



## **AGENDA**

March 23, 2017

### **PLANNING COMMISSION MEETING**

7:00 p.m.

City Council Chambers  
311 Vernon Street  
Roseville, California

- 1. ROLL CALL**
- 2. PLEDGE OF ALLEGIANCE**
- 3. ORAL COMMUNICATIONS**
- 4. CONSENT CALENDAR**

4.1. MINUTES OF MARCH 9, 2017

4.2. WRSP – FIDDYMENT RANCH PHASES 2 & 3 LLTSM MODIFICATION – 5841 HOLT PARKWAY – FILE # PL16-0364

The applicant requests approval of a Large Lot Tentative Subdivision Map (LLTSM) Modification to establish large lot boundaries consistent with approved Small Lot Tentative Subdivision Map (SLTSM) Phasing Exhibits. The modification will not change land use, zoning designations or the total number of approved small lots as identified in the WRSP and approved SLTSMs; and, the approval of a Tree Permit for removal of trees associated with a sewer line undercrossing of Pleasant Grove Creek. The proposed tree removals were previously approved in 2004, however, that Tree Permit has expired. Owner: David Ash, ATC Realty One, LLC. Applicant: Stephen Hicks, Signature Management Company. (Miller)

**5. NEW BUSINESS**

5.1. INFILL PCL 275 NCPA SECURITY FENCE – 651 COMMERCE DR – FILE # PL16-0345.

The applicant requests approval of a Design Review Permit Modification (DRP MOD) to allow construction of a seven (7) foot tall Ameristar open rail security fence around the perimeter of the Northern California Power Agency office property; and, a Tree Permit (TP) to allow the fence posts to be installed within the protected zone (TPZ) of 11 native oak trees. Construction of the fence will encroach less than 20% into the TPZ of the native oaks trees. Owner/Applicant: Northern California Power Agency. (McColl)

5.2. WRSP FIDDYMENT RANCH DA AMENDMENT #7 – 4270 CRAWFORD  
PW – FILE # PL16-0442.

The applicant requests approval of a Development Agreement Amendment (DAA) to modify the sequence of residential lots subject to the Downtown Benefit Fee. The Downtown Benefit Fee will continue to be applicable to the final 1,661 dwelling units within Fiddymment Ranch Phases 2 & 3. This DAA will be the seventh (7th) amendment to the Fiddymment Land Venture Development Agreement and is necessary due to changes in subdivision construction phasing. Owner: David Ash, ATC Realty One, LLC. Applicant: Stephen Hicks, Signature Management Company. (Miller)

**6. REPORTS: COMMISSION/STAFF**

**7. ADJOURNMENT**



## PLANNING COMMISSION

**Title:** MINUTES OF MARCH 9, 2017

**Meeting Date:** 3/23/2017  
**Item #:** 4.1.

### **ATTACHMENTS:**

#### Description

Minutes of March 9, 2017 - Draft



**Planning Commission Meeting  
March 9, 2017 – 7:00 p.m.  
Draft Minutes**

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**I. ROLL CALL**

**Planning Commissioners Present**

Krista Bernasconi, Chair  
Bruce Houdesheldt, Vice-Chair  
Erich Brashears  
Justin Caporusso  
Joseph McCaslin  
Tracy Mendonsa

**Staff Present**

Greg Bitter, Planning Manager  
Derek Ogden, Senior Planner  
Gina McColl, Associate Planner  
Marc Stout, City Engineer  
Michelle Sheidenberger, Assistant City Attorney  
Lea Estrada, Recording Secretary

**Planning Commissioners Absent**

Commissioner Krafka, *Excused*

**II. PLEDGE OF ALLEGIANCE**

Commissioner Caporusso led those in attendance in the Pledge of Allegiance.

**III. ORAL COMMUNICATION**

Chair Bernasconi opened the Oral Communication. Hearing none, Chair Bernasconi closed the Oral Communication.

**IV. CONSENT CALENDAR**

Chair Bernasconi asked if anyone wished to remove any of the items from the Consent Calendar for discussion.

Hearing none, Chair Bernasconi asked for a motion to approve the Consent Calendar as listed below:

**A. MINUTES OF FEBRUARY 23, 2017**

**B. SVSP PCL WB-4 – SOLAIRE DRIVE TENATIVE SUBDIVISION MAP MODIFICATION – 1901 WESTBROOK BLVD., FILE # 16-0410**

**C. SVSP PCL WB-7 MAP MODIFICATION & UNIT TRANSFER – 5050 & 5100 SUMMERFIARE DR – FILE # PL 16-0379**

**MOTION**

Commissioner Houdesheldt made the motion, which was seconded by Commissioner McCaslin, to approve the Consent Calendar as listed.

The motion passed with the following vote:

Ayes: Brashears, Caporusso, Houdesheldt, McCaslin, Mendonsa, Bernasconi

Noes: None

Abstain: None

**V. NEW BUSINESS**

**A. NIPA CAMPUS OAKS DESIGN GUIDELINES – 1485 BLUE OAKS BLVD. – FILE # PL15-0340.**

Associate Planner, Gina McColl, presented the staff report and responded to questions.

Chair Bernasconi opened the public hearing and invited comments from the applicant and/or audience.

Applicant, Stephen Des Jardins, addressed the Commission and responded to questions. He stated he had received a copy of the staff report and was in agreement with staff's recommendations.

Public Comment:

- None

Chair Bernasconi closed the public hearing and asked for a motion.

### **MOTION**

Commissioner McCaslin made the motion, which was seconded by Commissioner Caporusso, to adopt the two findings of fact for the MPP Stage 1 and approve the one condition of approval as submitted in the staff report, as modified at the hearing.

The motion passed with the following vote:

Ayes: Brashears, Caporusso, Houdesheldt, McCaslin, Mendonsa, Bernasconi

Noes: None

Abstain: None

## **VI. REPORTS: COMMISSION/STAFF**

### Staff Reports

- Planning manager, Greg Bitter, stated that there will be a meeting on March 23<sup>rd</sup> and there are currently three items on the agenda. It looks like there will be a planning commission meeting on April 13<sup>th</sup> as well.
- First quarter will continue to be busy.

### Commissioner Reports

- Commissioner Houdesheldt asked Greg to come back with some guidance about how items are selected to be listed on the consent calendar for the public to have more transparency. Greg provided an overview of the considerations made by staff when determining items eligible for the consent calendar. He indicated that there is early public outreach on all projects and for a project to be placed on the consent calendar, at a minimum, there must be no concern expressed by the public.  
Commissioners would like to schedule another tour with Planning as some missed the last one and those who did attend felt it was very beneficial.

## **VII. ADJOURNMENT**

Commissioner Bernasconi asked for a motion to adjourn the meeting.

### **MOTION**

Commissioner Houdesheldt made the motion, which was seconded by, Commissioner Mendonsa to adjourn to the meeting.

The motion passed unanimously at 7:25 p.m.



## PLANNING COMMISSION

**Title:**

WRSP – FIDDYMENT RANCH PHASES 2 & 3 LLTSM MODIFICATION – 5841  
HOLT PARKWAY –FILE # PL16-0364

**Meeting Date: 3/23/2017**

**Item #: 4.2.**

**ATTACHMENTS:****Description**

Staff Report

Attachment 1 - Large Lot Tentative Subdivision Map

Exhibit A Amended Large Lot Tentative Subdivision Map

Exhibit B - Tree Removal Offsite Sewer Map

Exhibit C - Arborist Report

Exhibit D - Tree Inventory Summary Impact Assessment

Binder

**ITEM IV-B:    LARGE LOT TENTATIVE SUBDIVISION MAP MODIFICATION AND TREE PERMIT –  
5841 HOLT PARKWAY – WEST ROSEVILLE SPECIFIC PLAN (WRSP) FIDDYMENT  
RANCH PHASES 2 & 3 LARGE LOT TENTATIVE SUBDIVISION MAP MODIFICATION  
– FILE# PL16-0364**

**REQUEST**

The applicant requests approval of a Large Lot Tentative Subdivision Map (LLTSM) Modification to establish large lot boundaries consistent with approved Small Lot Tentative Subdivision Map (SLTSM) Phasing Exhibits. The modification will not change land use, zoning designations or the total number of approved small lots as identified in the WRSP and approved SLTSMs. The applicant also requests approval of a Tree Permit for removal of trees associated with a sewer line undercrossing of Pleasant Grove Creek. The proposed tree removals were previously approved in 2004; however, that Tree Permit has expired.

**Owner:** David Ash, ATC Realty One, LLC

**Applicant:** Stephen Hicks, Signature Management Company

**SUMMARY RECOMMENDATION**

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the three (3) findings of fact for the Tentative Subdivision Map Modification; and
- B. Approve the Tentative Subdivision Map Modification, subject to sixty-seven (67) conditions of approval.
- C. Adopt the two (2) findings of fact for the Tree Permit; and
- D. Approve the Tree Permit subject to twenty-two (22) conditions of approval.

**SUMMARY OF OUTSTANDING ISSUES**

There are no outstanding issues associated with this request. The applicant has reviewed the conditions and is in agreement with the recommended conditions of approval.

**BACKGROUND**

The WRSP was approved by the Roseville City Council in February 2004. The WRSP guides development on ±3,162 acres located west of Fiddymont Road in the City of Roseville. The WRSP area is comprised of two distinct large landholdings: the Westpark Property, which consists of ±1,413 acres in the southwest portion of the WRSP area, and the Fiddymont Ranch Property, which includes ±1,611 acres in the northwest portion of the WRSP area. The WRSP is planned as a residential community with a wide range of residential densities and housing types. Other land uses in the plan area include recreation, open space, public/quasi-public (including school sites), commercial, business professional, and industrial. Since the original WRSP approval in 2004, the City of Roseville has processed several amendments to the specific plan.

The area affected by the proposed map modification is within the Fiddymont Ranch portion of the West Roseville Specific Plan (WRSP). The Fiddymont Ranch portion was originally approved for development of 4,170 residential units in three phases (the proposed map modification is within Phases 2 & 3), but subsequent projects increased the unit allocation to 5,868 residential units. The most recent Specific Plan Amendment was the WRSP Fiddymont Ranch Specific Plan Amendment 3 project (2013PL-005 [SPA 3]),

which was approved by the City Council in May 2014. A Large Lot Tentative Subdivision Map (LLTSM) for Fiddymment Ranch Phases 2 and 3 was approved as part of the SPA 3 project (see Attachment 1). The map created large village parcels consistent with the WRSP SPA 3 Land Use Map. At this time, all Phase 1 major infrastructure (including roads and utilities) has been completed and most of the housing units have been constructed. Construction within Phases 2 and 3 is underway.

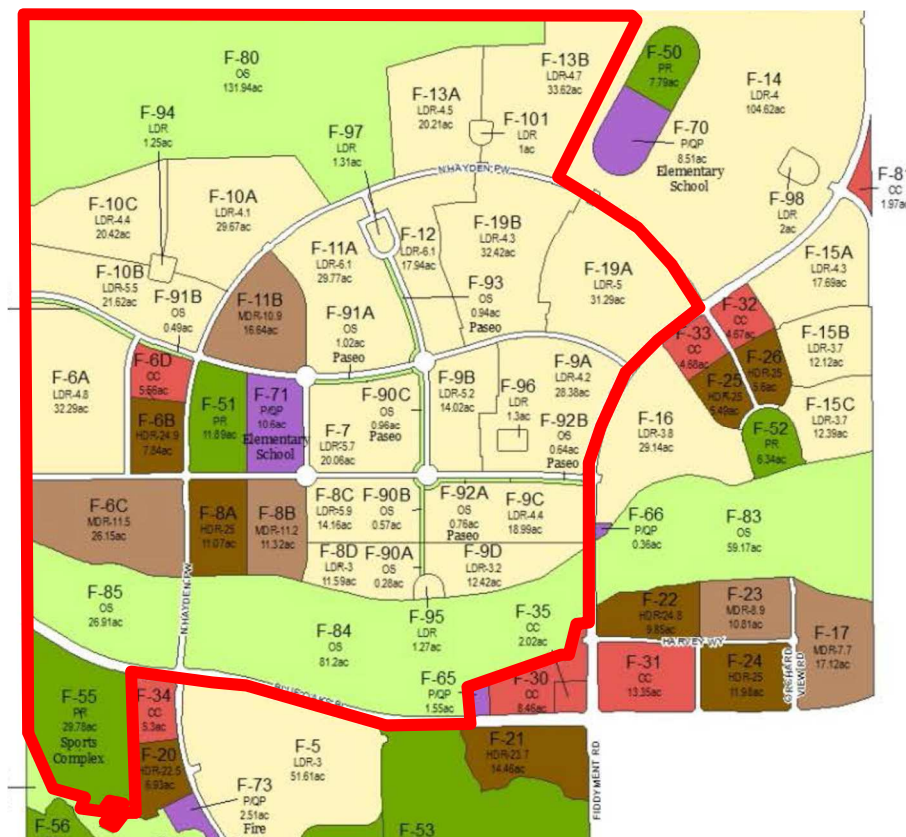
Subsequent to approval of the LLTSM, multiple Small Lot Tentative Maps (SLTMs) have been submitted and approved for areas within Fiddymment Ranch Phases 2 and 3. These maps showed the location of individual residential lots for homes. The SLTSMs were also required to provide Phasing Exhibits for each village to ensure that subdivision construction would be in conformance with City standards.

The applicant proposes a Map Modification to amend the existing LLTSM for Fiddymment Ranch Phases 2 and 3 (west of Fiddymment Road and north of Blue Oaks Boulevard and Pleasant Grove Creek). The amended LLTSM will be consistent with the approved WRSP Land Use Plan and proposes to modify large lot lines in a manner consistent with the approved SLTSM Phasing Exhibits. The proposed map modification excludes parcels that are now recorded final maps. The proposed modification will not change the approved total number of small lots as identified by the WRSP and approved SLTSMs. The modification is necessary to accommodate the orderly financing and phasing of the project, and to allow conveyance of villages to builders.

The modification will adjust the 100-foot right-of-way for North Hayden Parkway (adjacent to F-6D [Community Commercial], and F-51[Park Site]) to the back of curb, with a 25-foot easement for pedestrian access, landscaping and utilities.

The applicant also requests approval of a Tree Permit to allow the construction of the proposed sewer line undercrossing of Pleasant Grove Creek.

**Figure 1: Affected Map Area - Outlined in Red**



## **EVALUATION–TENTATIVE SUBDIVISION MAP MODIFICATION**

The City of Roseville Subdivision Ordinance (Section 18.06.290) establishes the processes by which an approved Tentative Subdivision Map may be modified. There are two types of modifications established: minor amendments and major amendments. A minor amendment involves changes that are substantially consistent with the intent of the original approval. These are generally limited to changes which make small modifications to parcel shapes and sizes or other small amendments to the subdivision layout. Any other type of modification is a major modification. The proposed Tentative Subdivision Map Modification proposes to sub-phase existing large lots into smaller large lots in a manner consistent with approved Fiddymment Ranch SLTSM construction Phasing Exhibits; therefore, it is a major modification. As discussed above, the proposed modification will not change the approved total number of small lots as identified by the WRSP and approved SLTSMs.

Section 18.06.180 of the City of Roseville Subdivision Ordinance requires that three findings be made in order to approve or conditionally approve a tentative subdivision map. The three findings are listed below in ***italicized, bold*** text and are followed by an evaluation of the map in relation to each finding.

- 1. The size, design, character, grading, location, orientation and configuration of lots, roads and all improvements for the tentative subdivision map are consistent with the density, uses, circulation and open space systems, applicable policies and standards of the General Plan or any applicable specific plan for the area, whichever is more restrictive, and the design standards of this Title.***
- 2. The subdivision will result in lots which can be used or built upon. The subdivision will not create lots which are impractical for improvement or use due to: the steepness of terrain or location of watercourses in the area; the size or shape of the lots or inadequate building area; inadequate frontage or access; or, some other physical condition of the area.***
- 3. The design and density of the subdivision will not violate the existing requirements prescribed by the Regional Water Quality Control Board for the discharge of waste into the sewage system, Pursuant to Division 7 of the Water Code.***

The approved and Amended Tentative Subdivision Maps are included as Attachment 1 & Exhibit A respectively. Although this is a major modification because of the modification and creation of new lots, the proposed subdivision map is consistent with the previously approved roadway system and SLTM lotting patterns. Approved SLTSM residential lot sizes and quantities are not affected by the proposed modification. The proposed modification is consistent with the WRSP Land Use Plan, with no changes to LLTSM or SLTSM Land Use or Zoning Designation, and includes unrecorded large lots only. It is proposed to sub-phase nine (9) existing large lot parcels into 19 smaller large lot parcels. Minor acreage adjustments will be applied to 17 additional large lots due to final roadway and infrastructure design and configuration. The following list is a summary of proposed map modifications by parcel. See Exhibit A for specific details of proposed changes (units, acreage, and density).

## **LDR PARCELS**

- F-6A – sub-phased as F-6A-1 & F-6A-2
- F-7 – sub-phased as F-7A & F-7B
- F-8C, F-8D, F-9B, F-9C, F-9D – minor acreage adjustments
- F-10A – sub-phased as F-10A-1 & F-10A-2
- F-10B – sub-phased as F-10B-1 & F-10B-2
- F-10C – sub-phased as F-10C-1 & F-10C-2
- F-11A – sub-phased F-11A-1, F-11A-2 & F-11A-3
- F-12 – sub-phased as F-12A & F-12B
- F-13A – sub-phased as F-13A-1, F-13A-2 & F-13A-2

- F-13B-3 – 3<sup>rd</sup> construction phase of F-13B (45 remaining units) – SLTSM F-13B-1 and F-13B-2 previously recorded

### **MDR PARCELS**

- F-6C – sub-phased as F-6C-1 & F-6C-2
- F-8B – minor acreage adjustments
- F-11B – minor acreage adjustments

### **CC PARCELS**

F-6D – minor acreage adjustments

### **PARKS PARCELS (P/R & LDR [Pocket Parks])**

- F-51 – minor acreage adjustments
- F-94 – minor acreage adjustments
- F-95 – minor acreage adjustments
- F-97 – minor acreage adjustments
- F-101 – minor acreage adjustments

### **P/QP PARCEL**

- F-71 – minor acreage adjustments

### **OS PARCELS**

- F-80 – minor acreage adjustments
- F-85 – minor acreage adjustments

As discussed above, the modifications proposed are consistent with Fiddymment Ranch SLTSM Construction Phasing Exhibits. Project plans were reviewed by all affected City departments and divisions, including Electric, Engineering, Environmental Utilities, Finance, Fire, Parks, and Planning. Departmental comments received have been included in the conditions of approval.

### **EVALUATION –TREE PERMIT**

Section 19.66.030 of the City of Roseville Zoning Ordinance indicates that any activity affecting one or more native oak trees requires approval of a Tree Permit. Section 19.78.060 of the City of Roseville Zoning Ordinance requires that two findings be made in order to approve or conditionally approve a Tree Permit. The two findings are listed below in ***bold italics***, and are followed by an evaluation of the project in relation to the findings.

