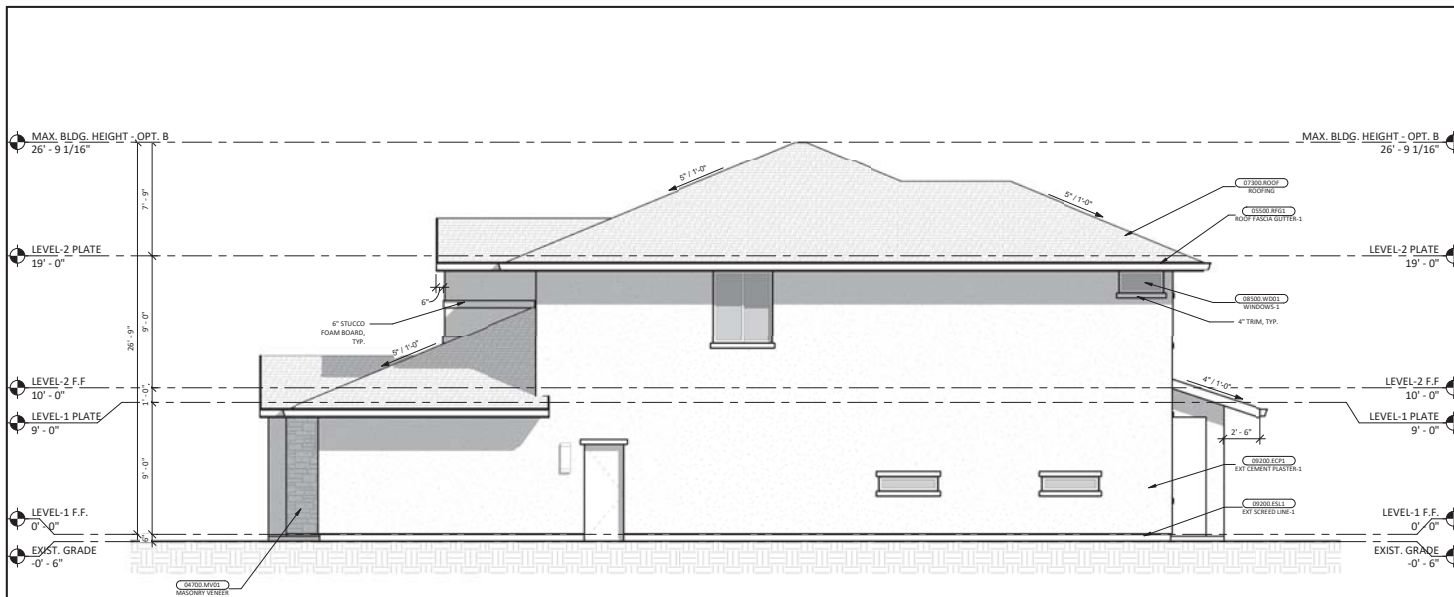
ISSUE:

Project Issue Date:	Issue Date:
Project Status:	Project Status:
Revision Number:	Revision Number:
Revision Date:	Revision Date:

ARCHITECT'S APPROVAL:

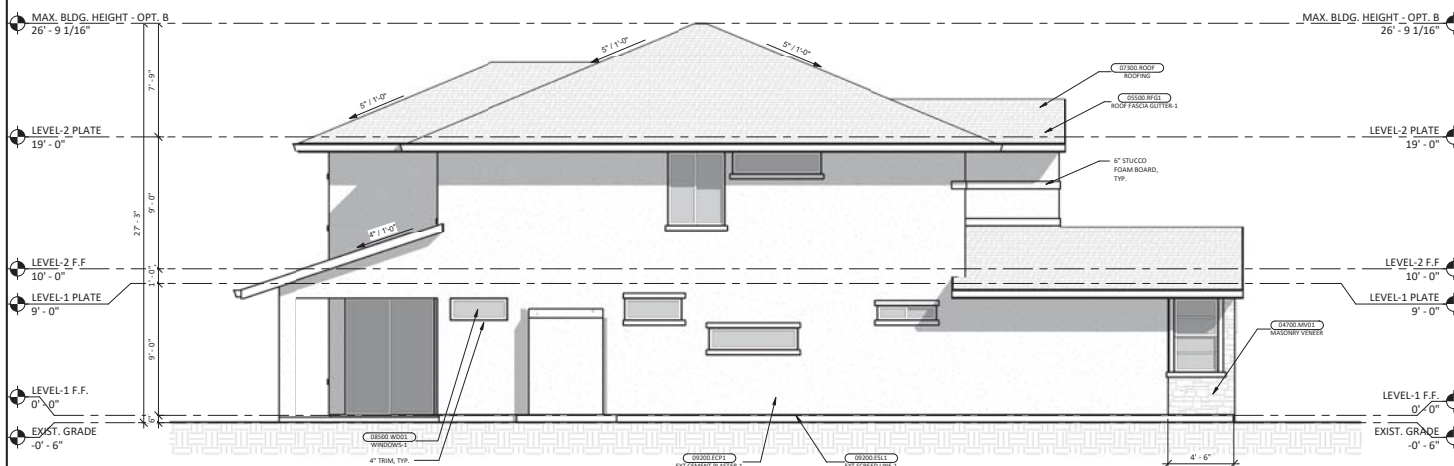
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SHEET:
A7.21
SHEET: OF SHEETS



PROPOSED EXTERIOR ELEVATION - RIGHT - THE RANCH

SCALE 1/4" = 1'-0" 1

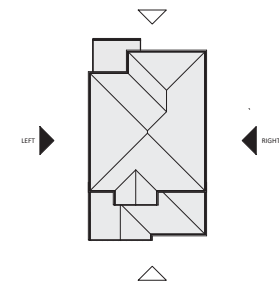


PROPOSED EXTERIOR ELEVATION - LEFT - THE RANCH

SCALE 1/4" = 1'-0" 2

LEGEND: ELEVATIONS EXTERIOR

07300 RASF	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 BFIS1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
05500 WDO2	WINDOWS-2: AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DDO1	DOORS-1: AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 EDO1	ENTRY DOOR-1: AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 ECP1	EXTERIOR CEMENT PLASTER: 1. ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: ECR - 1114
09200 ESL1	SCREENED LINE-1: CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 4" ABOVE FINISH GRADE LINE (NOT STEPS). TYP. U.N.O.
06400 LSS	6" LAP SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06400 SSS	SHEET SIDING-1: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700 MVO1	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.C. TABLE 25 COVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 SAG1	STREET ADDRESS-1: 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE C.C. R.C. 300.
05500 DVO1	GABLE END VENT: 18" X 24" PAINT 3 COAT AS SELECTED BY OWNER.
06400 BBS1	BOARD & BATTEN-1: 1/4" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.



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TITLE: EXTERIOR ELEVATIONS - THE RANCH
ISSUE:
Project Issue Date:
Project Status:
Sheet Issue Date:
Revision Number:
Revision Date:

ARCHITECT'S APPROVAL:

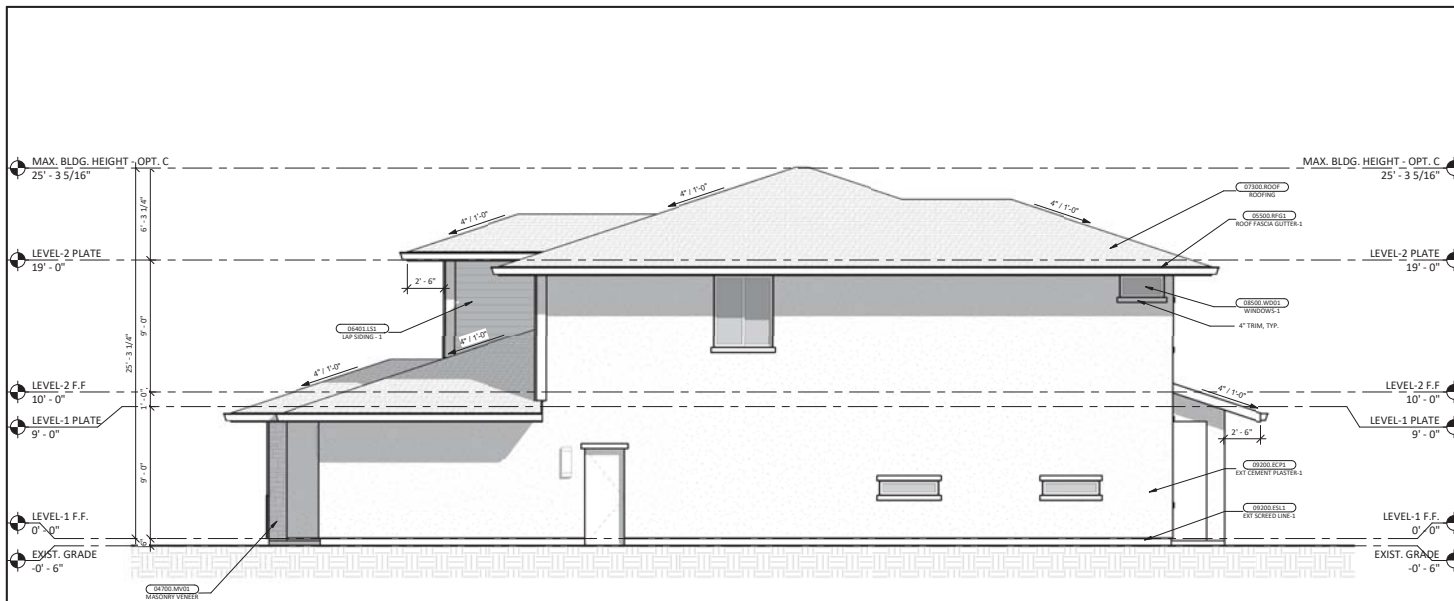


THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE CORRECTLY PRINTED BY THE ARCHITECT AND LOCAL BUILDING AUTHORITY ISSUES A CONSTRUCTION PERMIT FOR THIS PROJECT.