- 1. Approval of the Tree Permit will not be detrimental to the public health, safety or welfare, and approval of the Tree Permit is consistent with the provisions of Chapter 19.66.***
- 2. Measures have been incorporated in the project or permit to mitigate impacts to remaining trees or to provide replacement for trees removed.***

The Sewer Master Plan for the WRSP indicates that wastewater from the project site must be conveyed to the west and south to the treatment plant. The sewer line extension is the primary backbone infrastructure needed to serve the Fiddymment Ranch Phases 2 and 3 properties. The Planning

Commission approved the sewer line extension in April 2015, as part of the SLTSMs for Fiddymment Ranch Villages F-6C, F-8B, and F-11B (PL14-0625).

The extension of this backbone sewer line requires boring the line beneath Pleasant Grove Creek, and removal of up to 12 native oak trees (seven trees categorized as necessary removal – five trees categorized as conditional removals). Mitigation obligations for the tree removals are described in Tree Permit Condition #4. The general alignment of this infrastructure was anticipated as part of the Sewer Master Plan analyzed within the environmental documents for the WRSP. A Tree Permit (TP 04-08) was approved in 2004, which covered the tree removals that would result from the sewer line construction; however, that Tree Permit has expired.

In August 2014, staff conducted a field visit with the project arborist to evaluate the proposed sewer route and potential tree impacts. Staff conducted a subsequent field visit with the applicant in December 2016, and a follow-up assessment was done by the arborist in February 2017. The arborist's recommendations have been included as conditions of approval to ensure that no impacts occur beyond those referenced in the Arborist Tree Impact Assessment (see Exhibit D).

These field visits have confirmed the currently proposed route for the sewer line extension is the least invasive route available in terms of minimizing potential impacts to native oak trees in the area. The off-site sewer line needed to support the proposed project is consistent with the WRSP Sewer Master Plan and with the existing, previously approved Tree Permit (TP-04-08).

### **NEIGHBORHOOD OUTREACH**

The proposed project was distributed to the various agencies and City Departments that have requested notice of City applications. Staff was contacted by the United Auburn Indian Community (UAIC) regarding the sewer line undercrossing, requesting that they be notified when a construction schedule becomes available. The UAIC comments were considered and incorporated into the Conditions of Approval (see Condition #8). Notice of the project was also provided to the Roseville Coalition of Neighborhood Associations (RCONA) and the nearest active neighborhood association to the project site; Fiddymment Farms Neighborhood Association. A public notice of the Planning Commission hearing was published in the Roseville Press Tribune on March 10, 2017, and mailed to properties within 300 feet of the project site. No additional comments were received as a result of these notices.

### **ENVIRONMENTAL DETERMINATION**

The Project is exempt from the California Environmental Quality Act (CEQA) pursuant to CEQA Guidelines Section 15182, which exempts projects consistent with a Specific Plan. The exemption applies unless one of the conditions requiring a Subsequent, Supplemental, or Addendum environmental document exist (pursuant to CEQA Guidelines Section 15160–15170). The project is consistent with the West Roseville Specific Plan (WRSP) EIR (SCH#2002082057) and the Fiddymment Ranch Specific Plan Amendment 3 Subsequent EIR (SCH#2010082075). No additional environmental analysis is required.

### **RECOMMENDATION**

The Planning Division recommends the Planning Commission take the following actions:

- A. Adopt the findings of fact as stated in the staff report for the **TENTATIVE SUBDIVISION MAP MODIFICATION – 5841 HOLT PARKWAY – WEST ROSEVILLE SPECIFIC PLAN (WRSP) FIDDYMENT RANCH PHASES 2 & 3 LARGE LOT TENTATIVE SUBDIVISION MAP MODIFICATION – FILE# PL16-0364;**
- B. Approve the **TENTATIVE SUBDIVISION MAP MODIFICATION – 5841 HOLT PARKWAY – WEST ROSEVILLE SPECIFIC PLAN (WRSP) FIDDYMENT RANCH PHASES 2 & 3 LARGE LOT**

**TENTATIVE SUBDIVISION MAP MODIFICATION – FILE# PL16-0364** subject to sixty-seven (67) conditions of approval.

- C. Adopt the two (2) findings of fact for the **TREE PERMIT – 5841 HOLT PARKWAY – WEST ROSEVILLE SPECIFIC PLAN (WRSP) FIDDYMENT RANCH PHASES 2 & 3 - FILE# PL16-0364;**
- D. Approve the **TREE PERMIT – 5841 HOLT PARKWAY – WEST ROSEVILLE SPECIFIC PLAN (WRSP) FIDDYMENT RANCH PHASES 2 & 3 - FILE# PL16-0364** subject to twenty-two (22) conditions of approval.

**CONDITIONS OF APPROVAL FOR TENTATIVE SUBDIVISION MAP MODIFICATION**

- 1. The approval of a Tentative Map and/or tentative site plan does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. (Engineering)
- 2. The design and construction of all improvements shall conform to the Design and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Engineering)
- 3. The developer shall not commence with any on-site improvements until such time as grading and/or improvement plans are approved and grading and/or encroachment permits are issued by the Development Services Department – Engineering Division. (Engineering)
- 4. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Engineering, Environmental Utilities, Parks, Finance)

**PRIOR TO ISSUANCE OF A GRADING PERMIT AND/OR IMPROVEMENT PLANS**

- 5. Landscape Plans for all landscape corridors and all landscaped common areas shall be approved with the improvement plans. Landscaping shall be installed for Substantial Completion of the subdivision improvements. The landscape plan shall comply with the West Roseville Specific Plan (WRSP) and the City of Roseville Water Efficient Landscape Ordinance. (Planning, Engineering, Parks, Fire, Environmental Utilities)
- 6. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
- 7. Grading around the native oak trees or other natural features (list features) on Lots/Parcels shall be as shown on the tentative map or as approved in these conditions (Planner to modify conditions as needed) (Planning)
- 8. A minimum of seven days prior to beginning earthwork or other soil disturbance activities for the sewer line undercrossing of Pleasant Grove Creek, the applicant shall notify the City of the proposed earthwork start-date, in order to provide the City with time to contact the United Auburn Indian Community (UAIC). A UAIC tribal representative shall be invited to perform a site visit to visually inspect spoils piles and ground disturbing activities within the first five days of initial earthwork to determine if there is any evidence that tribal cultural resources have been unearthed. (Planning)

9. The applicant shall submit to the Engineering Department the appropriate Army Corps of Engineers permit or clearance, the California Department of Fish and Game Stream Bed Alteration Agreement, and/or the Regional Water Quality Control Board Water Quality Certificate. (Planning)
10. The grading and improvement plans shall be designed in accordance with the City's Improvement Standards and Construction Standards and shall reflect the following:
  - a. Street improvements including, but not limited to, curb, gutter, sidewalk, pavement, drainage systems, traffic striping, signing, medians and markings, etc. along all existing and proposed City streets, as required by Engineering.
  - b. Grading shall comply with the City grading ordinance.
  - c. A rough grading permit may be approved by the Engineering Department prior to approval of the improvement plans.
  - d. Access to the floodplain as required by Engineering and the Streets Department.
  - e. Standard Handicap ramps shall be installed at all curb returns per City Standards. (Engineering)
11. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to Development Services – Engineering Division prior to approval of any plans. (Engineering)
12. The applicant shall apply for and obtain an encroachment permit from the Engineering Department prior to any work conducted within the City right-of-way. (Engineering)
13. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During site inspection, Engineering will designate the exact areas to be reconstructed. (Engineering)
14. Prior to the approval of the improvement plans, it will be the project proponent's responsibility to pay the standard City Trench Cut Recovery Fee for any cuts within the City streets that are required for the installation of underground utilities. (Engineering)
15. A note shall be added to the grading plans that states:
  - *"Prior to the commencement of grading operations, the contractor shall identify the site where the **excess/borrow** earthen material shall be imported/deposited. If the **borrow/deposit** site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified."* (Engineering)
16. A standard bus shelter pad shall be installed on the southwest corner of Hayden Parkway and Crawford Parkway and on the northeast corner of Hayden Parkway and Crawford Parkway. (Engineering)
17. Developer shall be responsible for the installation of a bus shelter and related improvements conforming to the city's current standards on the shelter pad as conditioned above. The Developer and City may enter into a deferred improvement or other agreement based upon a construction cost of \$10,000 per shelter for future construction of the Bus Shelter on the SW southwest corner of Hayden Parkway and Crawford Parkway (shelter number 271 and on the northeast corner of Hayden Parkway and Crawford Parkway (shelter number 272 ) (Engineering, Transit)

18. The applicant shall dedicate all necessary rights-of-way for the widening of any streets required with this entitlement. A separate document shall be drafted for approval and acceptance by the City of Roseville, and recorded at the County Recorder's Office. (Engineering)
19. The grading plans shall be accompanied with engineered structural calculations for all retaining walls greater than 4 feet in height. All retaining walls shall be split faced masonry units, keystone type construction, or cast in place concrete with fascia treatment. (Engineering)
20. The developer shall be responsible for any necessary relocation of signal interconnect cables that may require re-location as a result of the construction of turn lanes and/or driveways. (Engineering)
21. Improvement plans shall show the Preserve boundary and label it as a protected area. The Pre-Construction meeting shall address the presence of the Preserve, the sensitive habitats present and minimization of disturbance to the Preserve. During grading and construction, the preserve area shall be avoided and shall not be used for parking, storage, or project staging. The contractor shall remove all trash blown into the preserve from adjacent construction on a daily basis. After construction is complete, the temporary fencing shall be removed from the preserve, along with all temporary erosion control measures (e.g., straw bales, straw waddles and stakes, silt fencing). (Engineering, Development and Operations, Planning)
22. Prior to construction within any phase of the project, high visibility temporary construction fencing shall be installed along the parcel adjacent to the Preserve. Fencing shall be maintained daily until permanent fencing is installed, at which time the temporary fencing shall be removed from the project site. (Engineering, Development and Operations, Planning)
23. With the exception of access required for maintenance and/or emergency vehicles, the project shall be designed to prevent vehicle access into the Preserve. Post and cable fencing or other improvements shall be utilized to meet this requirement. (Engineering, Development and Operations, Planning)
24. Landscaping adjacent to the Preserve shall be California native, drought-tolerant groundcover, shrubs, plants and trees. (Development and Operations, Planning)
25. **Prior to the approval of the Improvement Plans**, the project proponent shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) to the City, as defined by the Regional Water Quality Control Board. The SWPPP shall be submitted in a single three ring binder. Upon approval, the SWPPP will be returned to the project proponent during the pre-construction meeting. (Engineering)
26. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan view and in profile view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
27. Water and sewer infrastructure shall be designed and constructed pursuant to the adopted City of Roseville Improvement Standards and Construction Standards and shall reflect the following:
  - a. Sewer and water service laterals shall not be allowed off water and sewer mains larger than 12 inches in diameter. (Environmental Utilities)

- b. Utilities or permanent structures shall not be located within the area that would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12' unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes. (Environmental Utilities)
  - c. Water and sewer mains shall not exceed a depth of 12' below finished grade, unless authorized in these conditions. (Environmental Utilities)
  - d. All sewer manholes shall have all-weather 10-ton vehicular access unless authorized by these conditions. (Environmental Utilities)
28. Recycled water infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. The applicant shall pay all applicable recycled water fees. Easements shall be provided as necessary for recycled water infrastructure. (Environmental Utilities)
29. Any backflow preventers visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventers shall be screened with landscaping and shall comply with the following criteria:
- a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventer to the landscaping.
  - b. For maintenance purposes, the landscaping shall be installed on a maximum of three sides and the plant material shall not have thorns.
  - c. The control valves and the water meter shall be physically unobstructed.
  - d. The backflow preventer shall be covered with a green cover that will provide insulation. (Environmental Utilities)
30. A note shall be added to the Improvement Plans stating that all water backflow devices shall be tested and approved by the Environmental Utilities Department prior to the Notice of Completion for the improvements. (Environmental Utilities)
31. Fire hydrants shall be located as required by the Fire Department. The maximum distance between fire hydrants shall not exceed 500' on center. (Fire)
32. Minimum fire flow is 1,500 gallons per minute with 20 lbs. residual pressure. The fire flow and residual pressure may be increased, as determined by the Fire Marshall, where the project utility lines will serve non-residential uses. (Fire)
33. The design and installation of all fire department access roads and fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville at the time plans are submitted for review. All amendments, standards, policies and fee schedule can be found on the City's web site [www.roseville.ca.us](http://www.roseville.ca.us) or contact Patrick Chew, Senior Fire Inspector, at 916-774-5823 or [pchew@roseville.ca.us](mailto:pchew@roseville.ca.us) with the Fire Prevention Division for information. (Fire)
34. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)

35. All Electrical Department facilities, including streetlights where applicable, shall be designed and built to the “City of Roseville Specifications for Residential Trenching”. (Electric)
36. The design for electrical service for this project will begin when the Electric Department has received a full set of improvement plans for the project. (Electric)
37. All landscaping in areas containing electrical service equipment shall conform with the “Electric Department Landscape Design Requirements” as outlined in Section 7.00 of the Electric Department’s “Specifications for Residential Trenching” (Electric)
38. Final layout and timing for installation of the 15” sewer through parcel F-55 shall be coordinated with Parks, Recreation & Libraries. A reimbursement agreement has been drafted between developer and city and once final permitting is complete for the Sports Complex, the responsibility of sewer installation may or may not be part of the project. (Parks)
39. An inch-per-inch fee shall be paid to the Native Tree Mitigation fund for Oak tree removals. (Planning, Parks)
40. Install a limit of work fence line for sewer improvements slated for the open space area.
41. Irrigation for streetscapes to be maintained by the City shall be fully functional by sub-phases. Irrigation systems shall not span across sub-phases. Each sub-phase shall contain a water point of connection, backflow and controller. (Parks)
42. The location and design of the gas service shall be determined by PG&E. The design of gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
43. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

**PRIOR TO OR UPON RECORDATION OF FINAL/PARCEL MAP**

44. The following easements shall be provided and shown on the Final/Parcel Map or by separate instrument, unless otherwise provided for in these conditions:
  - a. A 12.5 foot wide public utilities easement along all road frontages;
  - b. Water and sewer easements; and,
  - c. Easement widths shall comply with the City’s Improvement Standards and Construction Standards. (Environmental Utilities, Electric, Engineering)
45. All existing easements shall be maintained, unless otherwise provided for in these conditions. (Environmental Utilities, Electric, Engineering)
46. Separate document easements required by the City shall be prepared in accordance with the City’s “Policy for Dedication of Easements to the City of Roseville”. All legal descriptions shall be prepared by a licensed land Surveyor (Environmental Utilities, Electric, Engineering)
47. All roadways being proposed as an Irrevocable Offer of Dedication (I.O.D.) shall also be dedicated as a P.U.E with rights to construct. (Engineering)
48. The final map shall include dedication of a public access and maintenance easement over the 50 ft. open space buffer on the Fiddymment Ranch Large Lot Final Map for purposes of public trail use, trail construction and trail maintenance to be effective upon construction of the paved trail as called for in the Specific Plan. (Alternative Transportation, Engineering)

49. A declaration of Conditions, Covenants and Restrictions (CC&Rs), in a form approved by the City Attorney, shall be recorded on the entire property concurrently with the Final/Parcel Map. The CC&Rs shall include the following items: (Attorney, Planning)
  - a. A clause prohibiting the amendment, revision or deletion of any sections in the CC&Rs required by these conditions of approval without the prior written consent of the City Attorney.
50. Any structures crossing Lot/Parcel lines created by the Final/Parcel map shall be removed. (Engineering)
51. Parcels F-80, F-84, and F-85 shall be dedicated as an easement or in fee to the City for the purposes of floodplain, open space, or public access. (Engineering)
52. Parcels F-55, F-80, F-84, and F-85 will not be accepted by the City, either in fee or as an easement, until after the subdivider has fulfilled the terms of the Permit from the Department of Fish and Game or Army Corps of Engineers. Upon completion of the monitoring period, the owner shall notify the City of Roseville Planning Department. (Planning, City Attorney)
53. The street names shall be approved by the City of Roseville. (Planning)
54. The City's Finance Department shall be notified if there are to be any max tax changes, and if so, the Rate and Method of Apportionment (RMA) must be amended. (Finance)
55. The Final Map shall include an irrevocable offer to dedicate public rights-of-way and public and/or private easements as required by the City. Lettered Lot//Parcel along major roads shall be dedicated as landscape/pedestrian/public utility easements and in fee to the City as open space. (Engineering)
56. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Engineering)
57. The Final Map shall be submitted per, "The Digital Submittal of Cadastral Surveys". Submittal shall occur after Engineering approval but prior to Council approval (Engineering)
58. Electric construction costs incurred by the City of Roseville Electric Department for this project shall be paid for by the developer per the applicable policy. (Electric)
59. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)

#### **OTHER CONDITIONS OF APPROVAL**

60. The applicant shall pay City's actual costs for providing plan check, installation and inspection services. This may be a combination of staff costs and direct billing for contract professional services (Environmental Utilities, Engineering)
61. Any relocation, rearrangement, or change to existing electric facilities due to this development shall be at the developer's expense. (Electric)
62. It is the responsibility of the developer to insure that all existing electric facilities remain free and clear of any obstructions during construction and when the project is complete. (Electric)
63. Existing public facilities damaged during the course of construction shall be repaired by the applicant, at the applicant's expense, to the satisfaction of the City. (Engineering)

64. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project, construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Engineering)
65. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor shall notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. Non-emergency releases or notifications about the presence of containers found shall be reported to the Fire Department. (Fire)
66. All plant material shall be maintained under a 90-calendar day establishment period after initial planting. Upon completion of the establishment period, all plant material shall remain under warrantee for an additional 9 months minimum. Any plant material that does not survive during the establishment period shall be immediately replaced. Any trees or shrubs that do not survive during the warrantee period shall be replaced one month prior to the end of the warrantee period. Tree or shrub replacement made necessary due to acts of God, neglect or vandalism shall be exempt from the warranty (Parks).
67. The project shall comply with all applicable environmental mitigation measures identified in the West Roseville Specific Plan (WRSP) EIR (SCH#2002082057) and the Fiddymment Ranch Specific Plan Amendment 3 Subsequent EIR (SCH#2010082075). (Planning)

| TREE PERMIT CONDITIONS AND COMPLIANCE<br>VERIFICATION/INSPECTION CHECKLIST                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | COMPLIANCE<br>VERIFIED/<br>INSPECTED | COMMENTS |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|----------|
| <b>PRIOR TO ISSUANCE OF ANY PERMITS OR ANY CONSTRUCTION ON-SITE</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                   |                                      |          |
| 1. All recommendations contained in the Arborist Report(s) (Exhibit A) shall be incorporated as part of these conditions except as modified herein. (Planning)                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                      |          |
| 2. Tree(s) #1844, 1850, 1851, 1857, 1858, 1859, & 1867) are approved for removal with this tree permit. All other native oak trees shall remain in place, unless authorized as "Conditional Removals" as described in Condition #3. Trees to be removed shall be clearly marked in the field and inspected by Planning Staff prior to removal. Removal of the trees shall be performed by or under the supervision of a certified arborist. (Planning)                                                                                                                                                                                |                                      |          |
| 3. Tree(s) #1843, 1849, 1855, 1856, & 1866 are listed and approved as Conditional Removals. Should it be determined that any of these trees must be removed, the developer is to advise the Planning Division prior to removal. Mitigation for removal will be added to the total number of mitigation inches as described in Condition #4.                                                                                                                                                                                                                                                                                           |                                      |          |
| 4. The developer shall be responsible for the replacement of the total number of inches proposed for removal prior to any tree removal. The total number of inches for this project, as referenced in Condition #2, is 163 inches (163"). If trees listed as Conditional Removals (Condition #3) are removed, additional mitigation (up to 137 additional inches) will be required. Mitigation for conditional removals will be based on DBH of individual tree(s) removed. Additional mitigation amounts and method of mitigation will be determined prior to removal. Mitigation must be provided prior to tree removal. (Planning) |                                      |          |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                       |  |   |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---|
| 5. No activity shall be permitted within the protected zone of any native oak tree beyond those identified by this report. Encroachment into the protected zone of Tree(s) as shown in Exhibit B, C & D and described in the staff report is permitted. (Planning)                                                                                                                                                                                                                                                                                                                                                                                                                                    |  |   |
| 6. A \$10,000 cash deposit or bond (or other means of security provided to the satisfaction of the Planning Department) shall be posted to insure the preservation of all remaining trees during construction. The cash deposit or bond shall be posted in a form approved by the City Attorney. Each occurrence of a violation on any condition regarding tree preservation shall result in forfeiture of all or a portion of the cash deposit or bond. (Planning)                                                                                                                                                                                                                                   |  |   |
| 7. A violation of any of the conditions of this Tree Permit is a violation of the Roseville Municipal Code, the Zoning Ordinance (Chapter 19.74) and the Tree Preservation Ordinance (Chapter 19.66). Penalties for violation of any of the conditions of approval may include forfeiture of the bond, suspension or revocation of the permit, payment of restitution, and criminal penalties. (Planning)                                                                                                                                                                                                                                                                                             |  |   |
| 8. A fencing plan shall be shown on the approved site plan and/or improvement plans demonstrating the Protected Zone for the affected trees. A maximum of three feet beyond the edge of the walls, driveway, or walkways will be allowed for construction activity and shall be shown on the fencing plan. The fencing plan shall be reviewed and approved by the Planning Department prior to the placement of the protective fencing. (Planning)                                                                                                                                                                                                                                                    |  |   |
| 9. The applicant shall install a minimum of a five-foot high chain link fence (or acceptable alternative) at the outermost edge of the Protected Zone of the oak tree. The fencing for encroachments shall be installed at the limit of construction activity. The applicant shall install signs at two equidistant locations on the temporary fence that are clearly visible from the front of the lot and where construction activity will occur. The size of each sign shall be a minimum of two feet (2') by two feet (2') and must contain the following language: "WARNING THIS FENCE SHALL NOT BE REMOVED OR RELOCATED WITHOUT WRITTEN AUTHORIZATION FROM THE PLANNING DEPARTMENT". (Planning) |  |   |
| 10. Once the fencing is installed, the applicant shall schedule an appointment with the Planning Department to inspect and approve the temporary fencing before beginning any construction. (Planning)                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |   |
| 11. The applicant shall arrange with the arborist to perform, and certify in writing, the completion of deadwooding, fertilization, and all other work recommended for completion prior to the approval of improvement plans. Pruning shall be done by an Arborist or under the direct supervision of a Certified Arborist, in conformance with International Society of Arboriculturalists (I.S.A.) standards. Any watering and deep root fertilization that the arborist deems necessary to protect the health of the trees as noted in the arborist report or as otherwise required by the arborist shall be completed by the applicant. (Planning)                                                |  | . |
| 12. A utility trenching pathway plan shall be submitted depicting all of the following systems: storm drains, sewers, water mains, and underground utilities. The trenching pathway plan shall show the proposed locations of all lateral lines. (Planning)                                                                                                                                                                                                                                                                                                                                                                                                                                           |  |   |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |  |  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|--|
| 13. A Site Planning Meeting shall be held with the applicant, the applicant's primary contractor, the Planning Department and the Engineering Department to review this permit, the approved grading or improvement plans, and the tree fencing prior to any grading on-site. The Developer shall call the Planning Department and Engineering Division two weeks prior to the start of grading work to schedule the meeting and fencing inspection. (Planning)                                                                                |  |  |
| <b>DURING CONSTRUCTION</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                     |  |  |
| 14. The following information must be located on-site during construction activities: Arborist Report; Approved site plan/improvement plans including fencing plan; and, Conditions of approval for the Tree Permit. All construction must follow the approved plans for this tree permit without exception. (Planning)                                                                                                                                                                                                                        |  |  |
| 15. All preservation devices (aeration systems, oak tree wells, drains, special paving, etc.) shall be designed and installed as required by these conditions and the arborist's recommendations, and shall be shown on the improvement plans or grading plans. (Planning)                                                                                                                                                                                                                                                                     |  |  |
| 16. If any native ground surface fabric within the Protected Zone must be removed for any reason, it shall be replaced within forty-eight (48) hours. (Planning)                                                                                                                                                                                                                                                                                                                                                                               |  |  |
| 17. Storage or parking of materials, equipment and vehicles is not permitted within the protected zone of any oak tree. Vehicles and other heavy equipment shall not be operated within the Protected Zone of any oak tree. (Planning)                                                                                                                                                                                                                                                                                                         |  |  |
| 18. Where recommended by the arborist, portions of the foundation shall be hand dug under the direct supervision of the project arborist. The certified arborist shall immediately treat any severed or damaged roots. Minor roots less than one (1) inch in diameter may be cut, but damaged roots shall be traced back and cleanly cut behind any split, cracked or damaged area. Major roots over one (1) inch in diameter may not be cut without approval of an arborist and any arborist recommendations shall be implemented. (Planning) |  |  |
| 19. The temporary fencing shall remain in place throughout the entire construction period and shall not be removed without obtaining written authorization from the Planning Department. In no event shall the fencing be removed before the written authorization is received from the Planning Department. (Planning)                                                                                                                                                                                                                        |  |  |
| <b>PRIOR TO IMPROVEMENT PLAN ACCEPTANCE</b>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |  |  |
| 20. Within 5 days of the completion of construction, a Certification Letter from a certified arborist shall be submitted to and approved by the Planning Department. The certification letter shall attest to all of the work (regulated activity) that was conducted in the protected zone of the tree, either being in conformance with this permit or of the required mitigation still needing to be performed. (Planning)                                                                                                                  |  |  |
| 21. A copy of this completed Tree Permit Compliance Verification/Inspection form shall be submitted to the Planning Department. (Planning)                                                                                                                                                                                                                                                                                                                                                                                                     |  |  |
| 22. The approval of this Tree Permit shall expire on the same date as the (insert the Project or Subdivision name if the TP is associated with one).                                                                                                                                                                                                                                                                                                                                                                                           |  |  |

### **Attachment**

1. Current/Approved Fiddymment Ranch Phase 2 & 3 Large Lot Tentative Subdivision Map

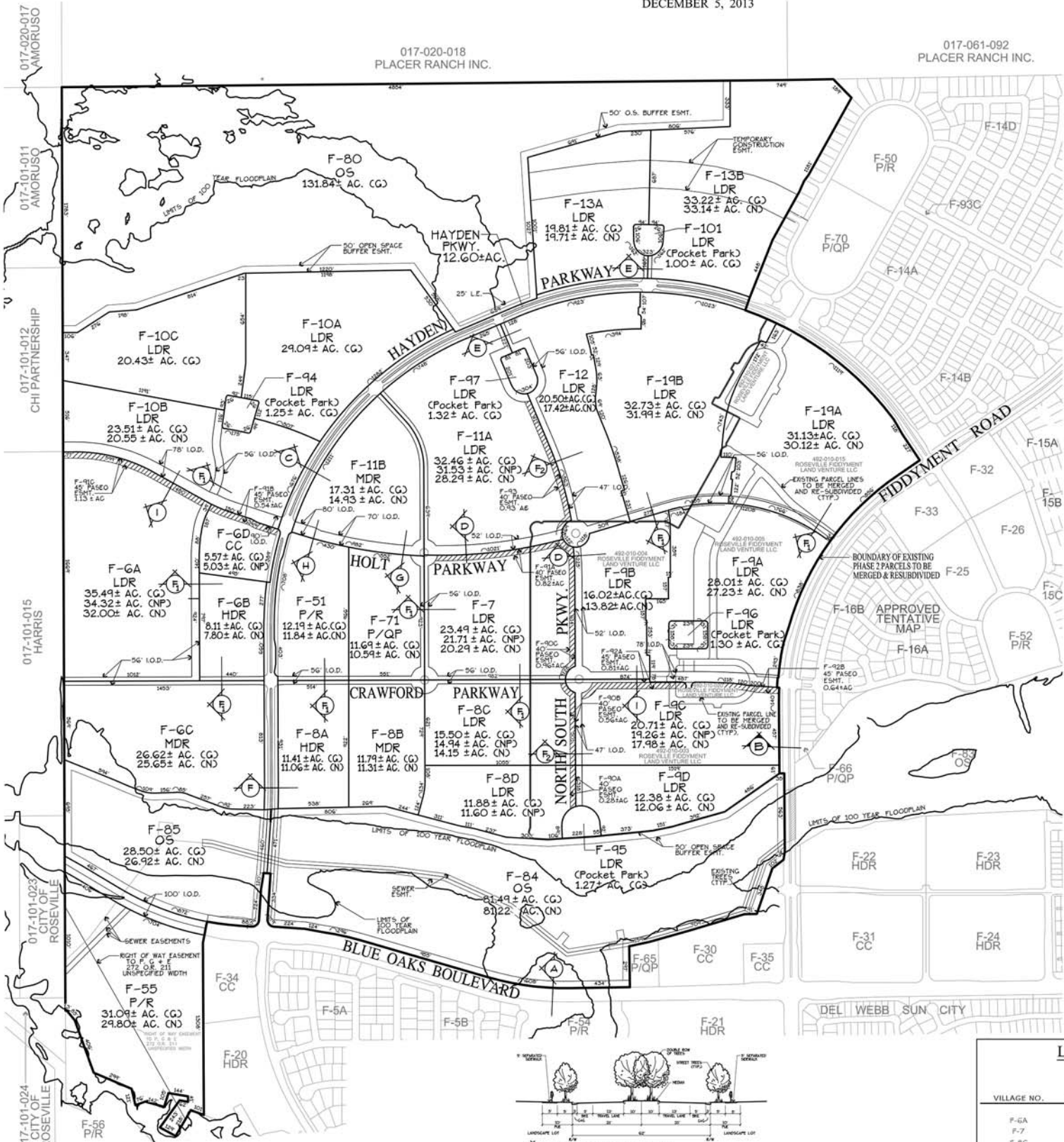
### **Exhibits**

- A. Amended Large Lot Tentative Subdivision Map
- B. Tree Removal Exhibit/Offsite Sewer Site Plan
- C. Arborist Report
- D. Tree Inventory Summary/Impact Assessment

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                    |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <p><b><u>Note to Applicant and/or Developer:</u></b> Please contact the Planning Division staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.</p> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

LARGE LOT TENTATIVE SUBDIVISION MAP  
FIDDYMENT RANCH- PHASE 2 & 3

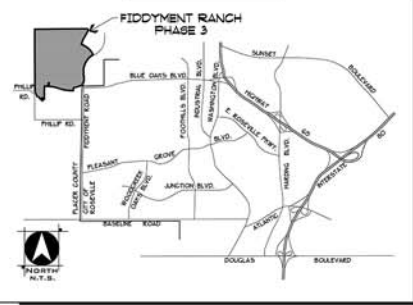
A MERGER AND RESUBDIVIDE OF FINAL MAP BB B.M. 24  
CITY OF ROSEVILLE, CALIFORNIA  
DECEMBER 5, 2013



PROJECT NOTES

- REGOR OWNERS**  
ATG REALTY ONE LLC  
333 MARKET STREET, 17TH FLOOR  
SAN FRANCISCO, CA 94105
- APPLICANT**  
SIGNATURE MANAGEMENT COMPANY INC.  
1322 BLUE OAKS BLVD. WOOD  
ROSEVILLE, CA 95678-7014  
CONTACT: TROY DENHAM ACP  
DENNIS PHELPS PE  
PHONE: (916) 341-7760
- PLANNER/ENGINEER**  
WOOD RODGERS INC.  
3301 C STREET, BLDG. 100B  
SACRAMENTO, CA 95816  
CONTACT: TROY DENHAM ACP  
DENNIS PHELPS PE  
PHONE: (916) 341-7760
- ASSESSOR'S PARCEL NUMBERS**  
492-010-002 THRU 009  
492-010-015, 020, 021, 031 AND 033
- AREA**  
802.71 ACRES GROSS
- NUMBER OF PARCELS**  
34 LARGE LOTS
- EXISTING USE**  
VACANT
- PROPOSED USE**  
FUTURE PLANNED DEVELOPMENT
- EXISTING ZONING**  
RSP-RS/D, RS/D, OS, P/QP AND PE
- PROPOSED ZONING**  
RSP-RS/D, RS, CC, OS, P/QP AND PE
- PARK DISTRICT**  
CITY OF ROSEVILLE
- FIRE PROTECTION**  
CITY OF ROSEVILLE
- SCHOOL DISTRICT**  
ROSEVILLE CITY SCHOOL DIST.  
ROSEVILLE JOINT UNION HIGH SCHOOL DIST.
- SEWER**  
CITY OF ROSEVILLE
- STORM DRAIN**  
CITY OF ROSEVILLE
- WATER**  
CITY OF ROSEVILLE
- ELECTRICITY**  
CITY OF ROSEVILLE
- GAS**  
PG&E
- SUBDIVIDERS RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS PURSUANT TO SECTION 64499.1(A) OF THE SUBDIVISION MAP ACT.
  - FIDDYMENT RANCH 100 YEAR FLOODPLAIN DELINEATION PREPARED BY WOOD RODGERS.
  - EXISTING TREES, CREEK CENTERLINE, ROADS AND TOPOGRAPHY PROVIDED BY THE STATE, AERIAL AND WAS PLANNED IN NOVEMBER 1980.
  - UNLESS OTHERWISE SHOWN ON MAP, ALL UTILITIES WILL BE INSTALLED WITHIN THE PUBLIC ROAD RIGHT-OF-WAY OR WITHIN A PUBLIC UTILITY EASEMENT.
  - OWNER WILL DEDICATE ALL EASEMENTS AND RIGHT-OF-WAYS NECESSARY TO PROVIDE ALL UTILITIES.
  - ALL INTERNAL STREETS WITHIN EACH VILLAGE WILL HAVE A DEDICATED 10' OR 12' PUE MEASURED FROM BACK OF WALK DEPENDING ON SIDEWALK CONDITION.
  - THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
  - AN VILLAGE (LARGE LOT) NUMBERING IS FOR IDENTIFICATION PURPOSES ONLY AND DOES NOT INDICATE PHASING ORDER OF DEVELOPMENT. ULTIMATE DEVELOPMENT PHASING SHALL BE DETERMINED AND WILL BE DETERMINED AT FINAL MAP AND/OR IMPROVEMENT PLAN STAGE.
  - ALL EXISTING STRUCTURES TO BE REMOVED AND ALL EXISTING WELLS TO BE ABANDONED.
  - THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO FINAL MAP.
  - SEE SEPARATE 300' RADIUS MAP AND PROPERTY OWNER LIST FOR REQUIRED ADJACENT OWNERSHIP INFORMATION.
  - PURSUANT TO SECTION 64499.20 1/2 OF THE SUBDIVISION MAP ACT, THE LAND SHOWN HEREON AS "PHASE 2" PARCELS TO BE MERGED AND RE-SUBDIVIDED" IS HEREBY MERGED AND RE-SUBDIVIDED.

VICINITY MAP



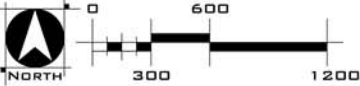
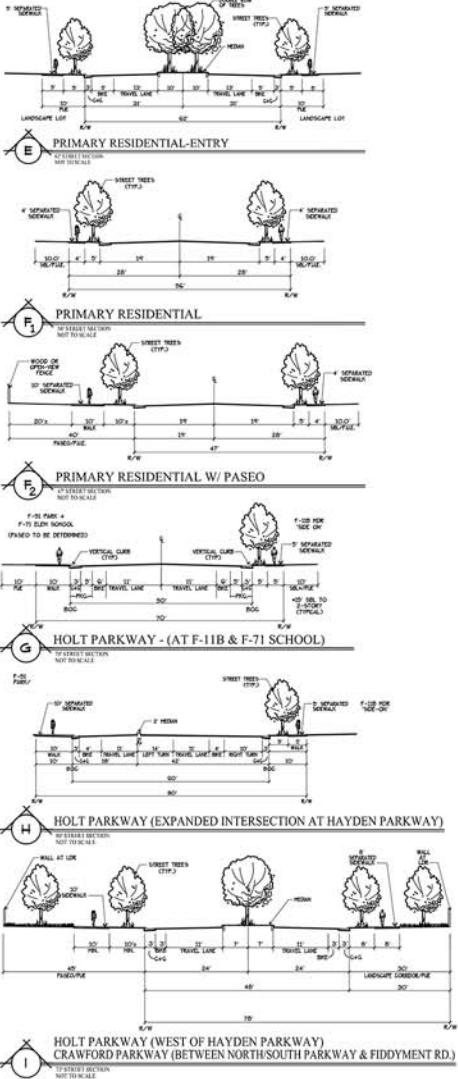
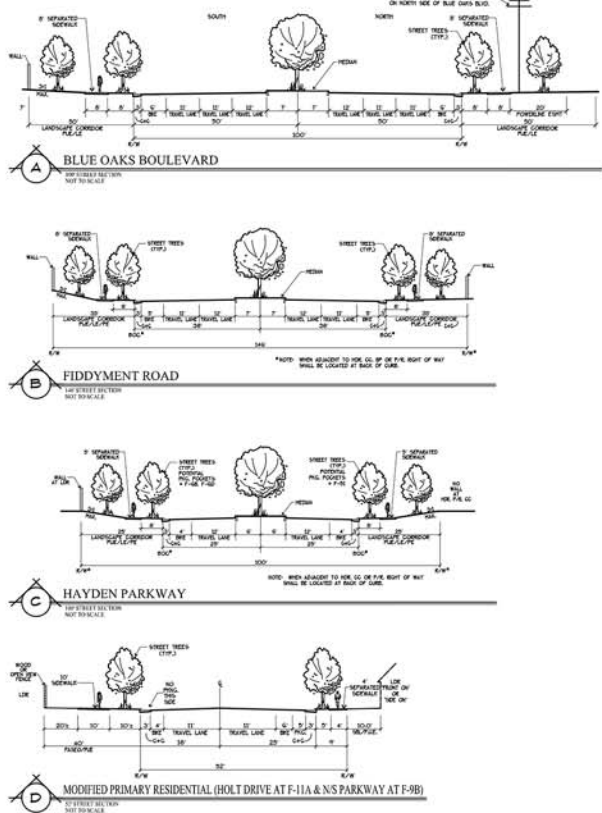
LAND USE SUMMARY

| SPECIFIC PLAN DESIGNATION | LAND USE                   | ACRES ± | DWELLING UNITS | NO. OF PARCELS |
|---------------------------|----------------------------|---------|----------------|----------------|
| LDR                       | LOW DENSITY RESIDENTIAL    | 406.36  | 1,858          | 17             |
| MDR                       | MEDIUM DENSITY RESIDENTIAL | 55.73   | 609            | 3              |
| HDR                       | HIGH DENSITY RESIDENTIAL   | 19.52   | 472            | 2              |
| CC                        | COMMUNITY COMMERCIAL       | 5.57    | -              | 1              |
| P/R                       | PARK                       | 19.41   | -              | 7              |
| P/QP                      | PUBLIC/QUAS PUBLIC         | 11.69   | -              | 1              |
| OS                        | OPEN SPACE                 | 241.63  | -              | 3              |
| R/W                       | HAYDEN PARKWAY             | 12.60   | -              | -              |
| TOTAL                     |                            | 802.71  | 2,949          | 34             |