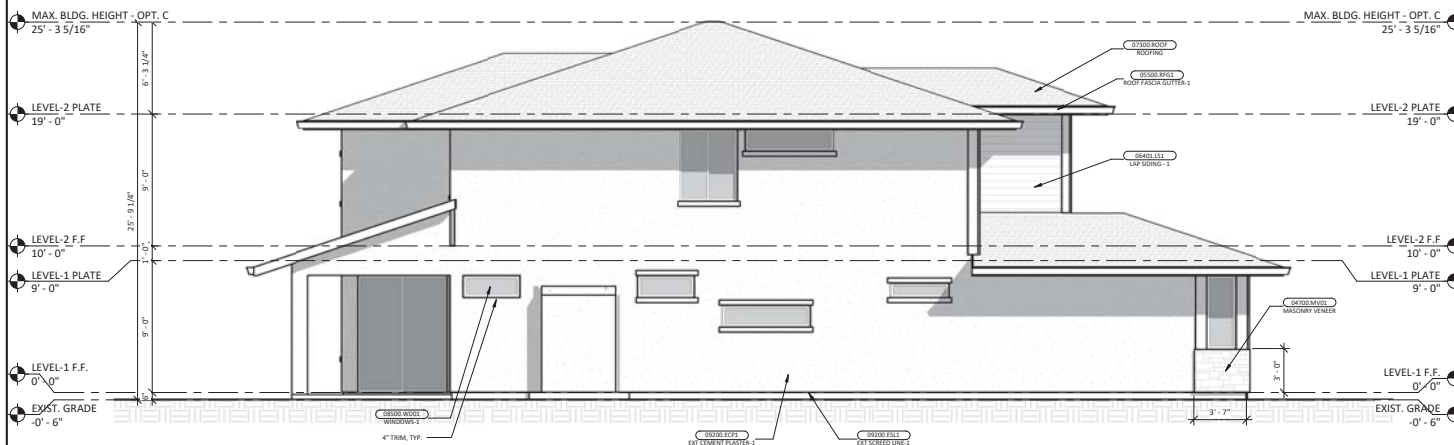
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A7.22

SHEET: OF SHEETS



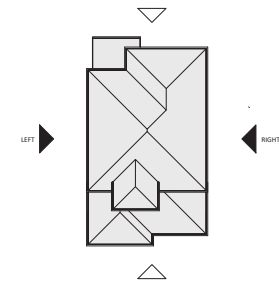
SCALE: 1/4" = 1'-0" **1**



SCALE: 1/4" = 1'-0" **2**

LEGEND: ELEVATIONS EXTERIOR

07300.RAFL	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500.BFGL	ROOF FASCIA GUTTER: 1. SEE ROOF PLAN
05500.WDGL	WINDOWS: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.DRGL	DOORS: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500.EDGL	ENTRY DOOR: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200.RCP1	INTERIOR CEMENT PLASTER: 1. ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: EIR - 1114
09200.ESL1	SCREENED LINE: 1. CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
06400.LSL	6" LAP SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06400.SSL	SHEET SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700.MVGL	MASONRY VENEER: 1. STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25 COVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400.SAGL	STREET ADDRESS: 1. 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE IBC, INC. 103.
05500.OVGL	GABLE END VENT: 1. 18" X 24" PAINT 3 COAT AS SELECTED BY OWNER.
06400.BBGL	BOARD & BATTEN: 1. 54" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.



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TITLE: EXTERIOR ELEVATIONS - THE MODERN
ISSUE:
Project Issue Date: 10/12/21
Project Status: 11/20/21
Revision Number: 1
Revision Date: 11/20/21

ARCHITECT'S APPROVAL:

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE CHANGED AND RE-APPROVED BY THE ARCHITECT AND LOCAL BUILDING AUTHORITY HAVING JURISDICTION OVER THIS PROJECT.

SHEET:
A7.32
SHEET: 07 SHEETS

PREMIER HOMES

ELEMENTS MONTELENA

ELAN - PLAN 3 (SERIES 2 - PLAN 3)



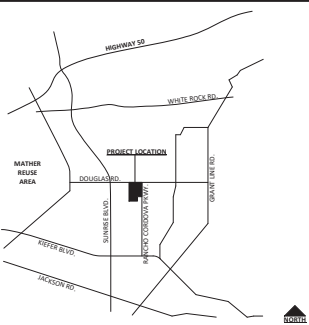
THE DELTA



THE RANCH



THE MODERN



VICINITY MAP

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A3.27	ELECTRICAL LOAD CALCS
A4.11	DIMENSION PLANS
A6.11	SCHEDULES
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A7.11	ROOF PLAN
A7.12	EXTERIOR ELEVATIONS - THE DELTA
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TITLE 24

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EN-3.1	TITLE 24 ENERGY COMPLIANCE

SOLAR

PV 1-12	NEW ROOFTOP SOLAR PHOTOVOLTAIC
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M-4.2	PLAN: ELAN, PLAN 2A
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SC-1	STRUCTURAL NOTES AND CRITERIA
SD-1	STRUCTURAL DETAILS
SD-2	STRUCTURAL DETAILS
SD-3	STRUCTURAL DETAILS

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COVER SHEET
ISSUE:
Project Issue Date:
Project Status:
Sheet Issue Date:
Revision Number:
Revision Date:

ARCHITECT'S APPROVAL:
[Signature]
SEAN FREITAS, ARCHITECT
C-23563

THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE ARCHITECT AND ALL CITY AND COUNTY PERMITS HAVE BEEN OBTAINED FROM THE ARCHITECT AND LOCAL BUILDING AUTHORITY HAVING JURISDICTION OVER THIS PROJECT.

SHEET:
A1.11
SHEET: OF SHEETS

GENERAL BUILDING NOTES

DATA AND MEASUREMENTS:

- 5.01 DRAWING DATA CONTAINED HEREIN IS AS EXACT AS COULD BE DETERMINED WITHIN THE PROJECT DESIGNER'S DESIGN SCOPE OF SERVICES RENDERED. AS SUCH THE ABSOLUTE ACCURACY OF THE DESIGN DATA IS NOT GUARANTEED. THE GENERAL ENGINEERING CONTRACTOR, GENERAL CONTRACTOR AND SUBCONTRACTORS SHALL INDEPENDENTLY OBTAIN, VERIFY AND CONFIRM EXACT DESIGN DATA ON SITE AND SUITABLY ADAPT THE WORK TO CONFORM TO EXACT CONDITIONS ON SITE. THE CONTRACTOR SHALL REPORT ANY DESIGN DATA AMBIGUITIES OR DISCREPANCIES CONTAINED IN THE CONTRACT TO THE OWNER IN WRITING. ALL MODIFICATIONS REQUIRED TO ADAPT THE WORK SHALL BE MADE BY THE CONTRACTOR AT THE CONTRACTOR'S EXPENSE.
- 5.02 **DO NOT SCALE THE DRAWINGS.** WRITTEN DIMENSIONS AND ACTUAL BUILDING MEASUREMENTS TAKE PRECEDENCE OVER SCALED DRAWING INFORMATION.
- 5.03 **DIMENSIONS TO DOORS, WINDOWS, AND OPENINGS ARE NOMINAL WIDTHS.** REFER TO THE MANUFACTURER FOR ACTUAL ROUGH OPENINGS.
- 5.04 **ALL WALL DIMENSIONS ARE ACTUAL.** FACE OF STUD TO FACE OF STUD. WALL FINISH DIMENSIONS ARE NOT TAKEN INTO ACCOUNT AND ARE THE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO DETERMINE PROPER CLEARANCES.

SUBSTITUTIONS FOR SPECIFIED MATERIALS:

- 6.01 SPECIFIC TRADE NAMES MENTIONED IN THE DRAWINGS ARE FOR THE PURPOSES OF ESTABLISHING MINIMUM STANDARDS OF QUALITY, STYLE OR TYPE, AND SHALL NOT BE CONSTRUED TO RESTRICT SUBSTITUTIONS. ALL SUBSTITUTIONS SHALL BE SUBMITTED TO AND APPROVED BY THE OWNER IN WRITING WITHIN A SUFFICIENT TIME FRAME AS NOT TO DELAY PROJECT COMPLETION.

ROOF PREMANUFACTURED TRUSS SYSTEM:

- 12.01 IF IT IS ELECTED THAT ROOF FRAMING IS TO BE A PREMANUFACTURED TRUSS SYSTEM, THE TRUSS MANUFACTURER, CONTRACTOR AND CLIENT SHALL VERIFY ALL JOB CONDITIONS AND DIMENSIONS BEFORE BUILDING TRUSSES AND INSTALLING. HDD LIMITS ITS RESPONSIBILITY TO INFORMATION REPRESENTED THEREIN AND THE INTENDED USE THEREOF AND ASSUMES NO RESPONSIBILITY FOR ACTUAL AS-BUILT CONDITIONS AND ACTUAL DIMENSIONS AS USED BY THE TRUSS MANUFACTURER. ANY ACTUAL DIMENSION DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF HDD PRIOR TO BUILDING TRUSSES. ANY DISCREPANCIES DISCOVERED AFTER TRUSSES ARE BUILT ARE NOT THE LIABILITY OF HDD.

BUILDING SHEET ABBREVIATIONS

AB	ANCHOR BOLT	GLV	GLASS	SHING	SHEATHING
ADJ	ADJACENT	GL	GLASS	SHWR	SHOWER
ALUM	ALUMINUM	GYP	GYPHUM	SM	SIMILAR
BM	BEAM	H	HIGH OR HEIGHT	SIMP	'SIMPSON'
BOW	BOTTOM OF WALL	HB	HOSE BIBB	SLD	SLIDING
BURG	BLOCKING	JTS	JOIST	S&P	SHELF & POLE
BRD	BOARD	LAV	LAVATORY	STRUCT	STRUCTURAL
CC	CENTER TO CENTER	LB	POUND	T	TREAD
CL	CENTERLINE	LN	LINEN	TEMP	TEMPERED
CEM	CEMENT	LT	LIGHT	TOC	TOP OF CONCRETE
CER	CERAMIC	MANF	MANUFACTURER	TGS	TOP OF GRADE
CLJ	CONTROL JOINT	MAX	MAXIMUM	TOP	TOP OF FLOOR
CLS	CEILING	MC	MEDICINE CABINET	TOP	TOP OF PAVEMENT
CLR	CLEAR	MIN	MINIMUM	TOS	TOP OF SUB
CLD	CLOSET	MTL	METAL	TOW	TOP OF WALL
CLD	CLEANOUT	N	NORTH	TV	TELEVISION
CONC	CONCRETE	O/	OVER	TPP	TYPICAL
CONTRN	CONTINUOUS	OC	ON CENTER	UCR	UNDER COUNTER REFRIG.
DBL	DOUBLE	OFD	OWNER FURNISHED CONTRACTOR INSTALLED	W	WEST
DF	DOUGLAS FIR	W/	WITH	W	WITH
DI	DRAIN INLET	PB	PUSH BUTTON	WC	WATER CLOSET
DIA	DIAMETER	PH	PHONE	WD	WOOD
DR	DOOR	PL	PLATE	WH	WATER HEATER
DW	DISH WASHER	POC	POINT OF CONNECTION	WP	WATER PROOF
E	EAST	R	RISER	WWW	WELDED WIRE MESH
EL	ELEVATION	PT	PRESSURE TREATED		
EQ	EQUAL	R	REFRIGERATOR		
FF	FINISH FLOOR	RENF	REINFORCED		
FI	FIXTURE	RM	ROOM		
FLUOR	FLUORESCENT	RWD	REDWOOD		
FP	FIRE PLACE	S	SOUTH		
GA	GAUGE	SB	SET BACK		
GFI	GROUND FAULT INTERRUPTER	SF	SQUARE FOOT		

PROJECT TEAM

DESIGNER:
FH DESIGN, INC.
725 SUMMIT AVE., SUITE 100, ROSEVILLE, CA 95661
916.580.9981
SEAN.FREITAS@FHDESIGN.COM

STRUCTURAL ENGINEER:
FH DESIGN, INC.
725 SUMMIT AVE., SUITE 100, ROSEVILLE, CA 95661
916.580.9981
SEAN.FREITAS@FHDESIGN.COM

TITLE 24 ENERGY CONSULTANT:
VILLARA BUILDING SYSTEMS
4700 LINDA AVENUE, MCLELLEN, CA 95652
916.666.2700
WWW.VILLARA.COM

TRUSS DESIGN:
ENTRUSTED
5065 COMMERCIAL PLACE, SHERIDAN, CA 95661
916.581.0807
916.732.3408

CIVIL ENGINEER:
DAVID CASPRINGER, INC.

FIRE PROTECTION DESIGN:
INNOVATIVE FIRE SYSTEMS
108 MAIN STREET, ROSEVILLE, CA 95678
916.842.0593
DAVID@CASPRINGER.NET

PROJECT SCOPE

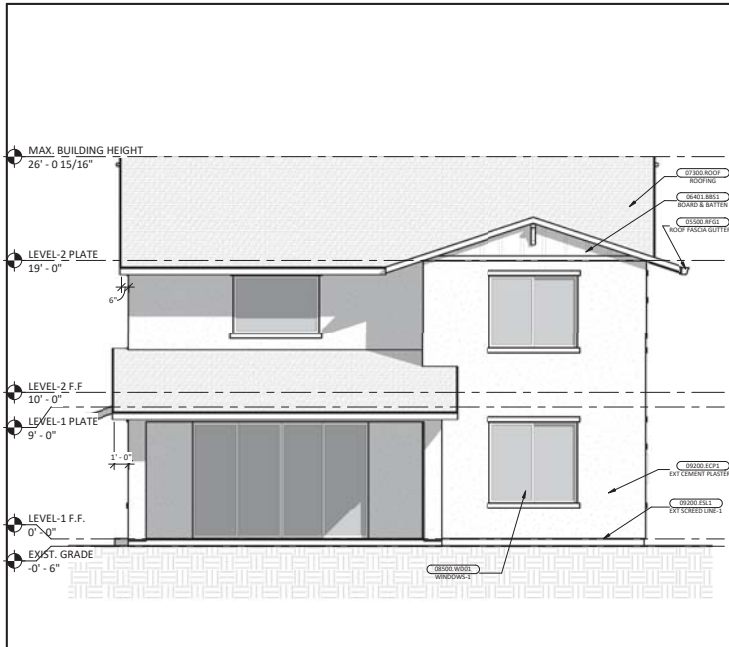
NEW HOME

PROJECT DATA

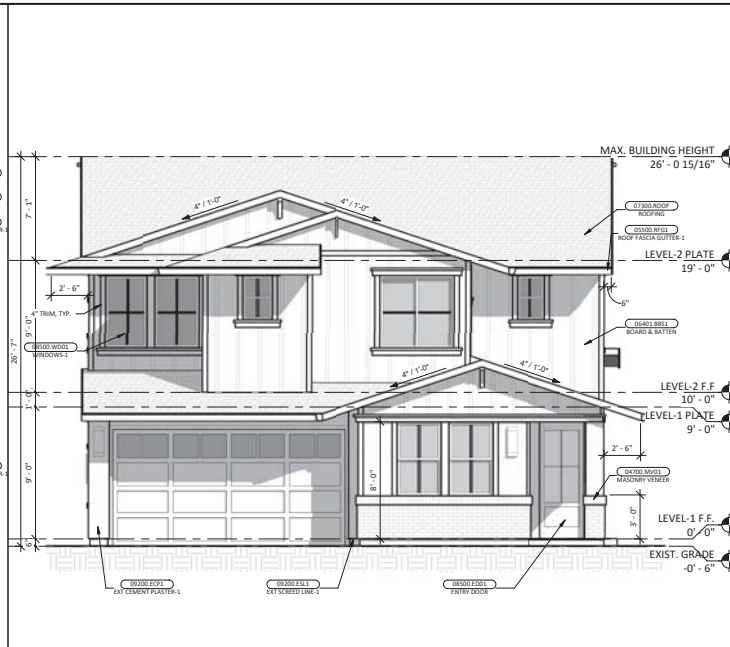
APPLICABLE BUILDING CODE:	2016 CBC, CBC, CEC, CMC, CPC, CEC, CEC, CEC (ENERGY CODE), CBC & CGC
OCCUPANCY GROUP:	R-30 R-3 (SINGLE FAMILY RESIDENCE) 1 (GARAGE)
CONSTRUCTION TYPE:	TYPE VB TWO STORY FIRE SPRINKLED PER CBC R315 OR NFPA 13.0