LAND USE SUMMARY BY PARCEL

| VILLAGE NO.       | SPECIFIC PLAN DESIGNATION | LAND USE             | ZONE | GROSS ACRES± | UNITS |
|-------------------|---------------------------|----------------------|------|--------------|-------|
| F-6A              | LDR                       | SINGLE FAMILY        | RSOS | 35.49        | 155   |
| F-7               | LDR                       | SINGLE FAMILY        | RSOS | 23.49        | 115   |
| F-8C              | LDR                       | SINGLE FAMILY        | RSOS | 15.50        | 83    |
| F-8D              | LDR                       | SINGLE FAMILY        | RSOS | 11.68        | 35    |
| F-9A              | LDR                       | SINGLE FAMILY        | RSOS | 28.01        | 121   |
| F-9B              | LDR                       | SINGLE FAMILY        | RSOS | 16.02        | 70    |
| F-9C              | LDR                       | SINGLE FAMILY        | RSOS | 20.71        | 83    |
| F-9D              | LDR                       | SINGLE FAMILY        | RSOS | 12.38        | 40    |
| F-10A             | LDR                       | SINGLE FAMILY        | RSOS | 29.09        | 122   |
| F-10B             | LDR                       | SINGLE FAMILY        | RSOS | 23.51        | 116   |
| F-10C             | LDR                       | SINGLE FAMILY        | RSOS | 20.43        | 90    |
| F-11A             | LDR                       | SINGLE FAMILY        | RSOS | 32.46        | 161   |
| F-11B             | LDR                       | SINGLE FAMILY        | RSOS | 20.50        | 108   |
| F-13A             | LDR                       | SINGLE FAMILY        | RSOS | 19.81        | 90    |
| F-13B             | LDR                       | SINGLE FAMILY        | RSOS | 33.22        | 159   |
| F-19A             | LDR                       | SINGLE FAMILY        | RSOS | 31.13        | 155   |
| F-19B             | LDR                       | SINGLE FAMILY        | RSOS | 32.73        | 143   |
| F-6C              | MDR                       | SINGLE FAMILY        | RSOS | 26.62        | 300   |
| F-8B              | MDR                       | SINGLE FAMILY        | RSOS | 11.79        | 127   |
| F-11B             | MDR                       | SINGLE FAMILY        | RSOS | 17.31        | 162   |
| F-8A              | HDR                       | MULTI-FAMILY         | R3   | 6.11         | 195   |
| F-8A              | HDR                       | MULTI-FAMILY         | R3   | 11.41        | 277   |
| F-6D              | CC                        | COMMUNITY COMMERCIAL | CC   | 5.57         | -     |
| F-51              | P/R                       | PARK                 | PR   | 12.19        | -     |
| F-55              | P/R                       | REGIONAL PARK        | PR   | 31.09        | -     |
| F-94              | P/R                       | POCKET PARK          | PR   | 1.25         | -     |
| F-95              | P/R                       | POCKET PARK          | PR   | 1.27         | -     |
| F-96              | P/R                       | POCKET PARK          | PR   | 1.30         | -     |
| F-97              | P/R                       | POCKET PARK          | PR   | 1.32         | -     |
| F-101             | P/R                       | POCKET PARK          | PR   | 1.00         | -     |
| F-71              | P/QP                      | ELEMENTARY SCHOOL    | P/QP | 11.69        | -     |
| F-80              | OS                        | OPEN SPACE           | P/QP | 131.64       | -     |
| F-84              | OS                        | OPEN SPACE           | P/QP | 61.49        | -     |
| F-85              | OS                        | OPEN SPACE           | P/QP | 26.50        | -     |
| R/W / HAYDEN PKWY | -                         | -                    | -    | 12.60        | -     |
| TOTAL             |                           |                      |      | 802.71       | 2,949 |

(NOTE: GROSS ACRES ARE CALCULATED TO THE LARGE LOT PARCEL LINE AND VARY FROM THE AREAS SHOWN ON THE CONCEPTUAL LAND USE PLAN WHICH EXCLUDE THE ADJACENT PASEOS AND/OR RIGHT OF WAY (R.O.W.) ACRES. THE DWELLING UNIT COUNTS ARE CONSISTENT WITH THE CONCEPTUAL LAND USE PLAN.



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING  
3301 C St, Bldg. 100-B Tel 916.341.7760  
Sacramento, CA 95816 Fax 916.341.7767

AMENDED LARGE LOT TENTATIVE SUBDIVISION MAP  
FIDDYMENT RANCH- PHASE 2 & 3

A SUBDIVIDE OF DESIGNATED REMAINDERS OF FINAL MAPS DD B.M. 9 AND \_\_\_\_ B.M. \_\_\_\_  
CITY OF ROSEVILLE, CALIFORNIA  
OCTOBER 18, 2016

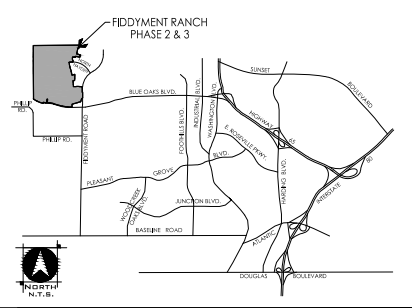
017-020-018  
PLACER RANCH INC.

017-061-092  
PLACER RANCH INC.

PROJECT NOTES

- RECORD OWNERS**  
AJO REALTY ONE, LLC  
333 MARKET STREET, 17TH FLOOR  
SAN FRANCISCO, CA 94105
- EXISTING USE**  
VACANT
- PROPOSED USE**  
FUTURE PLANNED DEVELOPMENT
- EXISTING ZONING**  
WRSP-RS/DS, RS, CC, OS, P/QP AND PR
- PROPOSED ZONING**  
WRSP-RS/DS, RS, CC, OS, P/QP AND PR
- PARK DISTRICT**  
CITY OF ROSEVILLE
- FIRE PROTECTION**  
CITY OF ROSEVILLE
- SCHOOL DISTRICT**  
ROSEVILLE CITY SCHOOL DIST.  
ROSEVILLE JOINT UNION HIGH SCHOOL DIST.
- SEWER**  
CITY OF ROSEVILLE
- STORM DRAIN**  
CITY OF ROSEVILLE
- WATER**  
CITY OF ROSEVILLE
- ELECTRICITY**  
CITY OF ROSEVILLE
- GAS**  
PG&E
- ASSESSOR'S PARCEL NUMBERS**  
492-010-057 & 492-010-077
- AREA**  
571.62± ACRES GROSS
- NUMBER OF PARCELS**  
38 LARGE LOTS
- NOTES**
- SUBDIVIDER(S) RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS PURSUANT TO SECTION 66456.1(A) OF THE SUBDIVISION MAP ACT.
  - FIDDYMENT RANCH 100 YEAR FLOODPLAIN DELINEATION PREPARED BY WOOD RODGERS.
  - UNLESS OTHERWISE SHOWN ON MAP, ALL UTILITIES WILL BE INSTALLED WITHIN THE PUBLIC ROAD RIGHT-OF-WAYS OR WITHIN A PUBLIC UTILITY EASEMENT.
  - OWNER WILL DEDICATE ALL EASEMENTS AND RIGHT-OF-WAYS NECESSARY TO PROVIDE ALL UTILITIES.
  - ALL INTERNAL STREETS WITHIN EACH VILLAGE WILL HAVE A DEDICATED 10' OR 12.5' PUE MEASURED FROM BACK OF WALK DEPENDING ON SIDEWALK CONDITION.
  - THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
  - VILLAGE (LARGE LOT) NUMBERING IS FOR IDENTIFICATION PURPOSES ONLY AND DOES NOT INDICATE PHASING ORDER OF DEVELOPMENT. ULTIMATE DEVELOPMENT PHASING SHALL BE DETERMINED AND WILL BE DETERMINED AT FINAL MAP AND/OR IMPROVEMENT PLAN STAGE.
  - ALL EXISTING STRUCTURES TO BE REMOVED AND ALL EXISTING WELLS TO BE ABANDONED.
  - THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO FINAL MAP.
  - PURSUANT TO SECTION 66499.20.2 OF THE SUBDIVISION MAP ACT, THE LAND SHOWN HEREON AS "PHASE 2" PARCELS TO BE MERGED AND RE-SUBDIVIDED IS HEREBY MERGED AND RE-SUBDIVIDED.
  - LARGE LOT FINAL MAP TO PROVIDE IRREVOCABLE OFFERS OF DEDICATION FOR RIGHT-OF-WAY, PUBLIC UTILITY, ACCESS, AND CONSTRUCTION EASEMENT PER THE FOLLOWING APPROVED SMALL LOT TENTATIVE SUBDIVISION MAP PHASING EXHIBITS:  
FIDDYMENT RANCH, VILLAGES F-13A & F-13B - DECEMBER 11, 2014  
FIDDYMENT RANCH, VILLAGES F-7, F-8C, F-8D, F-9B, F-9C, F-9D, F-11A & F-12 - FEBRUARY 27, 2015  
FIDDYMENT RANCH, VILLAGES F-4C, F-8B & F-11B - APRIL 24, 2015  
FIDDYMENT RANCH, VILLAGES F-6A, F-6B, F-6D, F-10A, F-10B, F-10C & F-11B - APRIL 24, 2015
  - PURSUANT TO SECTION 66499.20.2 OF THE SUBDIVISION MAP ACT, A PORTION OF NORTH HAYDEN PARKWAY RIGHT-OF-WAY PER BOOK 88 OF MAPS, PAGE 24 IS TO BE ABANDONED.

VICINITY MAP

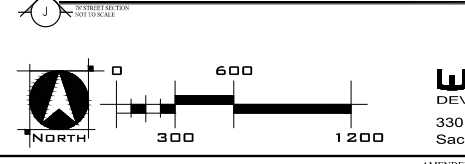
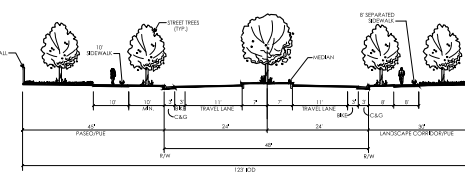
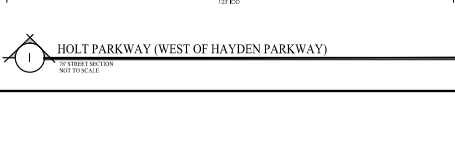
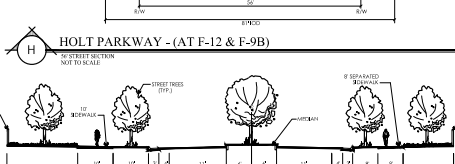
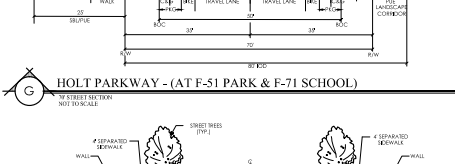
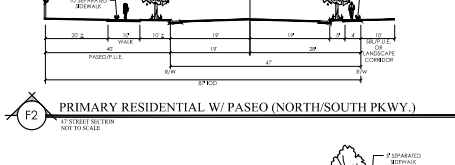
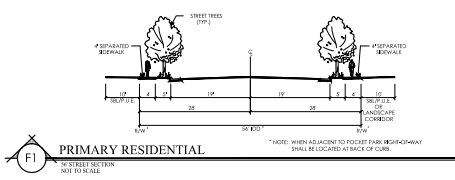
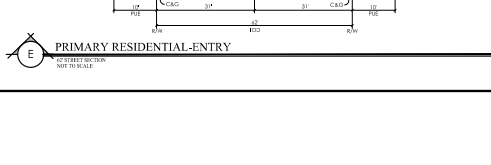
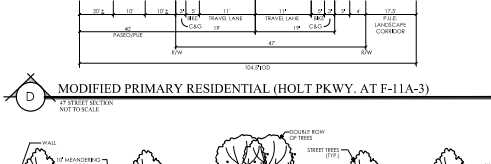
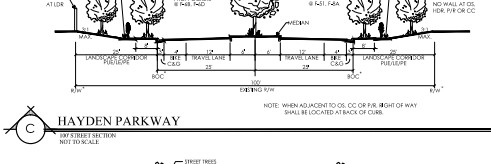
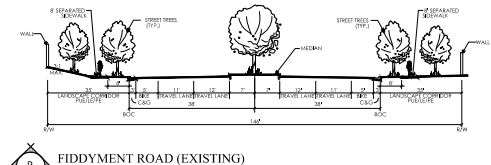
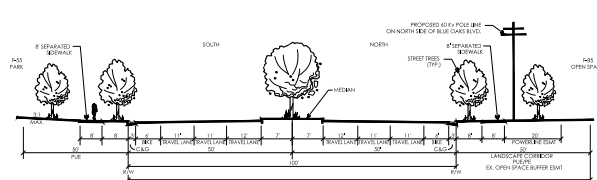
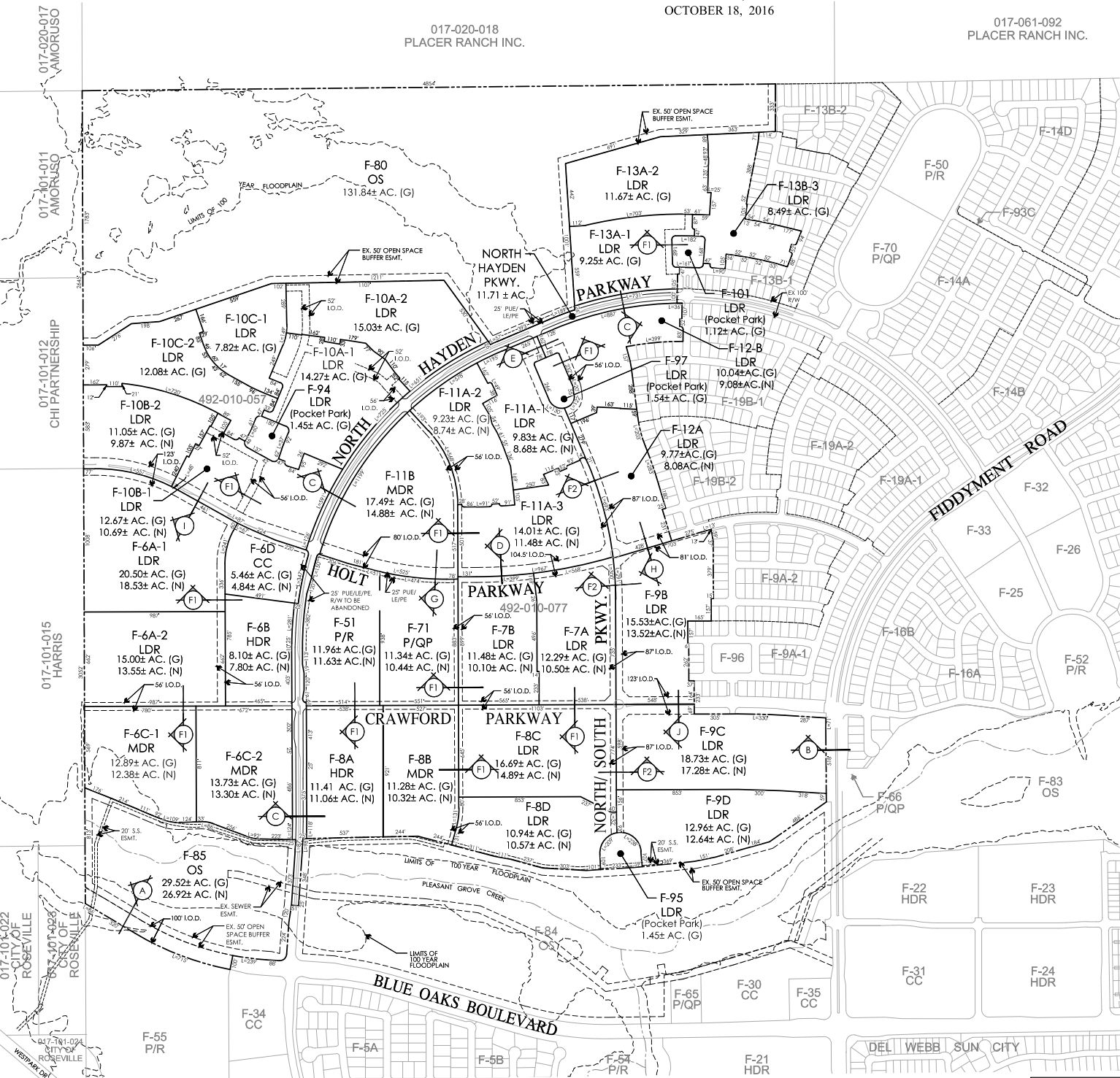


LAND USE SUMMARY

| SPECIFIC PLAN DESIGNATION | LAND USE                   | ACRES ±       | DWELLING UNITS | NO. OF PARCELS |
|---------------------------|----------------------------|---------------|----------------|----------------|
| LDR                       | LOW DENSITY RESIDENTIAL    | 289.33        | 1,356          | 23             |
| MDR                       | MEDIUM DENSITY RESIDENTIAL | 56.39         | 356            | 4              |
| HDR                       | HIGH DENSITY RESIDENTIAL   | 19.51         | 472            | 2              |
| CC                        | COMMUNITY COMMERCIAL       | 5.46          | -              | 1              |
| P/P                       | PARK                       | 17.52         | -              | 1              |
| P/QP                      | PUBLIC/QUASIPUBLIC         | 11.34         | -              | 1              |
| OS                        | OPEN SPACE                 | 161.36        | -              | 2              |
| RW                        | NORTH HAYDEN PARKWAY       | 11.71         | -              | -              |
| <b>TOTAL</b>              |                            | <b>571.62</b> | <b>2,416</b>   | <b>38</b>      |

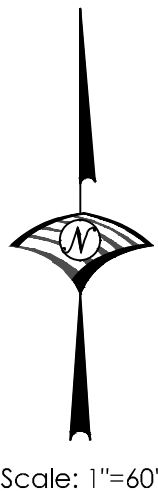
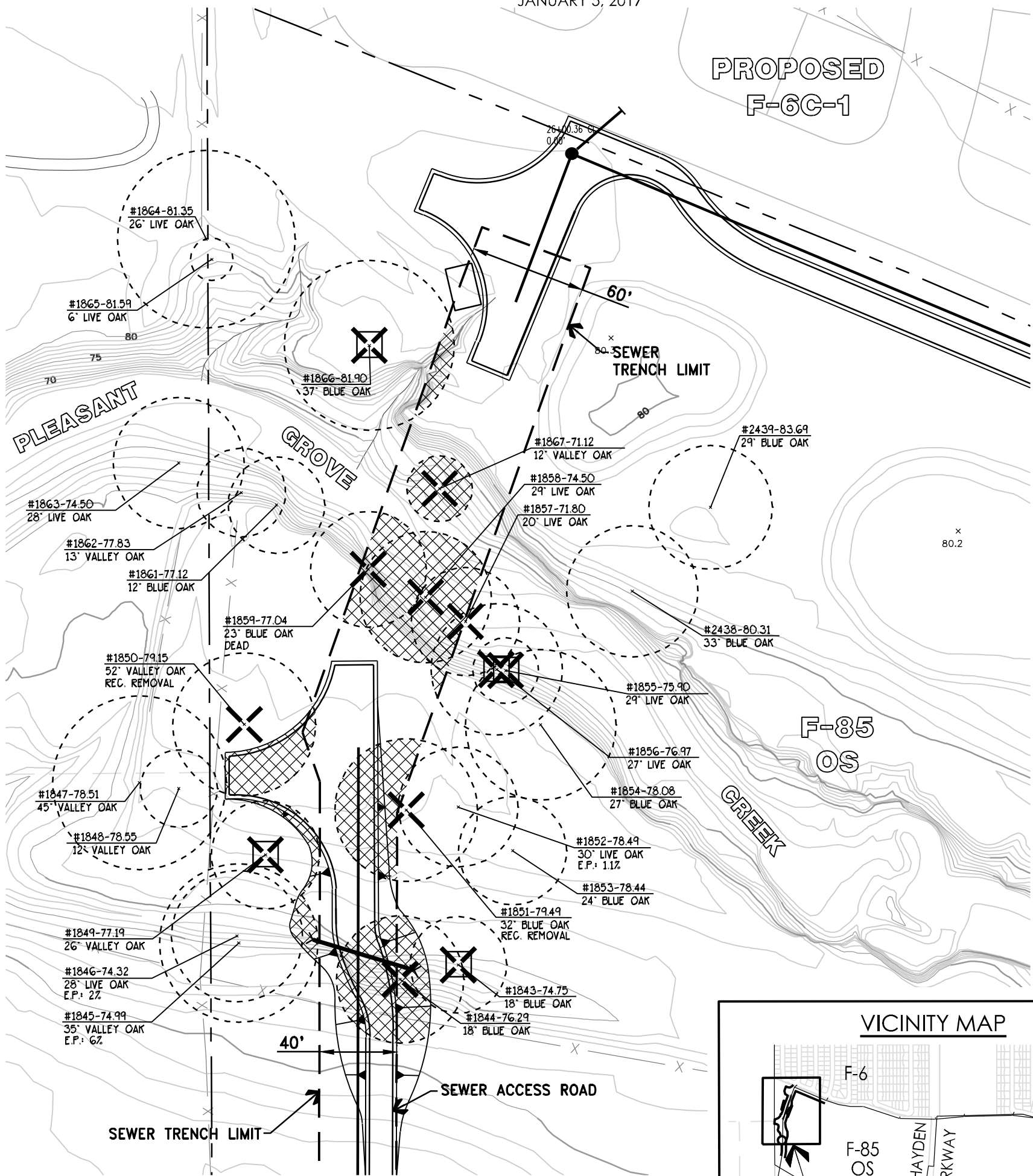
LAND USE SUMMARY BY PARCEL

| VILLAGE NO.              | SPECIFIC PLAN DESIGNATION | LAND USE             | ZONE  | GROSS ACRES   | UNITS        |
|--------------------------|---------------------------|----------------------|-------|---------------|--------------|
| F-6A-1                   | LDR                       | SINGLE FAMILY        | RS/DS | 20.50         | 92           |
| F-6A-2                   | LDR                       | SINGLE FAMILY        | RS/DS | 15.00         | 87           |
| F-7A                     | LDR                       | SINGLE FAMILY        | RS/DS | 12.29         | 67           |
| F-7B                     | LDR                       | SINGLE FAMILY        | RS/DS | 11.48         | 64           |
| F-8C                     | LDR                       | SINGLE FAMILY        | RS/DS | 16.69         | 88           |
| F-8D                     | LDR                       | SINGLE FAMILY        | RS/DS | 10.94         | 38           |
| F-9B                     | LDR                       | SINGLE FAMILY        | RS/DS | 15.53         | 70           |
| F-9C                     | LDR                       | SINGLE FAMILY        | RS/DS | 18.73         | 83           |
| F-9D                     | LDR                       | SINGLE FAMILY        | RS/DS | 12.96         | 40           |
| F-10A-1                  | LDR                       | SINGLE FAMILY        | RS/DS | 14.27         | 61           |
| F-10A-2                  | LDR                       | SINGLE FAMILY        | RS/DS | 15.03         | 61           |
| F-10B-1                  | LDR                       | SINGLE FAMILY        | RS/DS | 12.67         | 56           |
| F-10B-2                  | LDR                       | SINGLE FAMILY        | RS/DS | 11.05         | 59           |
| F-10C-1                  | LDR                       | SINGLE FAMILY        | RS/DS | 7.82          | 49           |
| F-10C-2                  | LDR                       | SINGLE FAMILY        | RS/DS | 12.08         | 31           |
| F-11A-1                  | LDR                       | SINGLE FAMILY        | RS/DS | 9.83          | 47           |
| F-11A-2                  | LDR                       | SINGLE FAMILY        | RS/DS | 9.23          | 57           |
| F-11A-3                  | LDR                       | SINGLE FAMILY        | RS/DS | 14.01         | 71           |
| F-12A                    | LDR                       | SINGLE FAMILY        | RS/DS | 9.77          | 47           |
| F-12B                    | LDR                       | SINGLE FAMILY        | RS/DS | 10.04         | 50           |
| F-13A-1                  | LDR                       | SINGLE FAMILY        | RS/DS | 9.25          | 45           |
| F-13A-2                  | LDR                       | SINGLE FAMILY        | RS/DS | 11.67         | 48           |
| F-13B-3                  | LDR                       | SINGLE FAMILY        | RS/DS | 8.49          | 45           |
| F-6C-1                   | MDR                       | SINGLE FAMILY        | RS/DS | 12.89         | 135          |
| F-6C-2                   | MDR                       | SINGLE FAMILY        | RS/DS | 13.73         | 172          |
| F-6B                     | MDR                       | SINGLE FAMILY        | RS/DS | 11.28         | 127          |
| F-11B                    | MDR                       | SINGLE FAMILY        | RS/DS | 17.49         | 152          |
| F-6B                     | HDR                       | MULTI-FAMILY         | R3    | 8.10          | 195          |
| F-8A                     | HDR                       | MULTI-FAMILY         | R3    | 11.41         | 277          |
| F-6D                     | CC                        | COMMUNITY COMMERCIAL | CC    | 5.46          | -            |
| F-51                     | P/R                       | PARK                 | PR    | 11.96         | -            |
| F-9A                     | LDR                       | POCKET PARK          | RS/DS | 1.45          | -            |
| F-9B                     | LDR                       | POCKET PARK          | RS/DS | 1.45          | -            |
| F-9C                     | LDR                       | POCKET PARK          | RS/DS | 1.54          | -            |
| F-101                    | LDR                       | POCKET PARK          | RS/DS | 1.12          | -            |
| F-71                     | P/QP                      | ELEMENTARY SCHOOL    | P/QP  | 11.34         | -            |
| F-80                     | OS                        | OPEN SPACE           | P/QP  | 131.84        | -            |
| F-85                     | OS                        | OPEN SPACE           | P/QP  | 29.52         | -            |
| <b>NORTH HAYDEN PKWY</b> |                           |                      |       | -             | -            |
| <b>TOTAL</b>             |                           |                      |       | <b>571.62</b> | <b>2,416</b> |



**WOOD RODGERS**  
DEVELOPING INNOVATIVE DESIGN SOLUTIONS  
3301 C St. Bldg. 100-B  
Sacramento, CA 95816  
Tel 916.341.7760  
Fax 916.341.7767

TREE REMOVAL EXHIBIT  
FIDDYMENT PHASE 2 & 3  
OFFSITE SEWER  
CITY OF ROSEVILLE, CALIFORNIA  
JANUARY 5, 2017

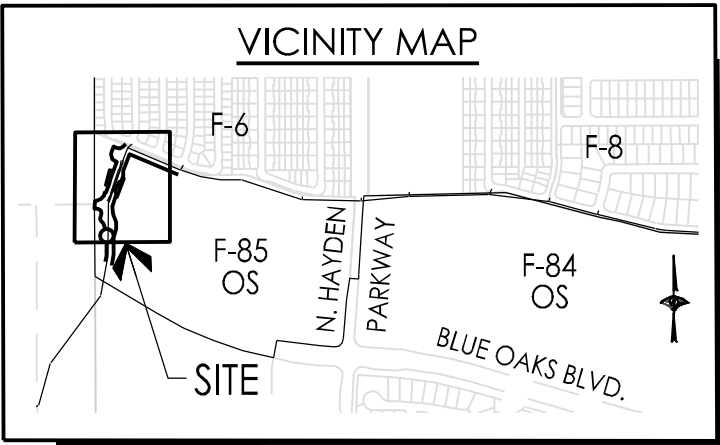


OAK TREES TO BE REMOVED

| TAG NO.                    | ELEV. | DESCRIPTION                 | DBH  | CONDITION    | PZR |
|----------------------------|-------|-----------------------------|------|--------------|-----|
| 1844                       | 76.29 | BLUE OAK W/32' DLR          | 18"  | FAIR         | 33' |
| 1850                       | 79.15 | VALLEY OAK W/36' DLR        | 52"  | FAIR/REMOVAL | 37' |
| 1851                       | 79.49 | BLUE OAK W/36' DLR          | 32"  | POOR/REMOVAL | 37' |
| 1857                       | 71.80 | INTERIOR LIVE OAK W/27' DLR | 20"  | FAIR         | 28' |
| 1858                       | 74.50 | INTERIOR LIVE OAK W/33' DLR | 29"  | POOR         | 34' |
| 1859                       | 77.04 | BLUE OAK W/0' DLR           |      | DEAD         |     |
| 1867                       | 71.12 | VALLEY OAK W/16' DLR        | 12"  | FAIR         | 17' |
| REMOVAL TOTAL - MITIGATION |       |                             | 163" |              |     |

OAK TREES TO BE CONDITIONALLY REMOVED

| TAG NO.                 | ELEV. | DESCRIPTION                 | DBH  | CONDITION | PZR | E.P. <sup>1</sup> |
|-------------------------|-------|-----------------------------|------|-----------|-----|-------------------|
| 1843                    | 74.75 | BLUE OAK W/24' DLR          | 18"  | POOR      | 25' | 11%               |
| 1849                    | 77.19 | VALLEY OAK W/27' DLR        | 26"  | FAIR      | 28' | 12%               |
| 1855                    | 75.96 | INTERIOR LIVE OAK W/16' DLR | 29"  | POOR      | 17' | 0%                |
| 1856                    | 76.97 | INTERIOR LIVE OAK W/33' DLR | 27"  | FAIR      | 34' | 9%                |
| 1866                    | 81.90 | BLUE OAK W/43' DLR          | 37"  | POOR      | 44' | 6%                |
| POTENTIAL REMOVAL TOTAL |       |                             | 137" |           |     |                   |



LEGEND

PRIOR TO CONSTRUCTION, FIELD DETERMINATION OF CONDITIONAL TREE REMOVALS TO BE FINALIZED BY PROJECT ARBORIST AND CITY STAFF.

TO BE REMOVED

TREE PROTECTED ZONE RADIUS (PZR)

ENCROACHMENT ZONE

#1844-76.29 = TREE NUMBER - ELEVATION OF TREE  
18" BLUE OAK = DIAMETER AT BREAST HEIGHT & TYPE

1) E.P. = ENCROACHMENT PERCENTAGE  
2) ARBORIST REPORT PREPARED BY SIERRA NEVADA ARBORISTS, DATED JULY 2014. UPDATED JANUARY 2017  
3) APPLICANT WILL MITIGATE FOR TREE REMOVALS ON-SITE TO THE EXTENT FEASIBLE WITH PAYMENT OF IN-LEIU FEES TO MAKE UP ANY SHORTFALL.  
4) REMOVAL MITIGATION INCHES: 163" (DOES NOT INCLUDE 38" DEAD TREES) + CONDITIONAL REMOVAL INCHES: 137" = 300" TOTAL.

**ARBORIST REPORT,  
TREE INVENTORY SUMMARY,  
AND IMPACT ASSESSMENT**

**FIDDYMENT RANCH PHASE 2 & 3  
OFFSITE SEWER PROJECT SITE  
City of Roseville, California**

**Prepared for:**

**Stephen M. Hicks  
Signature Homes  
3500 Douglas Blvd., Suite 210  
Roseville, California 95661**

**Prepared by:**

**Edwin E. Stirtz  
International Society of Arboriculture  
Certified Arborist WE-0510A  
ISA Tree Risk Assessment Qualified  
Member, American Society of Consulting Arborists**



**SIERRA NEVADA ARBORISTS**  
**7425 W 4<sup>th</sup> Street**  
**Rio Linda, California 95673**

**February 2, 2017**

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### **APPENDICES:**

- A. Tree Inventory Summary (sorted by tree number)

## **COPYRIGHT STATEMENT**

This consultant's report, dated February 2, 2017, is for the exclusive and confidential use of Signature Homes concerning potential development of the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site, located in the City of Roseville, California. Any use of this report, the accompanying appendices, or portions thereof, other than for project review and approval by appropriate governmental authorities, shall be subject to and require the written permission of Sierra Nevada Arborists. Unauthorized modification, distribution and/or use of this report, including the data or portions thereof contained within the accompanying appendices, is strictly prohibited.

## **QUALIFICATION STATEMENT**

Sierra Nevada Arborists is a fully insured, Rio Linda-based arboriculture consulting firm founded in January of 1998 by its Principal, Edwin E. Stirtz. Mr. Stirtz is an ISA Certified Arborist and is ISA Tree Risk Assessment Qualified. He is a member of the American Society of Consulting Arborists and International Society of Arboriculture. Mr. Stirtz possesses in excess of 30 years of experience in horticulture and arboriculture, both maintenance and construction, and has spent the last 23 years as a consulting and preservation specialist in the Sacramento and surrounding regions.

## **INTRODUCTION**

Sierra Nevada Arborists is pleased to present this Arborist Report, Tree Inventory Summary and Impact Assessment for the trees located within and/or overhanging the property located at the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site in the City of Roseville, California. This Arborist Report, Tree Inventory Summary and Impact Assessment memorializes tree data obtained by Edwin E. Stirtz, ISA Certified Arborist WE-0510A, at the time of field reconnaissance and inventory efforts on December 20, 2016.

## **SCOPE OF INVENTORY EFFORT**

The City of Roseville Municipal Code, Chapter 19.66, Tree Preservation, defines a “Protected Tree” as any native oak tree equal to or greater than six inches diameter at breast height (DBH) measured as a total of a single trunk or multiple trunks.

At the request of Signature Homes, on December 20 2016, Sierra Nevada Arborists visited the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site located in the City of Roseville, California. The purpose of this field reconnaissance effort was to identify, inventory and comment upon the current structure and vigor of the “protected trees” located within and/or overhanging the project boundaries as depicted on the Tree Removal Exhibit provided to our office.

This Arborist Report, Tree Inventory Summary, and Impact Assessment presents information concerning the species, size, and current condition of the trees meeting the criteria detailed above within the proposed project area, along with initial pre-development recommendations on a tree-by-tree basis which logically follow the characteristics noted within the trees at the time of field inventory efforts. Information concerning the nature and extent of root system and canopy impacts which will be sustained by the trees from proposed development activities, along with specific tree-by-tree mitigation recommendations for the trees which will sustain encroachment into their protected root zones can be provided in a Supplemental Arborist Report and Construction Impact Assessment once development plans have been refined and finalized for the proposed project area.

## **METHODOLOGY**

During field reconnaissance and inventory efforts, Edwin E. Stirtz of Sierra Nevada Arborists conducted a visual review from ground level of the trees within and/or overhanging the selected lots within the project area as depicted on the project grading plans. The trees which met the defined criteria were identified in the field by preexisting numbers affixed to the tree trunks. The tree numbers utilized in this report and accompanying Tree Inventory Summary correspond to the tree tags which were affixed to the trees in the field, and those tree numbers

or grouping of numbers were rough-plotted on the attached Tree Inventory Aerial Exhibit so that the precise vertical and horizontal location of the trees may be surveyed in the field by a licensed land surveyor and data for the trees (i.e. tree number, diameter, dripline and protected root zone radii) may be properly depicted on future development plans and Tree Location Exhibit.

At the time of field identification and inventory efforts specific data was gathered for each tagged tree including the tree's species, diameter measured at breast height ("DBH") and dripline radius ("DLR"). Utilizing this data the tree's overall structural condition and vigor were separately assessed ranging from "excellent"<sup>1</sup> to "poor" based upon the observed characteristics noted within the tree and the Arborist's best professional judgment. Ratings are subjective and are dependent upon both the structure and vigor of the tree. The vigor rating considers factors such as the size, color and density of the foliage; the amount of deadwood within the canopy; bud viability; evidence of wound closure; and the presence or evidence of stress, disease, nutrient deficiency and insect infestation. The structural rating reflects the root crown/collar, trunk and branch configurations; canopy balance; the presence of included bark, weak crotches and other structural defects and decay and the potential for structural failure. Finally, notable characteristics were documented and recommendations on a tree-by-tree basis were made which logically followed the observed characteristics noted within the trees at the time of the field inventory effort. The recommendations are based on the assumption that the tree would be introduced into a developed environment and may require maintenance and/or may not be suitable for retention within a post-development setting.

### **SUMMARY OF INVENTORY EFFORT**

Field reconnaissance and inventory efforts found 26 trees measuring 4 inches in diameter and larger measured at breast height within and/or overhanging the proposed project area. Composition of the 26 inventoried trees includes the following species and accompanying aggregate diameter inches:

| SPECIES DIVERSIFICATION |   |                 |                                        |
|-------------------------|---|-----------------|----------------------------------------|
| Blue Oak                | = | 9 trees         | (236 aggregate diameter inches)        |
| Interior Live Oak       | = | 9 trees         | (223 aggregate diameter inches)        |
| Valley Oak              | = | 8 trees         | (206 aggregate diameter inches)        |
| <b>TOTAL</b>            | = | <b>26 trees</b> | <b>(665 aggregate diameter inches)</b> |

---

<sup>1</sup> It is rare that a tree qualifies in an "excellent" category, and it should be noted that there were no trees observed within the project area which fell within the criteria of an "excellent" or "good" rating. A complete description of the terms and ratings utilized in this report and accompany inventory summary are found on pages 9-10.