BUILDING AREA

SPACE	EXISTING	PROPOSED	NET CHANGE
3 GARAGE	0 S.F.	511 S.F.	511 S.F.
COVERED ENTRY	0 S.F.	70 S.F.	70 S.F.
SIDE PORCH	0 S.F.	38 S.F.	38 S.F.
LANAI	0 S.F.	240 S.F.	240 S.F.
2-CAR GARAGE - PLAN 3K	0 S.F.	381 S.F.	381 S.F.
TOTAL UNCONDITIONED AREA:	STD 3X	O.S.F. 859 S.F.	859 S.F.
LOWER FLOOR - RESIDENCE	O.S.F.	729 S.F.	729 S.F.
UPPER FLOOR - RESIDENCE	O.S.F.	1,490 S.F.	1,490 S.F.
LOWER FLOOR - PLAN 3K	O.S.F.	1,744 S.F.	1,744 S.F.
UPPER FLOOR - PLAN 3K	O.S.F.	1,620 S.F.	1,620 S.F.
TOTAL CONDITIONED FLOOR AREA:	STD 3X	O.S.F. 3,234 S.F.	3,234 S.F.
LOT COVERAGE:	O.S.F.	2,349 S.F.	2,349 S.F.

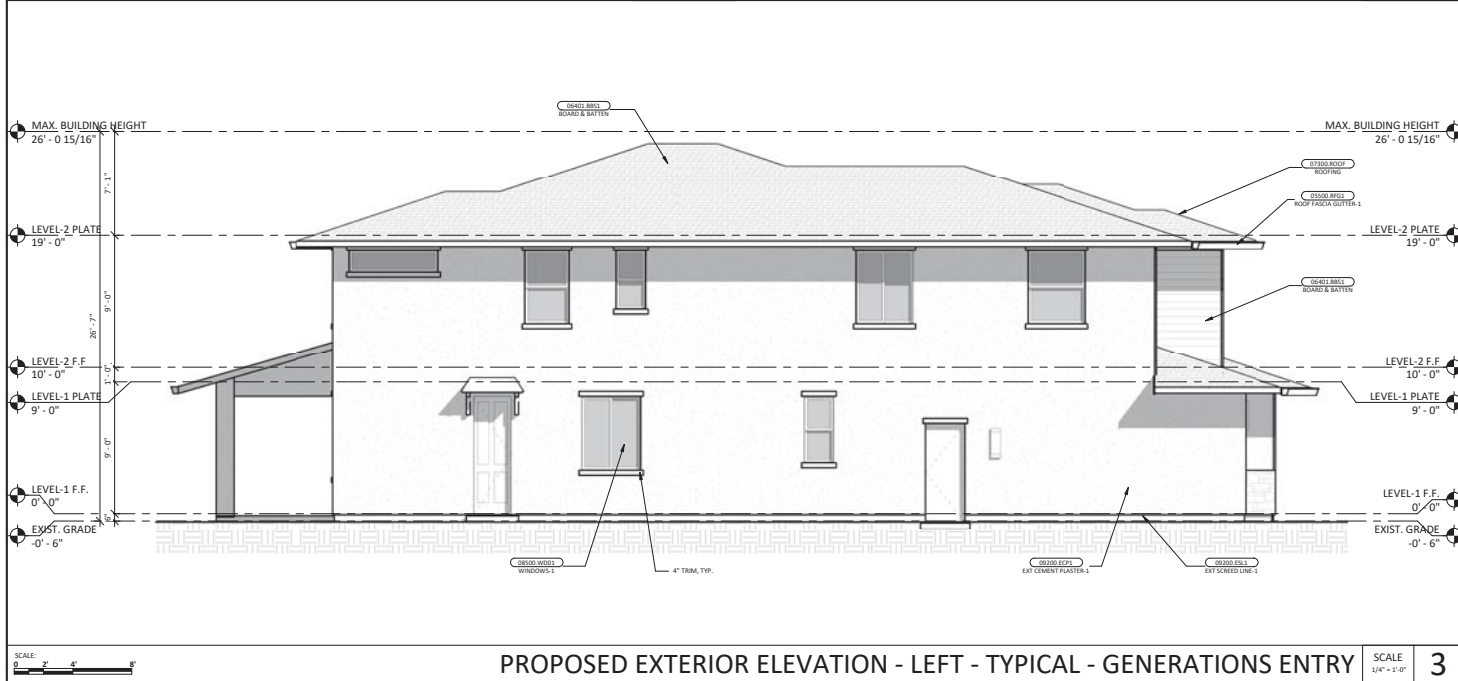


PROPOSED EXTERIOR ELEVATION - REAR - THE DELTA SCALE 1/4" = 1'-0" 2



PROPOSED EXT. ELEVATION - FRONT - THE DELTA SCALE 1/4" = 1'-0" 1

07300 RASI	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 BFIS1	ROOF FASCIA GUTTER: 1. SEE ROOF PLAN
05500 WOOD	WINDOWS: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DRIS1	DOORS: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 EDO1	ENTRY DOOR: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 ECP1	EXTERIOR CEMENT PLASTER: 1. ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: ESR - 1154
09200 ESL1	SCREENED LINE: 1. CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1/2" ABOVE FINISH GRADE LINE (NOT STIPES). TYP. U.N.O.
06401 LSS	6" LAP SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401 SSS1	SHEET SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700 MVIS1	MASONRY VENEER: 1. STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25 COVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 SADS1	STREET ADDRESS: 1. 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE C.B.C. SEC. 160.
05500 DWIS1	GABLE END VENT: 1. 18" X 24" PAINT 3 COAT AS SELECTED BY OWNER.
06401 BBS1	BOARD & BATTEN: 1. 54" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.



PROPOSED EXTERIOR ELEVATION - LEFT - TYPICAL - GENERATIONS ENTRY SCALE 1/4" = 1'-0" 3

LEGEND: ELEVATIONS EXTERIOR

07300 RASI	ROOFING: 1. OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 BFIS1	ROOF FASCIA GUTTER: 1. SEE ROOF PLAN
05500 WOOD	WINDOWS: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DRIS1	DOORS: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 EDO1	ENTRY DOOR: 1. AS SELECTED BY OWNER. CALL ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 ECP1	EXTERIOR CEMENT PLASTER: 1. ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT: ESR - 1154
09200 ESL1	SCREENED LINE: 1. CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1/2" ABOVE FINISH GRADE LINE (NOT STIPES). TYP. U.N.O.
06401 LSS	6" LAP SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06401 SSS1	SHEET SIDING: 1. AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700 MVIS1	MASONRY VENEER: 1. STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25 COVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 SADS1	STREET ADDRESS: 1. 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE C.B.C. SEC. 160.
05500 DWIS1	GABLE END VENT: 1. 18" X 24" PAINT 3 COAT AS SELECTED BY OWNER.
06401 BBS1	BOARD & BATTEN: 1. 54" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.

CLIENT:
 SEAN FREITAS, INC.
 8483 DOUGLAS PLAZA DRIVE, SUITE 110
 GRANITE HILL, CA 95746
 TEL: 916.773.0207
 EMAIL: SEAN@SEANFREITAS.COM

PROJECT: 20180510

ELAN - PLAN 3 (SERIES 2 - PLAN 3)
 ELEMENTS MONTELENA
PREMIER HOMES
 DOUGLAS RD. & RANCHO CORDOVA PKWY.
 RANCHO CORDOVA, CA 95742

TITLE: EXTERIOR ELEVATIONS - THE DELTA
ISSUE:
 Project Issue Date: 10/12/21
 Project Status: 10/12/21
 Revision Number: 11/20/21
 Revision Date: 11/20/21

ARCHITECT'S APPROVAL:

 THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE APPROVED AND SIGNED BY THE ARCHITECT AND LOCAL BUILDING AUTHORITY (UNLESS OTHERWISE NOTED ON THIS PROJECT).

SHEET:
A7.11
 SHEET: OF SHEETS

SEAN FREITAS ARCHITECT

(916) 580-9981
 Sean@SeanFreitas.com
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PIH

Premier Homes, LLC
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 Granite Hill, CA 95746
 Kevin Ylstrup: 916.773.0207

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 EMAIL: SEAN@SEANFREITAS.COM

PROJECT: 20180510

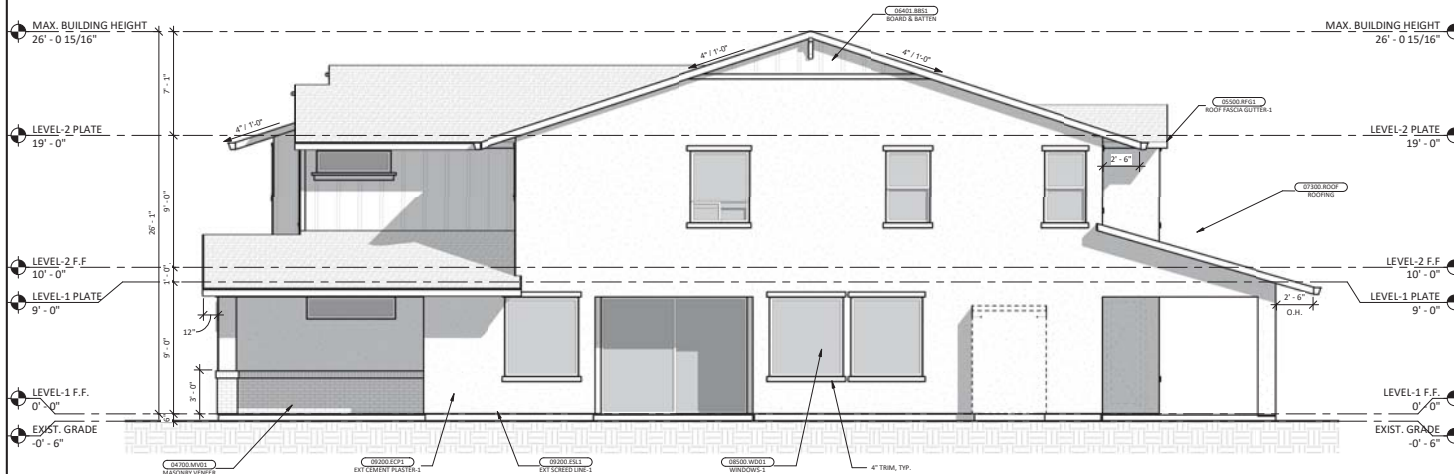
ELAN - PLAN 3 (SERIES 2 - PLAN 3)
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SHEET:
A7.11
 SHEET: OF SHEETS



LEGEND: ELEVATIONS EXTERIOR

07100 ROOF	ROOFING-1: OWNER SELECTED TILE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05500 BFG1	ROOF FASCIA GUTTER-1: SEE ROOF PLAN
05500 WOOD	WINDOWS-2: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 DRS1	DOORS-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.N.O.
08500 EDS1	ENTRY DOOR-1: AS SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP). SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09200 ECP1	EXTERIOR CEMENT PLASTER-1: ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE D BUILDING PAPER. SEE K.C. REPORT ESR - 1154
09200 ESL1	SCREENED LINE-1: CEMENT PLASTER SCREENED LINE SHALL BE PLACED PARALLEL WITH AND 1" ABOVE FINISH GRADE LINE (NOT STEPPED). TYP. U.N.O.
06400 LSS	6" LAP SIDING-3: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
06400 SSS	SHEET SIDING-3: AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.
04700 MVOS	MASONRY VENEER-1: STONE VENEER OVER 17 GAUGE WIRE WOVEN FABRIC ATTACHED WITH FASTENERS PER C.B.C. TABLE 25 COVER TWO LAYERS OF GRADE D BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: STREAMSTONE OR AS SELECTED BY OWNER.
10400 SADS	STREET ADDRESS-1: 12" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADOPTED EDITION OF THE CBC, SEC. 369.
05500 OWS1	CABLE END VENT: 18" X 24". PAINT 1 COAT AS SELECTED BY OWNER.
06400 BBS1	BOARD & BATTEN-1: 54" BOARD & BATTEN AS SELECTED BY OWNER OVER 2 LAYERS OF GRADE D BUILDING PAPER AND 3/8" OSB SHEATHING.

SEAN
FREITAS
ARCHITECT

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Kevin Yhrup: 916.773.0207

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PROJECT:20180510

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ELAN - PLAN 3 (SERIES 2 - PLAN 3)
ELEMENTS MONTELENA
PREMIER HOMES
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RANCHO CORDOVA, CA 95742

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ISSUE:
Project Issue Date:
Project Status:
Revision Number:
Revision Date:

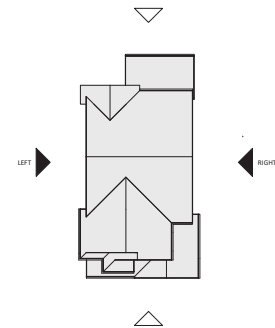
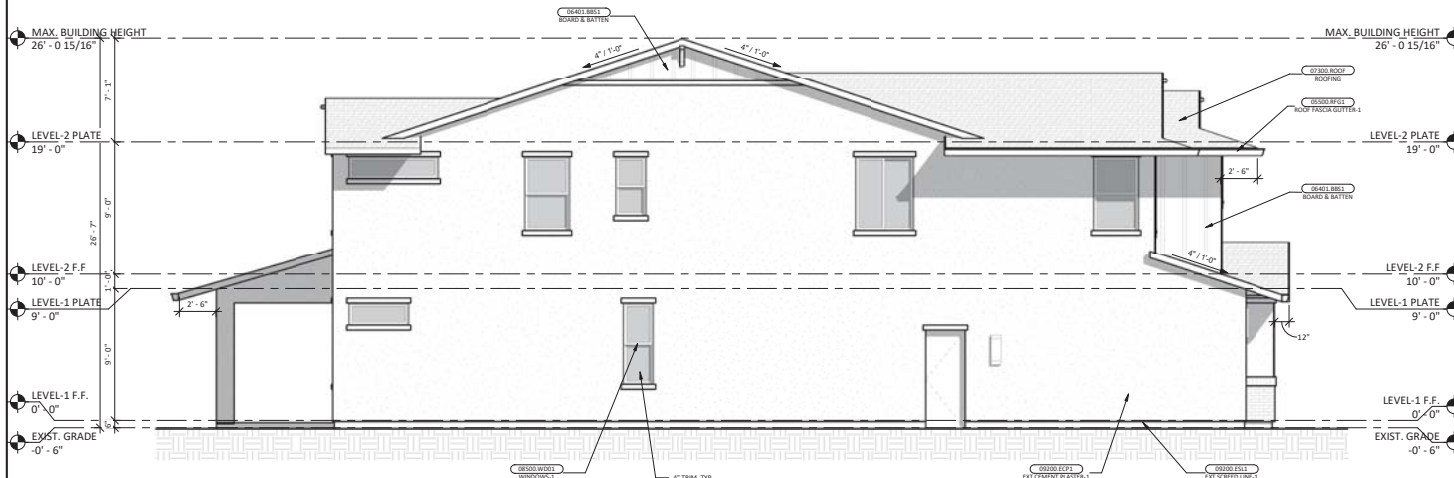
ARCHITECT'S APPROVAL:



THIS PROJECT IS NOT APPROVED FOR CONSTRUCTION UNLESS THE DRAWINGS ARE CORRECTED AND RE-APPROVED BY THE ARCHITECT AND LOCAL BUILDING AUTHORITY HAVING JURISDICTION OVER THIS PROJECT.