## **CONSTRUCTION IMPACT ASSESSMENT**

On December 9, 2016, Sierra Nevada Arborists received for review and assessment a Tree Removal Exhibit for the project improvement plans depicting the proposed grading activities for the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site. Along with this, Sierra Nevada Arborists was asked to prepare an assessment of tree impacts which may be sustained by the protected trees from the depicted construction activities.

### **Removals and Mitigation Overview**

At this time, 10 trees have been recommended for removal from the proposed project area due to the nature and extent of defects, compromised health, and/or structural instability noted at the time of field inventory efforts. If these trees were retained within the proposed project area it is our opinion that they may be hazardous depending upon their proximity to planned development activities.

For reference, the trees which have been recommended for removal due to the severity of noted defects, compromised health and/or structural instability are highlighted in green within the accompanying inventory summaries and are briefly summarized as follows:

| TREE # | COMMON NAME       | SPECIES               | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |       |
|--------|-------------------|-----------------------|----------------------|--------------------|------------|------------------------|-------|
|        |                   |                       |                      |                    |            | STRUCTURE              | VIGOR |
| 1850   | Valley Oak        | <i>(Q lobata)</i>     |                      | 52                 | 36         | Poor                   | Fair  |
| 1851   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 32                 | 36         | Poor                   | Poor  |
| 1861   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 12                 | 24         | Poor                   | Poor  |
| 1864   | Interior Live Oak | <i>(Q wislizenii)</i> |                      | 26                 | 45         | Poor                   | Poor  |
| 6671   | Valley Oak        | <i>(Q lobata)</i>     |                      | 41                 | 42         | Poor to fair           | Fair  |

The trees which have been recommended for removal due to construction activities are also highlighted in green within the accompanying inventory summaries and briefly summarized as follows:

| TREE # | COMMON NAME       | SPECIES               | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet)   | CONDITIONAL ASSESSMENT |              |
|--------|-------------------|-----------------------|----------------------|--------------------|--------------|------------------------|--------------|
|        |                   |                       |                      |                    |              | STRUCTURE              | VIGOR        |
| 1844   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 18                 | 32           | Fair                   | Fair         |
| 1857   | Interior Live Oak | <i>(Q wislizenii)</i> |                      | 20                 | 27           | Fair                   | Fair         |
| 1858   | Interior Live Oak | <i>(Q wislizenii)</i> |                      | 29                 | 33           | Poor to fair           | Poor to fair |
| 1859   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 23                 | Tree is Dead |                        |              |
| 1867   | Valley Oak        | <i>(Q lobata)</i>     |                      | 12                 | 16           | Poor to fair           | Fair         |

### **Encroachments**

A review of the referenced plans finds that 14 trees will sustain encroachment into their protected root zones from contemplated construction activities as depicted on the referenced plans. The trees which will sustain encroachment from the proposed construction activities have been noted within the accompanying Tree Inventory Summary and Impact Assessment, along with a description of the perceived impacts. The perceived impacts have been rated as either less than 20% or greater than 20% and general and specific recommendations on a tree-by-tree basis have been provided to help reduce adverse impacts from construction on the trees which will be retained within the project area. All recommended activities should be performed by an ISA Certified Arborist employed by a licensed and fully-insured tree maintenance company in accordance with current American National Standards Institute (ANSI) A300 standards, specifically including Parts 1 and 2, as updated in 2001 regarding arboricultural practices, tree pruning and subsurface liquid fertilization injection, as well as ANSI Standard 2133.1-2000 regarding safety practices, and the International Society of Arboriculture published Best Management Practices.

### **GENERAL COMMENTS AND ARBORISTS' DISCLAIMER**

The City of Roseville regulates both the removal of “protected trees” and the encroachment of construction activities within their driplines. Therefore, a tree permit and/or additional development authorization should be obtained from the City of Roseville prior to the removal of any trees within the proposed project area. All terms and conditions of the tree permit and/or other Conditions of Approval are the sole and exclusive responsibility of the project applicant. It should be noted that prior to final inspection written verification from an ISA

Certified Arborist may be required certifying the approved removal activities and/or implementation of other Conditions of Approval outlined for the retained trees on the site. ***Sierra Nevada Arborists will not provide written Certification of Compliance unless we have been provided with a copy of the approved site development plans, applicable permits and/or Conditions of Approval, and are on site to monitor and observe regulated activities during the course of construction.*** Therefore, it will be necessary for the project applicant to notify Sierra Nevada Arborists well in advance (at least 72 hours prior notice) of any regulated activities which are scheduled to occur on site so that those activities can be properly monitored and documented for compliance certification.

Please bear in mind that implementation of the recommendations provided within this report will help to reduce adverse impacts of construction on the retained trees; however, implementation of any recommendations should not be viewed as a guarantee or warranty against the trees' ultimate demise and/or failure in the future. Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and ***attempt to reduce the risk of living near trees.*** Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. There are some inherent risks with trees that cannot be predicted with any degree of certainty, even by a skilled and experienced arborist. Entities who choose to construct homes on wooded property are accepting a certain level of risk from unpredictable tree related hazards such as toppling in storms, limbs falling and fires that may damage property at some time in the future. Since trees are living organisms their structure and vigor constantly change over time, and they are not immune to changes in site conditions or seasonal variations in the weather. Further, conditions are often hidden within the tree and/or below ground. Arborists and other tree care professionals cannot guarantee that a tree will be healthy and/or safe under all circumstances or for a specific period of time. Likewise remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To develop land and live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees would be to eliminate all of the trees. ***An entity who develops land and builds a home with a tree in the vicinity should be aware of and inform their future residents of this Arborists' Disclaimer, and be further advised that the developer and the future residents assume the risk that a tree could at any time suffer a branch and/or limb failure, blow over in a storm and/or fail for no apparent reason which may cause bodily injury or property damage.*** Sierra Nevada Arborists cannot predict acts of nature including, without limitation, storms of sufficient strength which can even take down a tree with a structurally sound and vigorous appearance.

Finally, the trees preserved within and/or overhanging the proposed project area will experience a physical environment different from the pre-development environment. As a result, tree health and structural stability should be regularly monitored. Occasional pruning, fertilization, mulch, pest management, replanting and/or irrigation may be required. In addition, ***provisions for monitoring both tree health and structural stability following construction must be made a priority.*** As trees age, the likelihood of failure of branches or entire trees increases. Therefore, ***the future management plan must include an annual inspection*** by a qualified ISA Certified Arborist to keep abreast of the trees' changing

condition(s) and to assess the trees' ongoing structural integrity and potential for hazard in a developed environment.

Thank you for allowing Sierra Nevada Arborists to assist you with this review. Please feel free to give me a call if you have any questions or require additional information and/or clarification.

Sincerely,

A handwritten signature in cursive script, appearing to read "Edwin E. Stirtz".

Edwin E. Stirtz  
International Society of Arboriculture  
Certified Arborist WE-0510A  
ISA Tree Risk Assessment Qualified  
Member, American Society of Consulting Arborists

### **ASSUMPTIONS AND LIMITING CONDITIONS**

1. Any legal description provided to the consultant is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. The consultant shall not be required to give a deposition and/or attend court by reason of this report unless subsequent contractual arrangements are made for in advance, including payment of an additional fee for such services according to our standard fee schedule, adjusted yearly, and terms of the subsequent contract of engagement.
5. Loss or alteration of any part of this report invalidates the entire report. Ownership of any documents produced passes to the Client only when all fees have been paid.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant.
7. Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed written or verbal consent of the consultant, particularly as to value conclusions, identity of the consultant, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant as stated in his qualifications.
8. This report and any values expressed herein represent the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. Sketches, diagrams, graphs, drawings and photographs within this report are intended as visual aids and are not necessarily to scale and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by other consultants is for coordination and ease of

reference. Inclusion of such information does not constitute a representation by the consultant as to the sufficiency or accuracy of the information.

10. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without laboratory analysis, dissection, excavation, probing or coring, unless otherwise stated.
11. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
12. This report is based on the observations and opinions of Edwin E. Stirtz, and does not provide guarantees regarding the future performance, health, vigor, structural stability or safety of the plants described herein. Neither this author nor Sierra Nevada Arborists has assumed any responsibility for liability associated with the trees on or adjacent to this Project Site, their future demise and/or any damage which may result therefrom.
13. The information contained within this report is true to the best of the author's knowledge and experience as of the date it was prepared; however, certain conditions may exist which only a comprehensive, scientific, investigation might reveal which should be performed by other consulting professionals.
14. The legal description, dimensions, and areas herein are assumed to be correct. No responsibility is assumed for matters that are legal in nature.
15. Any changes to an established tree's environment can cause its decline, death and/or structural failure.

## **DEFINITIONS**

|                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|--------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Tree Number:             | Corresponds to aluminum tag attached to the tree.                                                                                                                                                                                                                                                                                                                                                                                                |
| Species Identification:  | Scientific and common species name.                                                                                                                                                                                                                                                                                                                                                                                                              |
| Diameter (“DBH”):        | This is the trunk diameter measured at breast height (industry standard 4.5 feet above ground level).                                                                                                                                                                                                                                                                                                                                            |
| Dripline radius (“DLR”): | A radius equal to the horizontal distance from the trunk of the tree to the end of the farthest most branch tip prior to any cutting. When depicted on a map, the dripline will appear as an irregularly shaped circle that follows the contour of the tree’s branches as seen from overhead.                                                                                                                                                    |
| Protected Zone:          | A circle equal to the largest radius of a protected tree’s dripline plus 1 foot.                                                                                                                                                                                                                                                                                                                                                                 |
| Root Crown:              | Assessment of the root crown/collar area located at the base of the trunk of the tree at soil level.                                                                                                                                                                                                                                                                                                                                             |
| Trunk:                   | Assessment of the tree’s main trunk from ground level generally to the point of the primary crotch structure.                                                                                                                                                                                                                                                                                                                                    |
| Limbs:                   | Assessment of both smaller and larger branching, generally from primary crotch structure to branch tips.                                                                                                                                                                                                                                                                                                                                         |
| Foliage:                 | Tree’s leaves.                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Overall Condition:       | Describes overall condition of the tree in terms of structure and vigor.                                                                                                                                                                                                                                                                                                                                                                         |
| Recommendation:          | Pre-development recommendations based upon observed characteristics noted at the time of the field inventory effort.                                                                                                                                                                                                                                                                                                                             |
| Obscured:                | Occasionally some portion of the tree may be obscured from visual inspection due to the presence of dense vegetation which, during the course of inspection for the arborist report, prevented a complete evaluation of the tree. In these cases, if the tree is to be retained on site the vegetation should be removed to allow for a complete assessment of the tree prior to making final decisions regarding the suitability for retention. |

### **TREE CONDITION RATING CRITERIA**

| <b>RATING TERM</b> | <b>ROOT CROWN</b>                                                                                                                                                                                                                         | <b>TRUNK</b>                                                                                                                                                                                                                                                     | <b>LIMBS</b>                                                                                                                                                                                       | <b>FOLIAGE</b>                                                                                                                                                                                                                                                                                                                                    | <b>STRUCTURE</b>                                                                                                                                                                                                 | <b>VIGOR</b>                                                                                                                                                                    |
|--------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Good               | No apparent injuries, decay, cavities or evidence of hollowing; no anchoring roots exposed; no indications of infestation or disease                                                                                                      | No apparent injuries, decay, cavities or evidence of hollowing; no codominant attachments or multiple trunk attachments are observed; no indications of infestation or disease                                                                                   | No apparent injuries, decay, cavities or evidence of hollowing; below average amount of dead limbs or twigs; no major limb failures or included bark; callus growth is vigorous                    | Leaf size, color and density are typical for the species; buds are normal in size, viable, abundant and uniform throughout the canopy; annual seasonal growth increments are average or above average; no insect or disease infestations/ infections evident                                                                                      | No apparent structural defects; no weak crotches; no excessively weighted branches and no significant cavities or decay                                                                                          | Tree appears healthy and has little or no significant deadwood; foliage is normal and healthy                                                                                   |
| Fair               | Small to moderate injuries, decay, cavities or hollowing may be evident but are not currently affecting the overall structure; some evidence of infestation or disease may be present but is not currently affecting the tree's structure | Small to moderate injuries, decay, cavities or hollowing may be evident; codominant branching or multiple trunk attachments or minor bark inclusion may be observed; some infestation or disease may be present but not currently affecting the tree's structure | Small to moderate injuries, decay or cavities may be present; average or above average dead limbs or twigs may be present; some limb failures or bark inclusion observed; callus growth is average | Leaf size, color and density are typical or slightly below typical for the species; buds are normal or slightly sparse with potentially varied viability, abundance and distribution throughout the canopy; annual seasonal growth increments are average or slightly below average; minor insect or disease infestation/infection may be present | Minor structural problems such as weak crotches, minor wounds and/or cavities or moderate amount of excessive weight; non-critical structural defects which can be mitigated through pruning, cabling or bracing | Tree appears stressed or partially damaged; minimal vegetative growth since previous season; moderate amount of deadwood, abnormal foliage and minor lesions or cambium dieback |
| Poor               | Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the overall structure; presence of infestation or disease may be significant and affecting the tree's structure                                | Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the tree's structure; presence of infestation or disease may be significant and affecting the tree's structure                                                        | Severe injuries, decay or cavities may be present; major deadwood, twig dieback, limb failures or bark inclusion observed; callus growth is below average                                          | Leaf size, color and density are obviously abnormal; buds are obviously abnormal or absent; annual seasonal growth is well below average for the species; insect or disease problems may be severe                                                                                                                                                | Obvious major structural problems which cannot be corrected with mitigation; potential for major limb, trunk or root system failure is high; significant decay or dieback may be present                         | Tree health is declining; no new vegetative growth; large amounts of deadwood; foliage is severely abnormal                                                                     |

The ratings "good to fair" and "fair to poor" are used to describe trees that fall between the described major categories and have elements of both

### **GENERAL PROTECTION GUIDELINES FOR TREES PLANNED FOR PRESERVATION**

Great care must be exercised when work is conducted upon or around protected trees. The purpose of these General Protection Measures is to provide guidelines to protect the health of the affected protected trees. These guidelines apply to all encroachments into the protected zone of a protected tree, and may be incorporated into tree permits and/or other Conditions of Approval as deemed appropriate by the applicable governing body.

- ☐ A circle with a radius measurement from the trunk of the tree to the tip of its longest limb, plus one foot, shall constitute the critical root zone protection area of each protected tree. Limbs must not be cut back in order to change the dripline. The area beneath the dripline is a critical portion of the root zone and defines the minimum protected area of each protected tree. Removing limbs that make up the dripline does not change the protected area.
- ☐ Any protected trees on site which require pruning shall be pruned by an ISA Certified Arborist prior to the start of construction work. All pruning shall be in accordance with the American National Standards Institute (ANSI) A300 pruning standards, ANSI Standard 2133.1-2000 regarding safety practices, and the International Society of Arboriculture (ISA) "Tree Pruning Guidelines" and Best Management Practices.
- ☐ Prior to initiating construction, temporary protective fencing shall be installed at least one foot outside the root protection zone of the protected trees in order to avoid damage to the tree canopies and root systems. Fencing shall be installed in accordance with the approved fencing plan prior to the commencement of any grading operations or such other time as determined by the review body. The developer shall contact the Project Arborist and the Planning Department for an inspection of the fencing prior to commencing construction activities on site.
- ☐ Signs shall be installed on the protective fence in four (4) equidistant locations around each individual protected tree. The size of each sign must be a minimum of two (2) feet by two (2) feet and must contain the following language:

**WARNING: THIS FENCE SHALL NOT BE REMOVED OR RELOCATED  
WITHOUT WRITTEN AUTHORIZATION FROM THE CITY OF  
ROSEVILLE.**

Once approval has been obtained by the City of Roseville protective fencing shall remain in place throughout the entire construction period and shall not be removed, relocated, taken down or otherwise modified in whole or in part without prior written authorization from the Agency, or as deemed necessary by the Project Arborist to facilitate approved activities within the root protection zone.

- ☐ Any removal of paving or structures (i.e. demolition) that occurs within the dripline of a protected tree shall be done under the direct supervision of the Project Arborist. To the maximum extent feasible, demolition work within the dripline protection area of the protected tree shall be performed by hand. If the Project Arborist determines that it is not feasible to perform some portion(s) of this work by hand, then the smallest/lightest weight equipment that will adequately perform the demolition work shall be used.
- ☐ No signs, ropes, cables (except those which may be installed by an ISA Certified Arborist to provide limb support) or any other items shall be attached to the protected trees. Small metallic numbering tags for the purpose of identification in preparing tree reports and inventories shall be allowed.
- ☐ No vehicles, construction equipment, mobile homes/office, supplies, materials or facilities shall be driven, parked, stockpiled or located within the driplines of protected trees.
- ☐ Drainage patterns on the site shall not be modified so that water collects, stands or is diverted across the dripline of any protected tree.
- ☐ No trenching shall be allowed within the driplines of protected trees, except as specifically approved by the Planning Department as set forth in the project's Conditions of Approval and/or approved tree permit. If it is absolutely necessary to install underground utilities within the dripline of a protected tree the utility line within the protected zone shall be "bored and jacked" or performed utilizing hand tools to avoid root injury under the direct supervision of the Project Arborist.
- ☐ Grading within the protected zone of a protected tree shall be minimized. Cuts within the protected zone shall be maintained at less than 20% of the critical root zone area. Grade cuts shall be monitored by the Project Arborist. Any damaged roots encountered shall be root pruned and properly treated as deemed necessary by the Project Arborist.
- ☐ Minor roots less than one (1) inch in diameter encountered during approved excavation and/or grading activities may be cut, but damaged roots shall be traced back and cleanly cut behind any split, cracked or damaged area as deemed necessary by the Project Arborist.
- ☐ Major roots greater than one (1) inch in diameter encountered during approved excavation and/or grading activities may not be cut without approval of the Project Arborist. Depending upon the type of improvement being proposed, bridging techniques or a new site design may need to be employed to protect the roots and the tree.

- ☐ Cut faces, which will be exposed for more than 2-3 days, shall be covered with dense burlap fabric and watered to maintain soil moisture at least on a daily basis (or possibly more frequently during summer months). If any native ground surface fabric within the protected zone must be removed for any reason, it shall be replaced within forty-eight (48) hours.
- ☐ If fills exceed 1 foot in depth up to 20% of the critical root zone area, aeration systems may serve to mitigate the presence of the fill materials as determined by the Project Arborist.
- ☐ When fill materials are deemed necessary on two or three sides of a tree it is critical to provide for drainage away from the critical root zone area of the tree (particularly when considering heavy winter rainfalls). Overland releases and subterranean drains dug outside the critical root zone area and tied directly to the main storm drain system are two options.
- ☐ In cases where a permit has been approved for construction of a retaining wall(s) within the protected zone of a protected tree the applicant will be required to provide for immediate protection of exposed roots from moisture loss during the time prior to completion of the wall. The retaining wall within the protected zone of the protected tree shall be constructed within seventy-two (72) hours after completion of grading within the root protection zone.
- ☐ The construction of impervious surfaces within the dripline of a protected tree shall be minimized. When necessary, a piped aeration system shall be installed under the direct supervision of the Project Arborist.
- ☐ Preservation devices such as aeration systems, tree wells, drains, special paving and cabling systems must be installed in conformance with approved plans and certified by the Project Arborist.
- ☐ No sprinkler or irrigation system shall be installed in such a manner that sprays water or requires trenching within the dripline of a protected tree. An above ground drip irrigation system is recommended. An independent low-flow drip irrigation system may be used for establishing drought-tolerant plants within the protected zone of a protected tree. Irrigation shall be gradually reduced and discontinued after a two (2) year period.
- ☐ All portions of permanent fencing that will encroach into the protected zone of a protected tree shall be constructed using posts set no closer than ten (10) feet on center. Posts shall be spaced in such a manner as to maximize the separation between the tree trunks and the posts in order to reduce impacts to the tree(s).

- Landscaping beneath native oak trees may include non-plant materials such as bark mulch, wood chips, boulders, etc. Planting live material under protected native oak trees is generally discouraged, and is not recommended within six (6) feet of the trunk of a native oak tree with a diameter at breast height (DBH) of eighteen (18) inches or less, or within ten (10) feet of the trunk of a native oak tree with a DBH of more than eighteen (18) inches. The only plant species which shall be planted within the dripline of native oak trees are those which are tolerant of the natural, semi-arid environs of the tree(s).

SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME       | SPECIES        | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |              |              |              | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                | IMPACTS                                                                                                                                            | MAINTENANCE AND MITIGATION RECOMMENDATIONS                                                                                                                    |
|--------|-------------------|----------------|----------------------|--------------------|------------|------------------------|--------------|--------------|--------------|--------------|--------------|--------------|------|-------------------|-------------|----------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |                |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE      | STRUCTR      | VIGOR        | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                        |                                                                                                                                                    |                                                                                                                                                               |
| 1843   | Blue Oak          | (Q douglasii)  |                      | 18                 | 24         | Poor to fair           | Fair         | Fair         | Fair         | Fair         | Fair         | 11%          |      |                   |             | Root crown slightly buried, north side; slightly above average amount of deadwood                                                      | Will sustain minor encroachment from grading/fill; <b>may require removal for sanitary sewer construction</b>                                      | Clearance pruning may be necessary; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary    |
| 1844   | Blue Oak          | (Q douglasii)  |                      | 18                 | 32         | Fair                   | Poor to fair | Poor to fair | Fair         | Fair         | Fair         |              | 37%  |                   | 18          | Trunk leans west, branching one-sided west; above average amount of deadwood                                                           | Would sustain moderate to significant encroachment from trench and/or construction access; <b>requires removal for sanitary sewer construction</b> | Remove to facilitate sewer construction                                                                                                                       |
| 1845   | Valley Oak        | (Q lobata)     |                      | 35                 | 40         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 6%           |      |                   |             | Slightly above average amount of deadwood                                                                                              | Will sustain minor encroachment from grading/fill                                                                                                  | Clearance pruning may be necessary; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary    |
| 1846   | Interior Live Oak | (Q wislizenii) |                      | 28                 | 33         | Poor                   | Poor         | Poor to fair | Poor to fair | Poor         | Poor to fair | 2%           |      |                   |             | Root system failure resulted in trunk lying on grade; above average amount of deadwood                                                 | Will sustain minor encroachment from grading/fill                                                                                                  | Clearance and crown clean out pruning; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary |
| 1847   | Blue Oak          | (Q douglasii)  |                      | 45                 | 44         | Fair                   | Poor to fair | Fair         | Fair         | Poor to fair | Fair         | 0%           |      |                   |             | Embedded/girdling wire in trunk; inherently weak primary crotch with embedded bark; above average amount of deadwood                   | No encroachment depicted                                                                                                                           | Cut wire at trunk; install cable system to help support primary crotch; construction clearance pruning may be necessary                                       |
| 1848   | Valley Oak        | (Q lobata)     |                      | 12                 | 19         | Fair                   | Poor to fair | Fair         | Fair         | Fair         | Fair         | 0%           |      |                   |             | Suppressed, one-sided east ; above average amount of deadwood                                                                          | No encroachment depicted                                                                                                                           | Construction clearance pruning may be necessary                                                                                                               |
| 1849   | Valley Oak        | (Q lobata)     |                      | 26                 | 27         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 12%          |      |                   |             | Slightly above average amount of deadwood                                                                                              | Will sustain minor encroachment from grading/fill; <b>may require removal for sanitary sewer construction</b>                                      | Clearance and crown clean out pruning; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary |
| 1850   | Valley Oak        | (Q lobata)     |                      | 52                 | 36         | Fair                   | Poor         | Poor to fair | Fair         | Poor         | Fair         |              | 28%  | 52                |             | 3 old scaffold limb failures have resulted in Significant trunk hollowing at 12' and 14' above grade; above average amount of deadwood | Will sustain minor to moderate encroachment for construction access; <b>may require removal for sanitary serwer construction</b>                   | <b>Recommend removal due to nature and extent of noted defects</b>                                                                                            |

SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME       | SPECIES        | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |              |              |              | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                                                                                                     | IMPACTS                                                                                                                                              | MAINTENANCE AND MITIGATION RECOMMENDATIONS                                                                                                                    |
|--------|-------------------|----------------|----------------------|--------------------|------------|------------------------|--------------|--------------|--------------|--------------|--------------|--------------|------|-------------------|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |                |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE      | STRUCTR      | VIGOR        | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                                                                                                             |                                                                                                                                                      |                                                                                                                                                               |
| 1851   | Blue Oak          | (Q douglasii)  |                      | 32                 | 36         | Poor                   | Poor         | Poor to fair | Poor to fair | Poor         | Poor         |              | 37%  | 32                |             | Callusing basal, lower trunk wounds various locations with moderate to significant decay; inherently weak primary crotch with embedded bark; above average amount of deadwood; one primary lead; 80% dead and failed at top | Will sustain moderate to significant encroachment from trench and/or construction access; <b>may require removal for sanitary sewer construction</b> | <b>Recommend removal due to nature and extent of noted defects</b>                                                                                            |
| 1852   | Interior Live Oak | (Q wislizenii) |                      | 30                 | 30         | Poor to fair           | Poor to fair | Poor to fair | Fair         | Poor to fair | Fair         | 1%           |      |                   |             | Measured 1' above grade; Callusing basal, lower trunk wounds various locations with minor decay; above average amount of deadwood                                                                                           | Will sustain minor encroachment from grading/fill                                                                                                    | Clearance and crown clean out pruning; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary |
| 1853   | Blue Oak          | (Q douglasii)  |                      | 24                 | 27         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 0%           |      |                   |             | Slightly above average amount of deadwood; small callusing wound, southerly stem, 15' above grade; branching one-sided north and west                                                                                       | No encroachment depicted                                                                                                                             | Minor clearance pruning may be necessary                                                                                                                      |
| 1854   | Blue Oak          | (Q douglasii)  |                      | 27                 | 38         | Fair                   | Poor to fair | Fair         | Fair         | Poor to fair | Fair         | 0%           |      |                   |             | Northerly primary crotch has small fissure with embedded bark; average amount of deadwood                                                                                                                                   | No encroachment depicted                                                                                                                             | Minor clearance pruning may be necessary; clean out crown; install cable system to help support northerly crotch                                              |
| 1855   | Interior Live Oak | (Q wislizenii) | 8,12                 | 29                 | 16         | Poor to fair           | Poor         | Poor         | Poor to fair | Poor to fair | Poor to fair | 0%           |      |                   |             | Suppressed, trunk leans south and east; above average amount of deadwood; somewhat sparse foliage                                                                                                                           | No encroachment depicted                                                                                                                             | <b>None at this time; integrity/longevity questionable; may require construction clearance pruning</b>                                                        |
| 1856   | Interior Live Oak | (Q wislizenii) |                      | 27                 | 33         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 9%           |      |                   |             | Above average amount of deadwood                                                                                                                                                                                            | Will sustain minor encroachment from excavation or construction access;                                                                              | Minor clearance pruning may be necessary                                                                                                                      |
| 1857   | Interior Live Oak | (Q wislizenii) |                      | 20                 | 27         | Fair                   | Poor to fair | Poor to fair | Fair         | Fair         | Fair         |              | 42%  |                   | 20          | Measured 3' above grade; above average amount of deadwood; somewhat sparse foliage                                                                                                                                          | Would sustain moderate to significant encroachment from trench and/or construction access; <b>removal required for sanitary sewer construction</b>   | Remove to facilitate sewer construction                                                                                                                       |
| 1858   | Interior Live Oak | (Q wislizenii) |                      | 29                 | 33         | Poor to fair           | Poor to fair | Poor         | Poor to fair | Poor to fair | Poor to fair |              | 78%  |                   | 29          | Measured 2' above grade; some lateral roots exposed from bank erosion; small trunk ruptures, various locations; several large dead limbs                                                                                    | Would sustain significant encroachment from trenching and construction access; <b>removal required for sanitary sewer construction</b>               | Remove to facilitate sewer construction                                                                                                                       |
| 1859   | Blue Oak          | (Q douglasii)  |                      | 23                 |            |                        |              |              |              |              |              |              |      |                   |             | <b>Tree is Dead</b>                                                                                                                                                                                                         |                                                                                                                                                      | Remove to facilitate sewer construction                                                                                                                       |

SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME       | SPECIES                 | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |              |              |              | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                                                                                                                                                        | IMPACTS                                                                                                                            | MAINTENANCE AND MITIGATION RECOMMENDATIONS                                                                                                                                     |
|--------|-------------------|-------------------------|----------------------|--------------------|------------|------------------------|--------------|--------------|--------------|--------------|--------------|--------------|------|-------------------|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |                         |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE      | STRUCTR      | VIGOR        | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                                                                                                                                                                |                                                                                                                                    |                                                                                                                                                                                |
| 1860   | Valley Oak        | ( <i>Q lobata</i> )     |                      | 15                 |            |                        |              |              |              |              |              |              |      |                   |             | Tree is Dead                                                                                                                                                                                                                                                                   |                                                                                                                                    |                                                                                                                                                                                |
| 1861   | Blue Oak          | ( <i>Q douglasii</i> )  |                      | 12                 | 24         | Poor                   | Poor         | Poor         | Fair         | Poor         | Poor         | 0%           |      |                   |             | Significant root crown erosion on stream bank; several trunk wounds, various locations, running length of trunk with significant decay; girdling barbed-wire at 4' above grade; several large dead limbs; sparse foliage                                                       | No encroachment depicted                                                                                                           | Recommend removal due to nature and extent of noted defects                                                                                                                    |
| 1862   | Valley Oak        | ( <i>Q lobata</i> )     |                      | 13                 | 22         | Poor                   | Poor         | Poor to fair | Fair         | Poor         | Poor to fair | 0%           |      |                   |             | Root crown/supporting roots undermined by bank erosion, north side; several girdling wires, lower trunk; leans southwest; above average amount of deadwood                                                                                                                     | No encroachment depicted                                                                                                           | None at this time; integrity/longevity questionable; may require clearance pruning as construction proceeds                                                                    |
| 1863   | Interior Live Oak | ( <i>Q wislizenii</i> ) |                      | 28                 | 33         | Poor to fair           | Poor to fair | Poor to fair | Fair         | Poor to fair | Fair         | 0%           |      |                   |             | Partial root system exposure due to bank erosion; girdling wire, various locations; above average amount of deadwood                                                                                                                                                           | No encroachment depicted                                                                                                           | Clean out crown; remove 6-inch stem and two additional smaller stems which have perished; cut girdling wire from trunk; may require clearance pruning as construction proceeds |
| 1864   | Interior Live Oak | ( <i>Q wislizenii</i> ) |                      | 26                 | 45         | Poor                   | Poor         | Poor         | Poor to fair | Poor         | Poor         | 0%           |      |                   |             | Uprooted; several large roots severed with significant decay; lying prone on grade; several large primary branches lying on ground; sparse foliage                                                                                                                             | No encroachment depicted                                                                                                           | Recommend removal due to nature and extent of noted defects                                                                                                                    |
| 1865   | Interior Live Oak | ( <i>Q wislizenii</i> ) |                      | 6                  | 10         | Poor                   | Poor to fair | Fair         | Fair         | Poor         | Fair         | 0%           |      |                   |             | Tree grew as a stump sprout; exposed wood with decay, south side                                                                                                                                                                                                               | No encroachment depicted                                                                                                           | None at this time; integrity/longevity questionable; may require clearance pruning as construction proceeds                                                                    |
| 1866   | Blue Oak          | ( <i>Q douglasii</i> )  |                      | 37                 | 43         | Poor to fair           | Poor to fair | Poor to fair | Fair         | Poor to fair | Fair         | 12%          |      |                   |             | Small callusing root crown wounds from livestock activity; exposed roots from gully erosion, southeast side of trunk; callusing trunk wounds, various locations, with some areas of fluxing; above average amount of deadwood; two large limb failures, south side, with decay | Will sustain minor encroachment from excavation or construction access; <b>may require removal for sanitary sewer construction</b> | Expose root crown; inspect for decay; climb and inspect crown; prune and treat exposed roots ; clearance and crown clean out pruning; deep root fertilization                  |

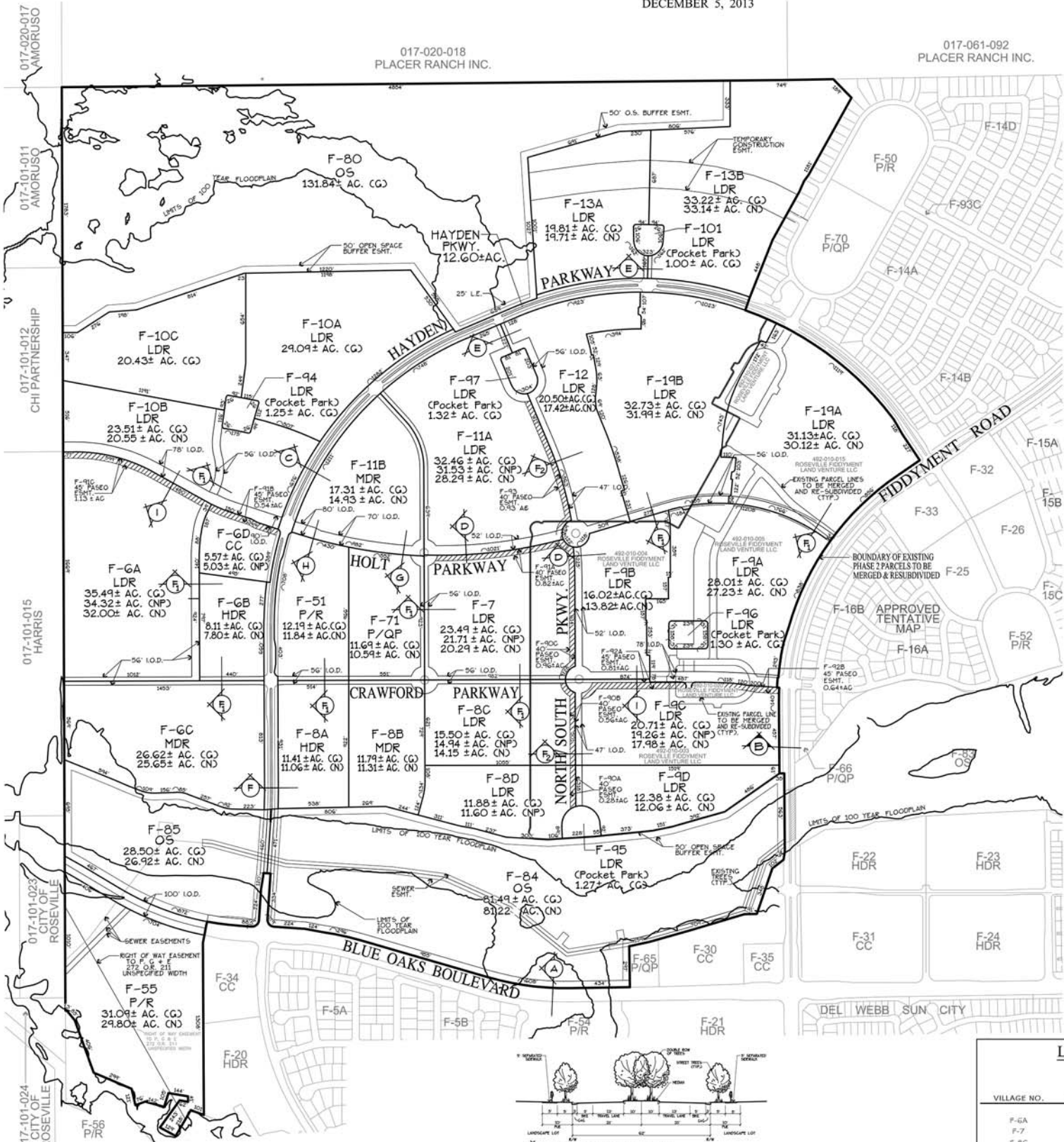
SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME | SPECIES    | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |         |              |       | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                                                                                                                                                                                                                                                         | IMPACTS                                                                                                                                   | MAINTENANCE AND MITIGATION RECOMMENDATIONS                         |
|--------|-------------|------------|----------------------|--------------------|------------|------------------------|--------------|--------------|---------|--------------|-------|--------------|------|-------------------|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------|
|        |             |            |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE | STRUCTR      | VIGOR | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                           |                                                                    |
| 1867   | Valley Oak  | (Q lobata) |                      | 12                 | 16         | Fair                   | Poor to fair | Fair         | Fair    | Poor to fair | Fair  |              | 100% |                   | 12          | Callusing graft at 4.5' above grade; 4" stem makes an abrupt 90 degree bend at 3' above grade                                                                                                                                                                                                                                                                                   | Would sustain significant encroachment from construction activities; <b>removal required for sanitary sewer construction</b>              | Remove to facilitate sewer construction                            |
| 6671   | Valley Oak  | (Q lobata) |                      | 41                 | 42         | Poor to fair           | Poor to fair | Poor to fair | Fair    | Poor to fair | Fair  |              | 100% | 41                |             | Callusing/callused basal trunk wounds, primarily on buttress roots due to livestock activity, minor decay; small cavity northeast side potential interior hollowing or decay; bark exfoliation on lower trunk from bacterial canker; several large scaffold failures in upper canopy with resulting decay; above average amount of large deadwood, limb dieback; sparse foliage | Tree is situated within a mass grade area of project with significant grade cut surrounding the tree; <b>removal required for grading</b> | <b>Recommend removal due to nature and extent of noted defects</b> |

|                                                                                        |
|----------------------------------------------------------------------------------------|
| TOTAL INVENTORIED TREES = 26 Trees (665 aggregate diameter inches)                     |
| PROPOSED REMOVALS to facilitate construction = 5 Trees (102 aggregate diameter inches) |
| PROPOSED REMOVALS due to defects = 5 Trees (163 aggregate diameter inches)             |
| Conditional Removals = 5 Trees (137 aggregate diameter inches)                         |

LARGE LOT TENTATIVE SUBDIVISION MAP  
FIDDYMENT RANCH- PHASE 2 & 3

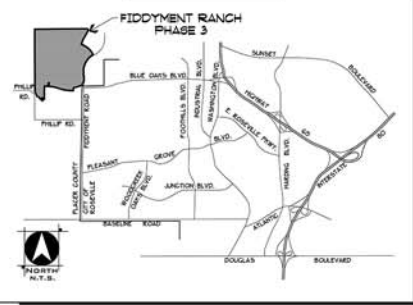
A MERGER AND RESUBDIVIDE OF FINAL MAP BB B.M. 24  
CITY OF ROSEVILLE, CALIFORNIA  
DECEMBER 5, 2013