SHEET: 12

OF SHEETS



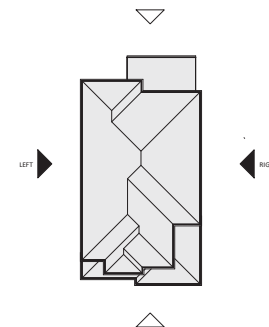


SCALE 1/4" = 1'-0"	1
-----------------------	---



SCALE	2
$1/4" = 1'-0"$	

07390.A051	ROOFING: 1' OWNED SELECTED THE ROOFING OVER 2 LAYERS 30 LB FELT AND PLYWOOD SHEATHING. TYP.
05100.RF01	ROOF FLASHING GUTTER: 1" SEE ROOF PLAN
08050.W002	WINDOWS: 1-5 SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP.) SEE WINDOW SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.I.N.D.
08050.D002	DOORS: 1-5 SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE. TYP. U.I.N.D.
08100.E002	ENTRY DOOR: 1-5 SELECTED BY OWNER. CAULK ALL EXTERIOR JOINTS (TYP.) SEE DOOR SCHEDULE AND FLOOR PLAN FOR TYPE, LOCATION & SIZE.
09000.F001	EXTERIOR CEMENT PLASTER: 1- ONE COAT STUCCO SYSTEM OVER 2 LAYERS OF GRADE BUILDING PAPER SEE SPEC REPORT: REF. 1294
09000.S011	PARALLEL LINE: 1 CEMENT PLASTER SCHED LINE SHALL BE PLACED WITHIN 4" AND 6" ABOVE FINISH GRADE LINE (NOT STEPPED) TYP. U.I.N.D.
09401.S01	1" SP' SLONG: 1-5 SELECTED BY OWNER OVER 2 LAYERS OF GRADE BUILDING PAPER AND 3/8" OSB SHEATHING.
09401.S02	SHEET SLONG: 1-5 SELECTED BY OWNER OVER 2 LAYERS OF GRADE BUILDING PAPER AND 3/8" OSB SHEATHING.
04700.W001	MASONRY VENEER: 2 STONE VENEER OVER 17 GAUGE WIRE MESH FABRIC ATTACHED WITH FASTENERS PER A.C.I. 1184.2.5 COVER TWO LAYERS OF BUILDING PAPER AND PLYWOOD SHEATHING. STONE TYPE: DISCREETION OR AS SELECTED BY OWNER.
10400.S402	STREET ADDRESS: 13" HIGH BLACK IRON STREET ADDRESS NUMERALS PER CURRENT ADDRESS EDITION OF THE C.I.C. SEC. 902
05000.D001	GALE END VENT: 18" X 24" PAINT & CAULK SELECTED BY OWNER.
06401.B001	BOARDS & BATTEN: 1" 14" BOARD AND 3/8" OSB SHEATHING SELECTED BY OWNER OVER 2 LAYERS OF GRADE BUILDING PAPER AND 3/8" OSB SHEATHING.



SHEET: 5

A7.32

SHEET: OF SHEETS

03 PROJECT COMPONENTS

TABLE 3-1: HPCO Project Area Land Use Summary

Land Use	Gross Acres	Building Square Feet (sf)					Dwelling Units (du)			
		Existing	Future	Total Capacity	FAR Range	Avg. FAR	Units	du/ac Range	Avg. du/ac	
EMPLOYMENT AND COMMERCIAL USES										
Light Industrial (LI)	129.24 ac	593,820 sf	606,180 sf	1,200,000 sf	20-50%	21%				
Tech/Business Park (T/BP-LI)	32.85 ac		300,000 sf	300,000 sf	20-40%	21%				
Business Professional (BP)	10.54 ac		60,000 sf	60,000 sf	10-40%	13%				
Community Commercial (CC)	19.29 ac		170,000 sf	170,000 sf	20-40%	20%				
Sub-Total	191.92 ac	593,820 sf	1,136,180 sf	1,730,000 sf		21%				
RESIDENTIAL USES										
Low Density (LDR)	44.26 ac				207-209	222-236 du	0.5-6.9	5-2	5.0-4.72-4.7	
Medium Density (MDR)	33.01 ac				283-281	268-261 du	7.0-12.9	7-9	8.1-8.5	8.6
High Density (HDR)	22.06 ac					458-457 du	13.0+	20-7	20.8	
Sub-Total	99.33 ac						948 du		9.5	
PARK, OPEN SPACE AND PUBLIC USES										
Park & Recreation (P/R)	19.44 ac									
Paseo (P/R)	2.25 ac									
Open Space (OS)	46.35 ac									
Public (P/QP)	2.97 ac									
Sub-Total	71.01 ac									
Backbone Roads	13.47 ac									
TOTAL	375.73 ac	593,820 sf	1,136,180 sf	1,730,000 sf		21%	948 du		9.5	

NOTE: Existing development consists of Buildings R3 (126,220 sf), R4 (131,190 sf), R5 (158,760 sf), and R6 (177,650 sf). See Section 04, Hewlett-Packard Development Plan, for additional detail.

TABLE 3-2: HPCO Land Use and Zoning by Parcel

Parcel	Zoning	Gross Acres	Dwelling Units (du)		Square Feet (sf)	
			Allocated Units	Density (du/ac)	Allocated Square Feet	FAR
EMPLOYMENT AND COMMERCIAL USES						
Light Industrial (LI)						
HP-1	LI/SA	114.00 ac			1,157,820 sf	23%
HP-3	LI/SA	13.23 ac			42,180 sf	7%
HP-4	LI/SA	2.01 ac			-	-
Sub-Total		129.24 ac			1,200,000 sf	21%
Tech/Business Park – Light Industrial (T/BP LI)						
CO-51	MP/SA	15.20 ac			150,000 sf	23%
CO-52	MP/SA	17.65 ac			150,000 sf	20%
Sub-Total		32.85 ac			300,000 sf	21%
Business Professional (BP)						
CO-21	BP	5.00 ac			28,000 sf	13%
CO-31	BP	5.54 ac			32,000 sf	13%
Sub-Total		10.54 ac			60,000 sf	13%
Community Commercial (CC)						
CO-41	CC	13.16 ac			120,000 sf	21%
CO-42	CC	6.13 ac			50,000 sf	19%
Sub-Total		19.29 ac			170,000 sf	20%
Sub-Total Employment & Comm.		191.92 ac			1,730,000 sf	21%
RESIDENTIAL USES						
Low Density Residential (LDR)						
CO-1	RS/DS	6.10 ac	29 du	4.8 du/ac		
CO-2	RS/DS	6.21 ac	36 du	5.8 du/ac		
CO-3	R1/DS	16.53 ac	64 du	3.9 du/ac		
CO-6	RS/DS	5.64 ac	29 du	5.1 du/ac		
CO-7	RS/DS	9.78 ac	49 du	5.0 du/ac		
Sub-Total		44.26 ac	209 du	4.7 du/ac		
Medium Density Residential (MDR)						
CO-4	RS/DS	14.37 ac	132 du	9.2 du/ac		
CO-5	RS/DS	4.69 ac	46 du	9.8 du/ac		
CO-11	RS/DS	4.72 ac	38 du	8.1 du/ac		
CO-12	RS/DS	4.79 ac	36 du	7.5 du/ac		
CO-13	RS/DS	3.34 ac	28 du	8.4 du/ac		
CO-14	RS/DS	4.43 ac	37 du	8.4 du/ac		
CO-15	RS/DS	2.62 ac	19 du	7.3 du/ac		
CO-16	RS/DS	1.36 ac	12 du	8.8 du/ac		
Sub-Total		33.01 ac	281 du	8.5 du/ac		
			283	8.6		



3.4.2 LIBRARIES

The City of Roseville operates a public library system consisting of three individual facilities, providing print and online services to all City residents. The closest library to the Project Area is the Martha Riley Community Library at Mahany Park, a joint use facility that includes a community TV studio and Utility Exploration Center. The Project Area will offset its contribution to library services through payment of the City's Public Facilities Fee.

3.4.3 SCHOOLS

The Project Area is within the boundaries of the Roseville City School District (grades K-8) and Roseville Joint Union High School District (grades 9-12). The number of students generated within the Project Area does not create sufficient demand for new school facilities (see Table 3-7). Students will be served at existing schools including Oakmont High School, Robert C. Cooley Middle School, and Blue Oaks Elementary School. The High School District will study potential enrollment boundary changes upon future construction of the new high school within West Roseville. Campus Oaks will enter into mutual benefit impact fee agreements to fully mitigate school impacts in accordance with its Development Agreement and Funding Agreements with the school districts.

TABLE 3-7: Student Generation

	Single Family ¹	Multi-Family Detached ²	Multi-Family Attached ³	Students Generated	School Capacity	Schools Required
ROSEVILLE CITY SCHOOL DISTRICT						
Grades K-5	0.3329	0.2200	0.1118	184 183	600	0.31
Grades 6-8	0.1164	0.0776	0.0352	63 64	1,000	0.06 0.07 0.06
ROSEVILLE JOINT UNION SCHOOL DISTRICT						
Grades 9-12	0.161	0.036	0.036	60 62	1,800	0.05 0.04 0.03
				207-209-222		
				230-236		
				283-284-268		
				261		
				457		
				458		

1. Single Family = units at less than 8 dwelling units per net acre. 230 Single Family units.

2. Multi-Family detached = detached units at or above 8 dwelling units per net acre. 261 Multi-Family detached units.

3. Multi-Family attached = attached units at or above 8 dwelling units per net acre. 457 Multi-Family attached units.

TABLE 5-1: Campus Oaks Land Use Summary

Land Use	Gross Acres	Dwelling Units (du)		Square Feet (sf)	
		Allocated Units	Density (du/ac)	Allocated Square Feet	FAR
EMPLOYMENT AND COMMERCIAL USES					
Tech/Business Park (T/BP-LI)	32.85 ac			300,000 sf	21%
Business Professional (BP)	10.54 ac			60,000 sf	13%
Community Commercial (CC)	19.29 ac			170,000 sf	20%
Sub-Total	62.68 ac			530,000 sf	19%
RESIDENTIAL USES					
Low Density Residential (LDR)	44.26 ac	207 du	4.7 du/ac		
Medium Density Residential (MDR)	33.01 ac	281 du	8.6 du/ac		
High Density Residential (HDR)	22.06 ac	458 du	20.8 du/ac		
Sub-Total	99.33 ac	948 du	9.5 du/ac		
PARK, OPEN SPACE & PUBLIC USES					
Parks (P/R)	10.74 ac				
Paseo (P/R)	2.25 ac				
Open Space (OS) ¹	46.35 ac				
Public (P/QP)	2.47 ac				
Sub-Total	61.81 ac				
Backbone Roads	10.71 ac				
TOTAL	234.53 ac	948 du	9.5 du/ac	530,000 sf	19%

1. Includes City Open Space Preserve.

TABLE 5-2: Campus Oaks Land Use and Zoning by Parcel

Parcel	Zoning	Gross Acres	Dwelling Units (du)		Square Feet (sf)	
			Allocated Units	Density (du/ac)	Allocated Square Feet	FAR
EMPLOYMENT AND COMMERCIAL USES						
Tech/Business Park – Light Industrial (T/BP LI)						
C0-51	MP/SA	15.20 ac			150,000 sf	23%
C0-52	MP/SA	17.65 ac			150,000 sf	20%
Sub-Total		32.85 ac			300,000 sf	21%
Business Professional (BP)						
C0-21	BP	5.00 ac			28,000 sf	13%
C0-31	BP	5.54 ac			32,000 sf	13%
Sub-Total		10.54 ac			60,000 sf	13%
Community Commercial (CC)						
C0-41	CC	13.16 ac			120,000 sf	21%
C0-42	CC	6.13 ac			50,000 sf	19%
Sub-Total		19.29 ac			170,000 sf	20%
Sub-Total Employment & Comm.		62.68 ac			530,000 sf	19%
RESIDENTIAL USES						
Low Density Residential (LDR)						
C0-1	RS/DS	6.10 ac	29 du	4.8 du/ac		
C0-2	RS/DS	6.21 ac	36 du	5.8 du/ac		
C0-3	R1/DS	16.53 ac	64 du	3.9 du/ac		
C0-6	RS/DS	5.64 ac	29 du	5.1 du/ac		
C0-7	RS/DS	9.78 ac	49 du	5.0 du/ac		
Sub-Total		44.26 ac	209 du	4.7 du/ac		
Medium Density Residential (MDR)						
C0-4	RS/DS	14.37 ac	132 du	9.2 du/ac		
C0-5	RS/DS	4.69 ac	46 du	9.8 du/ac		
C0-11	RS/DS	4.72 ac	38 du	8.1 du/ac		
C0-12	RS/DS	4.79 ac	36 du	7.5 du/ac		
C0-13	RS/DS	3.34 ac	28 du	8.4 du/ac		
C0-14	RS/DS	4.43 ac	37 du	8.4 du/ac		
C0-15	RS/DS	2.62 ac	19 du	7.3 du/ac		
C0-16	RS/DS	1.36 ac	12 du	8.8 du/ac		
Sub-Total		33.01 ac	281 du	8.5 du/ac		
			283	8.6		

Exhibit "G"	
RS/DS Development Standards for Campus Oaks Master Plan Parcel 12 (15-Lot)	
Single Family	
Lot Size (minimum)	
Area	4,300 sq. ft.
Width	45 ft. min
Permitted Density (maximum per lot)	
Residential Density	1 dwelling 1 second unit
Setbacks (minimum)	
Front	Public R/W (Detached walk): 13 ft. min Building 12.5 ft. min Porch. 18 ft. min Driveway Depth ¹
Side:	4 ft. min. from property line 10 ft. min Street Side
Rear	10 ft. min.
Coverage (maximum)	
Site Coverage	None ²
Height (maximum)	
Height	35'
Parking (Minimum)	2 per Dwelling
Supplemental Design Standards	
1. Front Yard Stagger	None required, but optional per unit design
3. Two-story unit mix	No limit
4. Separation Between Second Story Elements	A minimum of 8 feet shall be provided between second story elements of adjacent two-story dwellings ⁽³⁾

Notes:

(1) Minimum driveway depth of 18 feet requires a roll-up garage door.

(2) Maximum coverage is a function of lot size, required setbacks and usable open space.

(3) Second Story Elements such as but not limited to eaves and cornices may encroach up to 1' into a required setback provided adequate access/emergency egress paths are maintained.

(4) Steps may encroach into setback

(5) Residential development standards identified above may be modified, expanded, or eliminated through the approval of a Design Review Permit for Residential Subdivision (DRRS), as provided for in the Roseville Municipal Code, Title 19- Zoning, Article V. -Administration and Procedures.



PLANNING COMMISSION COMMUNICATION

Title: WRSP PCL F-81 - Fiddymment Plaza - 4701 Fiddymment Road - PL19-0013

Contact:

Meeting Date: 8/8/2019

Item #: 6.3.



Planning Division Staff Report
Planning Commission Meeting

August 8, 2019

Prepared by: Greg Bitter, AICP
Planning Manager

ITEM 7.1: **Planning Commission Meeting Start Time**

RECOMMENDATION

Staff recommends the Planning Commission discuss modifications to the start time of Commission meetings and determine whether to request the City Council maintain or modify the current Planning Commission start time.

BACKGROUND

On May 23, 2019, the Planning Commission of the City of Roseville considered changing the regular start time of Commission meetings. After consideration, the Commission voted (6 ayes, 1 no) to maintain the current meeting start time of 7:00 PM.

On July 10, 2019, the City Council approved a Resolution changing the meeting start times for the Law & Regulation Committee, Library Board, Parks & Recreation Commission, Public Utilities Commission, and Transportation Commission from 7:00 PM to 6:00 PM. During the discussion, the Council requested that the Planning Commission reconsider the May 23, 2019 action to maintain the 7:00 PM meeting start time.

Attachment 1: Planning Commission staff report for 5/23/2019

ITEM 7.1: Planning Commission Meeting Start Time

RECOMMENDATION

Staff recommends the Planning Commission discuss modifications to the start time of Commission meetings and determine whether to request the City Council maintain or modify the current Planning Commission start time.

BACKGROUND

The Planning Commission of the City of Roseville currently holds its regular meetings on the second and fourth Thursday of every month at 7:00 PM. On April 17, 2019, the Roseville City Council voted to change the start time for regular City Council meetings from 7:00 PM to 6:00 PM. To assist the City Council in making this decision, the City Clerk's office conducted a survey of meeting times for 154 cities (see Attachment 1, Council Communication for 4/17/2019).

To assist the Planning Commission with this discussion, Planning Staff conducted a survey of Planning Commission meeting times for the 21 municipalities in the Sacramento Area Council of Governments region (see Table 1).

Table 1: Planning Commission meeting start times

Planning Commission Start Time	Municipality
5:30 PM	City of Rancho Cordova (City Council acts as PC) City of Sacramento
6:00 PM	City of Auburn City of Elk Grove City of Lincoln City of Marysville City of Placerville City of West Sacramento City of Wheatland City of Yuba City
6:30 PM	City of Folsom City of Galt City of Isleton City of Rocklin City of Winters City of Woodland
7:00 PM	City of Citrus Heights City of Davis City of Live Oak City of Colfax (City Council acts as PC)
7:30 PM	Town of Loomis

PC ATTACHMENT 1: CITY COUNCIL COMMUNICATION 4/17/2019



COUNCIL COMMUNICATION

CC #: 9917
File #: 0102

Title: City Council Meeting - Proposed Time Change to 6:00 p.m.
Contact: Sonia Orozco 916-774-5269 sorozco@roseville.ca.us

Meeting Date: 4/17/2019
Item #: 10.4.

RECOMMENDATION TO COUNCIL

Recommend the City Council discuss and act on a proposed recommendation to change the time regular City Council meetings will be held from 7:00 p.m. to 6:00 p.m. on the first and third Wednesday of every month.

BACKGROUND

The City Council of the City of Roseville currently holds its regular meetings on the first and third Wednesday of every month at 7:00 p.m. In February 2019, the City Council directed staff to bring forth information regarding a proposal to change the Council's regular meeting time to the first and third Wednesdays of every month at 6:00 p.m.

The Roseville City Council can provide for the time and place for regular meetings by resolution pursuant to California Government Code § 54954(a)). Additionally, the Ralph M. Brown Act calls for agencies to provide the time and place for the conduct of business. If a body calls a meeting at a time or place other than the time or place specified for regular meetings, it is either a special or emergency meeting. Regular City Council meetings follow a schedule established in advance and require the posting of an agenda at least 72 hours prior to the meeting time.

As proposed, closed sessions may start before 6:00 pm, provided the time is set forth on the agenda, and the closed sessions shall be scheduled depending on Councilmember's schedules. The City Council may also hold closed sessions following the open session meeting if it so chooses.

The time change will allow for an earlier start time for public proclamations and recognition of local community members, groups, and businesses for their achievements and accomplishments. This would also bring the more substantive items to an earlier time to accommodate those who wish to attend and speak during public comment or speak to an item on the agenda. Many cities move the start date of meetings as a strategy for managing the duration of meetings.

To encourage even more public participation, the council could also propose how the meeting is structured. Currently, the Roseville City Council holds public comment for items not on the agenda at the start of the meeting. The public comment portion of the agenda is for members of the public to speak to items that may not be on the agenda that they want to bring to Council's attention. The Council could have two public comment sessions, one at the beginning and one at the end of the meeting. Having two public comment periods will accommodate anyone who wants to speak to Council but cannot make it to the meeting by 6:00 p.m.

The City Clerk Department conducted a survey of 154 cities and the results are as follows:

START TIMES	5:30 p.m.	5:45 p.m.	6:00 p.m.	6:30 p.m.	6:45 p.m.	7:00 p.m.	7:15 p.m.	7:30 p.m.
# OF CITIES	6	1	61	24	1	50	1	10

An attachment to this report denotes the names of surveyed cities. An additional attachment is a bar graph denoting start times of the surveyed cities.

FISCAL IMPACT

Not applicable.

ECONOMIC DEVELOPMENT / JOBS CREATED

Not applicable.

ENVIRONMENTAL REVIEW

The California Environmental Quality Act (CEQA) does not apply to activities that will not result in a direct or reasonable foreseeable indirect physical change in the environment (CEQA Guidelines §15061(b)(3). Changing the meeting time for City Council does not include the potential for a significant environmental effect, and therefore is not subject to CEQA.

Respectfully Submitted,

Sonia Orozco, City Clerk

A handwritten signature in black ink, appearing to read 'Dominick Casey', with a horizontal line drawn underneath it.

Dominick Casey, City Manager

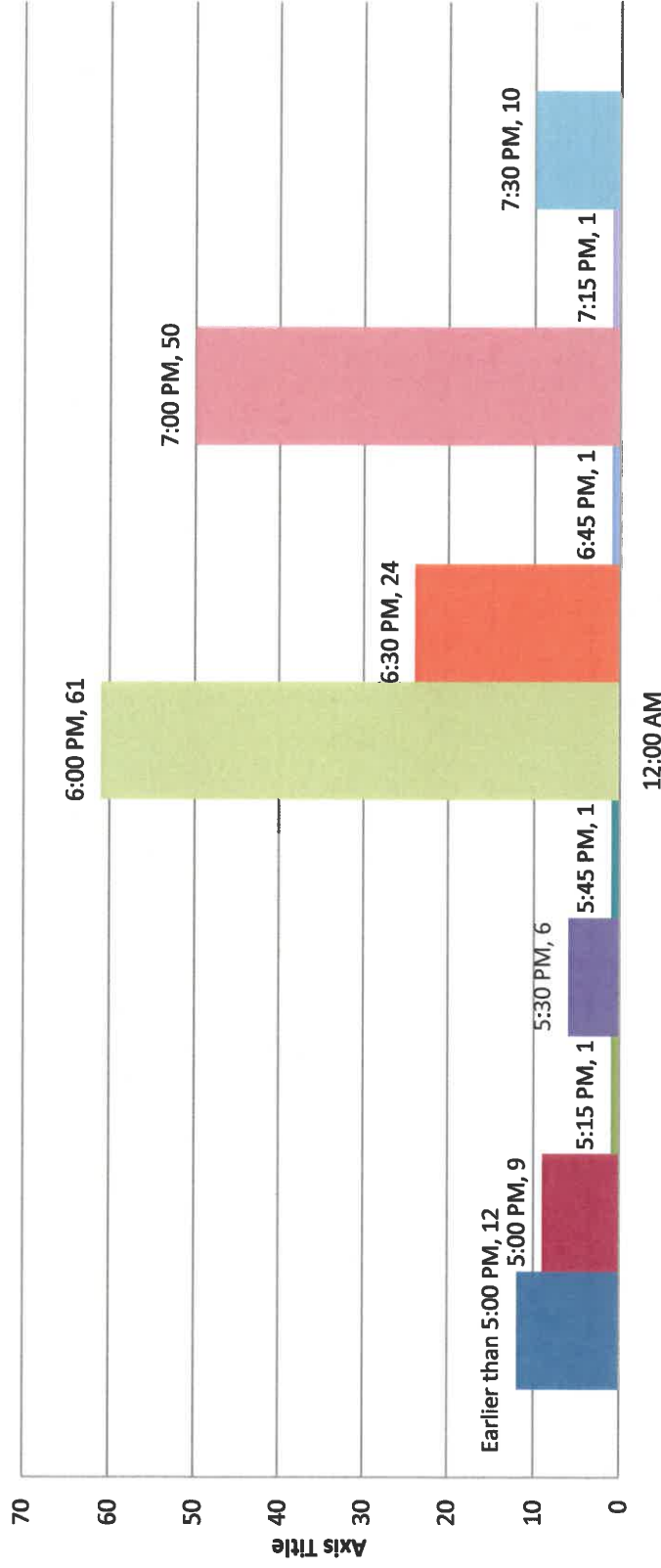
ATTACHMENTS:

Description

[Bar Graph of Surveyed Cities](#)

[Spreadsheet of Surveyed Cities and City Council Meeting Start Times](#)

A SAMPLE OF MUNICIPAL CITY COUNCIL MEETING START TIMES



Earlier than 5:00 PM	5:00 PM	5:15 PM	5:30 PM	5:45 PM	6:00 PM
Inglewood	San Juan Capistrano	Bakersfield	Santa Maria	Costa Mesa	29 Palms
Rancho Mirage	Camarillo		South Lake Tahoe		Berkeley
South Lake Tahoe	Chula Vista	1	Santa Maria	1	Calistoga
Santa Rosa	Lancaster		Pismo Beach		Coachella
Valley Water	Sacramento		Compton		Colton
Monterey	Buena Park		Carpinteria		Commerce
Irvine	La Quinta				Farfield
Sacramento	Oceanside		6		Fort Bragg
Port of San Diego	Long Beach				Fountain Valley
Santa Cruz					Galt
Fresno	9				Grand Terrace
Del Mar					Healdsburg
					Highland
					La Canada Flintridge
					La Mesa
					Laguna Beach
					Lincoln
					Lindsay
					Lomita
					Manhattan Beach
					Mendota
					Merced
					Mission Viejo
					Murrieta
					National City
					Norwalk
					Orange
					Pacific Grove
					Palm Springs
					Palo Alto
					Paradise
					Pico Rivera
					Redlands
12					

6:00 PM Continued	6:30 PM	6:45 PM	7:00 PM	7:00 PM Continued	7:15 PM	7:30 PM
Redondo Beach	Fullerton	Cupertino	Aliso Viejo	San Rafael	Emeryville	Campbell
Rio Vista	Lompoc		Antioch	Santa Cruz		Newark
San Fernando	Santa Monica	1	Belmont	Saratoga	1	Azusa
San Marino	Oakley		Beverly Hills	Signal Hill		Covina
Santa Fe Springs	Irwindale		Calabasas	Upland		Monrovia
Scotts Valley	San Gabriel		Chino Hills	West Covina		Albany
Sonoma	Claremont		Chowchilla	Willows		Gardena
Taft	Solvang		Colfax	Poway		Lemoore
Thousand Oaks	Stanton		Duarte	Clayton		Tiburon
Truckee	La Habra		Escalon	San Rafael		Piedmont
Turlock	Diamond Bar		Fremont	Pacifica		
Vacaville	Gustine		Glendora	San Carlos		10
Valley Water	Belvedere		Grass Valley	Brentwood		
Ventura	Westlake Village		Half Moon Bay	Livermore		
Whittier	Corning		Hanford	San Dimas		
Windsor	La Habra Heights		Hercules	Menlo Park		
National City	Eastvale		HMB City	Montclair		
Paradise	Rio Dell		Laguna Hills			
Redondo Beach	Wildomar		Lake Elsinore	50		
Sonoma	Sierra Madre		Lodi			
Windsor	Corona		Loma Linda			
San Pablo	Wheatland		Manteca			
La Verne	Mountain View		Millbrae			
Placerville	Fillmore		Milpitas			
St. Helena			Monterey Park			
San Juan Bautista	24		Morgan Hill			
Pacific Grove			Oakdale			
Kingsburg			Pittsburg			
			Pleasant Hill			
			Pleasanton			
			Rolling Hills Estates			
			Roseville			
			San Leandro			