PROJECT NOTES

- REGOR OWNERS**  
ATG REALTY ONE LLC  
333 MARKET STREET, 17TH FLOOR  
SAN FRANCISCO, CA 94105
- APPLICANT**  
SIGNATURE MANAGEMENT COMPANY INC.  
1322 BLUE OAKS BLVD. WOOD  
ROSEVILLE, CA 95678-7014  
CONTACT: TROY DENHAM ACP  
DENNIS PHELPS PE  
PHONE: (916) 341-7760
- PLANNER/ENGINEER**  
WOOD RODGERS INC.  
3301 C STREET, BLDG. 100B  
SACRAMENTO, CA 95816  
CONTACT: TROY DENHAM ACP  
DENNIS PHELPS PE  
PHONE: (916) 341-7760
- ASSESSOR'S PARCEL NUMBERS**  
492-010-002 THRU 009  
492-010-015, 020, 021, 031 AND 033
- AREA**  
802.71 ACRES GROSS
- NUMBER OF PARCELS**  
34 LARGE LOTS
- EXISTING USE**  
VACANT
- PROPOSED USE**  
FUTURE PLANNED DEVELOPMENT
- EXISTING ZONING**  
RSP-45/OS, RS/OS, OS, P/QP AND PE
- PROPOSED ZONING**  
RSP-45/OS, RS, CC, OS, P/QP AND PE
- PARK DISTRICT**  
CITY OF ROSEVILLE
- FIRE PROTECTION**  
CITY OF ROSEVILLE
- SCHOOL DISTRICT**  
ROSEVILLE CITY SCHOOL DIST.  
ROSEVILLE JOINT UNION HIGH SCHOOL DIST.
- SEWER**  
CITY OF ROSEVILLE
- STORM DRAIN**  
CITY OF ROSEVILLE
- WATER**  
CITY OF ROSEVILLE
- ELECTRICITY**  
CITY OF ROSEVILLE
- GAS**  
PG&E
- SUBDIVIDERS RESERVES THE RIGHT TO FILE MULTIPLE FINAL MAPS PURSUANT TO SECTION 66400.03(A) OF THE SUBDIVISION MAP ACT.
  - FIDDYMENT RANCH 100 YEAR FLOODPLAIN DELINEATION PREPARED BY WOOD RODGERS, PROVIDED BY THE STATE, AERIAL AND WAS FLOWN IN NOVEMBER 1980.
  - EXISTING TREES, CREEK CENTERLINE, ROADS AND TOPOGRAPHY PROVIDED BY THE STATE, AERIAL AND WAS FLOWN IN NOVEMBER 1980.
  - UNLESS OTHERWISE SHOWN ON MAP, ALL UTILITIES WILL BE INSTALLED WITHIN THE PUBLIC ROAD RIGHT-OF-WAYS OR WITHIN A PUBLIC UTILITY EASEMENT.
  - OWNER WILL DEDICATE ALL EASEMENTS AND RIGHT-OF-WAYS NECESSARY TO PROVIDE ALL UTILITIES.
  - ALL INTERNAL STREETS WITHIN EACH VILLAGE WILL HAVE A DEDICATED 10' OR 12' PUE MEASURED FROM BACK OF WALK DEPENDING ON SIDEWALK CONDITION.
  - THIS IS AN APPLICATION FOR A DEVELOPMENT PERMIT.
  - AN VILLAGE (LARGE LOT) NUMBERING IS FOR IDENTIFICATION PURPOSES ONLY AND DOES NOT INDICATE PHASING ORDER OF DEVELOPMENT. ULTIMATE DEVELOPMENT PHASING SHALL BE DETERMINED AND WILL BE DETERMINED AT FINAL MAP AND/OR IMPROVEMENT PLAN STAGE.
  - ALL EXISTING STRUCTURES TO BE REMOVED AND ALL EXISTING WELLS TO BE ABANDONED.
  - THIS EXHIBIT IS FOR TENTATIVE MAP PURPOSES ONLY. ALL SITE CHARACTERISTICS ARE TO BE VERIFIED PRIOR TO FINAL MAP.
  - SEE SEPARATE 300' RADIUS MAP AND PROPERTY OWNER LIST FOR REQUIRED ADJACENT OWNERSHIP INFORMATION.
  - PURSUANT TO SECTION 66400.02 1/2 OF THE SUBDIVISION MAP ACT, THE LAND SHOWN HEREON AS "PHASE 2" PARCELS TO BE MERGED AND RE-SUBDIVIDED" IS HEREBY MERGED AND RE-SUBDIVIDED.

VICINITY MAP



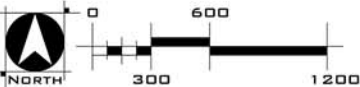
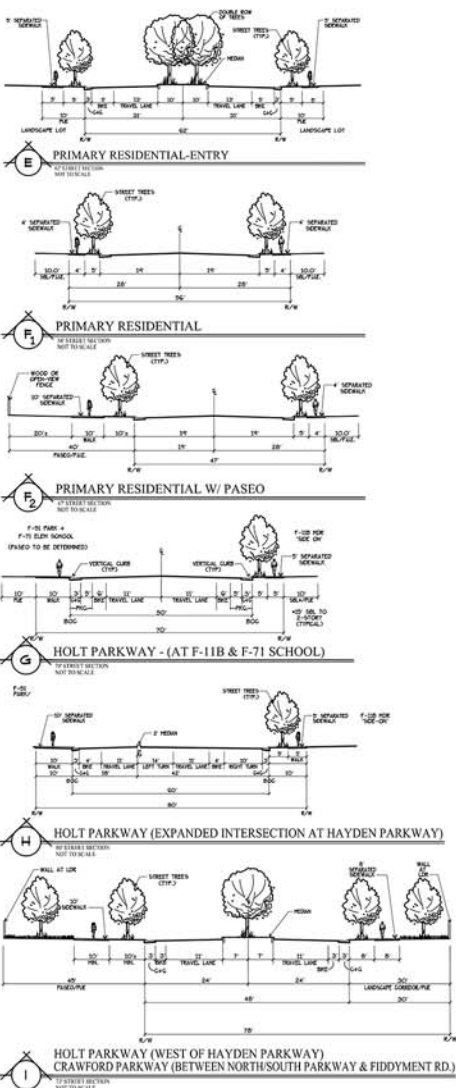
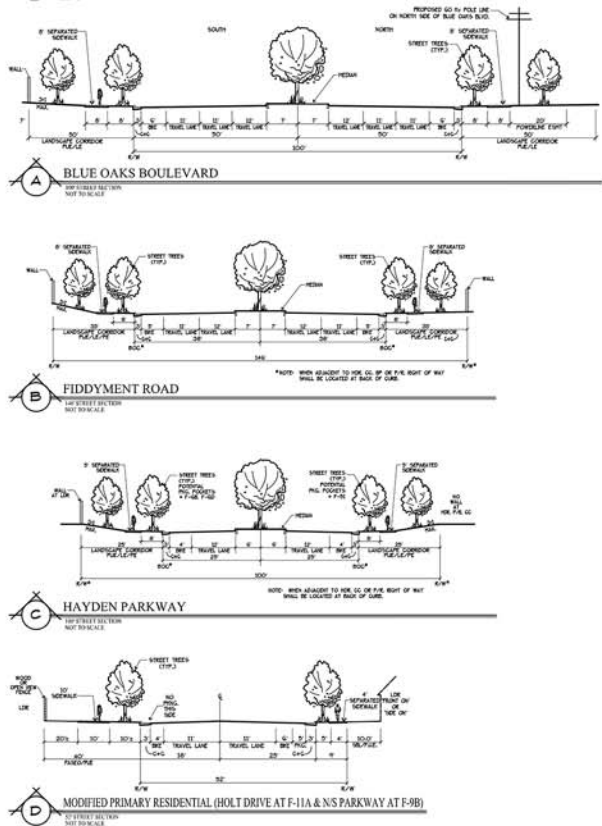
LAND USE SUMMARY

| SPECIFIC PLAN DESIGNATION | LAND USE                   | ACRES ± | DWELLING UNITS | NO. OF PARCELS |
|---------------------------|----------------------------|---------|----------------|----------------|
| LDR                       | LOW DENSITY RESIDENTIAL    | 406.36  | 1,858          | 17             |
| MDR                       | MEDIUM DENSITY RESIDENTIAL | 55.73   | 609            | 3              |
| HDR                       | HIGH DENSITY RESIDENTIAL   | 19.52   | 472            | 2              |
| CC                        | COMMUNITY COMMERCIAL       | 5.57    | -              | 1              |
| PR                        | PARK                       | 49.41   | -              | 7              |
| P/QP                      | PUBLIC/QUAS PUBLIC         | 11.69   | -              | 1              |
| OS                        | OPEN SPACE                 | 241.63  | -              | 3              |
| ROW                       | HAYDEN PARKWAY             | 12.60   | -              | -              |
| TOTAL                     |                            | 802.71  | 2,949          | 34             |

LAND USE SUMMARY BY PARCEL

| VILLAGE NO.       | SPECIFIC PLAN DESIGNATION | LAND USE             | ZONE | GROSS ACRES± | UNITS |
|-------------------|---------------------------|----------------------|------|--------------|-------|
| F-6A              | LDR                       | SINGLE FAMILY        | RSOS | 35.49        | 155   |
| F-7               | LDR                       | SINGLE FAMILY        | RSOS | 23.49        | 115   |
| F-8C              | LDR                       | SINGLE FAMILY        | RSOS | 15.50        | 83    |
| F-8D              | LDR                       | SINGLE FAMILY        | RSOS | 11.68        | 35    |
| F-9A              | LDR                       | SINGLE FAMILY        | RSOS | 28.01        | 121   |
| F-9B              | LDR                       | SINGLE FAMILY        | RSOS | 16.02        | 70    |
| F-9C              | LDR                       | SINGLE FAMILY        | RSOS | 20.71        | 83    |
| F-9D              | LDR                       | SINGLE FAMILY        | RSOS | 12.38        | 40    |
| F-10A             | LDR                       | SINGLE FAMILY        | RSOS | 29.09        | 122   |
| F-10B             | LDR                       | SINGLE FAMILY        | RSOS | 23.51        | 116   |
| F-10C             | LDR                       | SINGLE FAMILY        | RSOS | 20.43        | 90    |
| F-11A             | LDR                       | SINGLE FAMILY        | RSOS | 32.46        | 161   |
| F-11B             | LDR                       | SINGLE FAMILY        | RSOS | 20.50        | 108   |
| F-13A             | LDR                       | SINGLE FAMILY        | RSOS | 19.81        | 90    |
| F-13B             | LDR                       | SINGLE FAMILY        | RSOS | 33.22        | 159   |
| F-19A             | LDR                       | SINGLE FAMILY        | RSOS | 31.13        | 155   |
| F-19B             | LDR                       | SINGLE FAMILY        | RSOS | 32.73        | 143   |
| F-6C              | MDR                       | SINGLE FAMILY        | RSOS | 26.62        | 300   |
| F-8B              | MDR                       | SINGLE FAMILY        | RSOS | 11.79        | 127   |
| F-11B             | MDR                       | SINGLE FAMILY        | RSOS | 17.31        | 162   |
| F-8A              | HDR                       | MULTI-FAMILY         | R3   | 6.11         | 195   |
| F-8A              | HDR                       | MULTI-FAMILY         | R3   | 11.41        | 277   |
| F-6D              | CC                        | COMMUNITY COMMERCIAL | CC   | 5.57         | -     |
| F-51              | PR                        | PARK                 | PR   | 12.19        | -     |
| F-55              | PR                        | REGIONAL PARK        | PR   | 31.09        | -     |
| F-94              | PR                        | POCKET PARK          | PR   | 1.25         | -     |
| F-95              | PR                        | POCKET PARK          | PR   | 1.27         | -     |
| F-96              | PR                        | POCKET PARK          | PR   | 1.30         | -     |
| F-97              | PR                        | POCKET PARK          | PR   | 1.32         | -     |
| F-101             | PR                        | POCKET PARK          | PR   | 1.00         | -     |
| F-71              | P/QP                      | ELEMENTARY SCHOOL    | P/QP | 11.69        | -     |
| F-80              | OS                        | OPEN SPACE           | P/QP | 131.64       | -     |
| F-84              | OS                        | OPEN SPACE           | P/QP | 61.49        | -     |
| F-85              | OS                        | OPEN SPACE           | P/QP | 26.50        | -     |
| ROW / HAYDEN PKWY | -                         | -                    | -    | 12.60        | -     |
| TOTAL             |                           |                      |      | 802.71       | 2,949 |

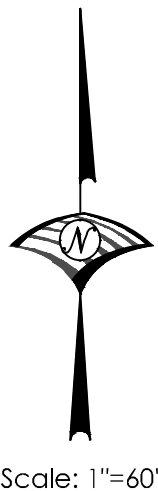
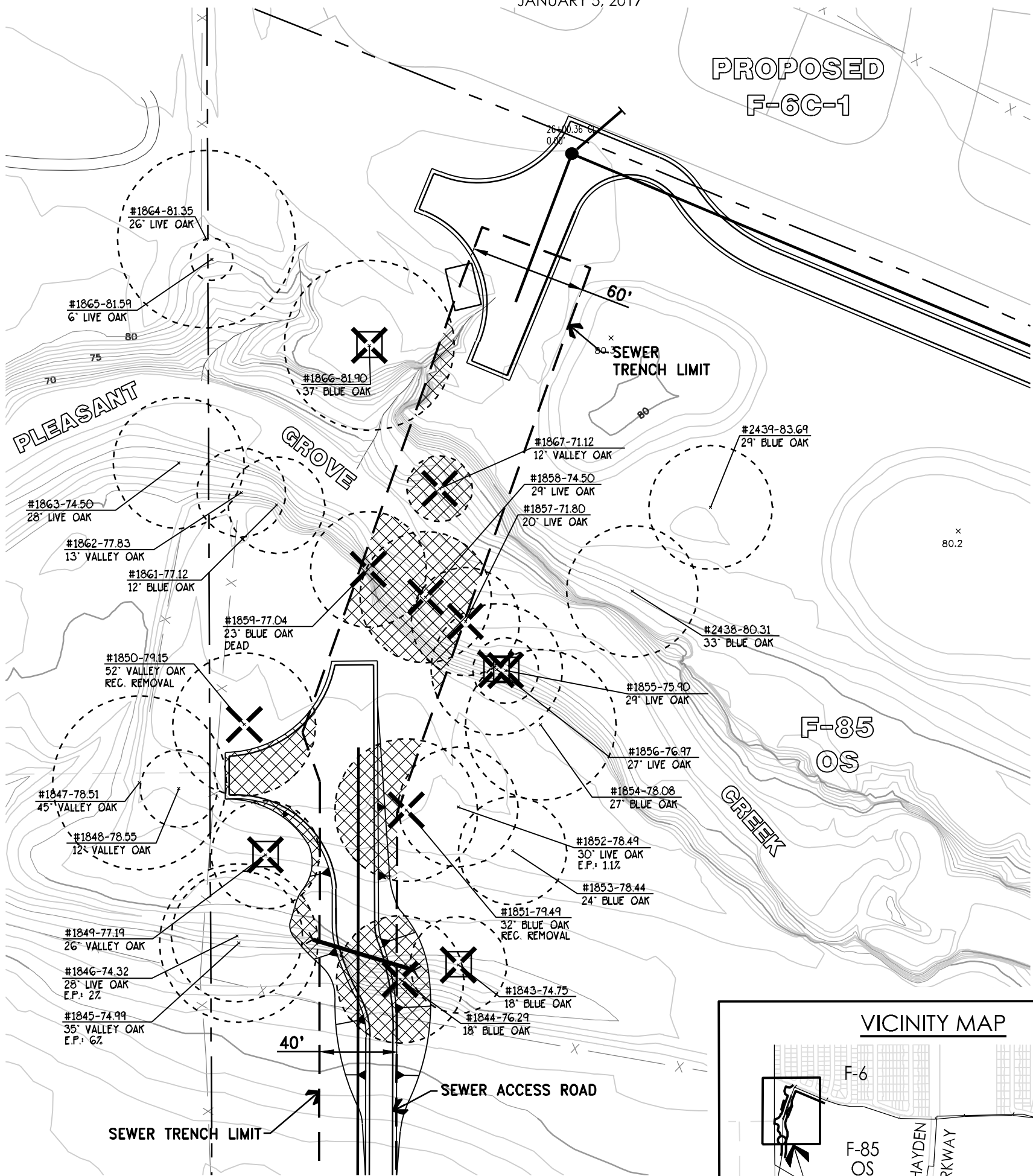
(NOTE: GROSS ACRES ARE CALCULATED TO THE LARGE LOT PARCEL LINE AND VARY FROM THE AREAS SHOWN ON THE CONCEPTUAL LAND USE PLAN WHICH EXCLUDE THE ADJACENT PASEOS AND/OR RIGHT OF WAY (R.O.W.) ACRES. THE DWELLING UNIT COUNTS ARE CONSISTENT WITH THE CONCEPTUAL LAND USE PLAN.



**WOOD RODGERS**  
ENGINEERING • MAPPING • PLANNING • SURVEYING  
3301 C St, Bldg. 100-B Tel 916.341.7760  
Sacramento, CA 95816 Fax 916.341.7767



TREE REMOVAL EXHIBIT  
FIDDYMENT PHASE 2 & 3  
OFFSITE SEWER  
CITY OF ROSEVILLE, CALIFORNIA  
JANUARY 5, 2017

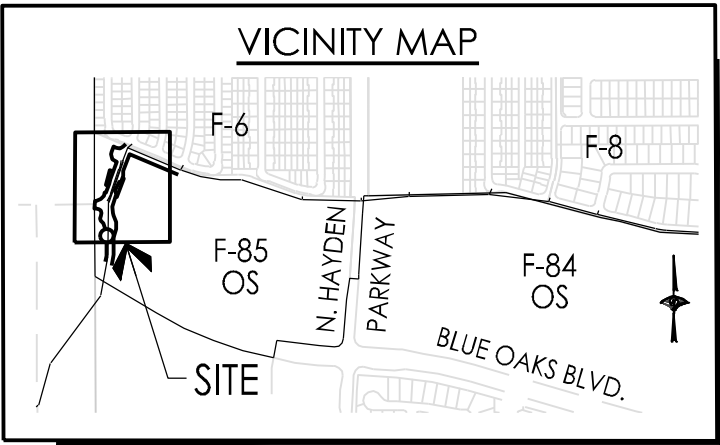


OAK TREES TO BE REMOVED

| TAG NO.                    | ELEV. | DESCRIPTION                 | DBH  | CONDITION    | PZR |
|----------------------------|-------|-----------------------------|------|--------------|-----|
| 1844                       | 76.29 | BLUE OAK W/32' DLR          | 18"  | FAIR         | 33' |
| 1850                       | 79.15 | VALLEY OAK W/36' DLR        | 52"  | FAIR/REMOVAL | 37' |
| 1851                       | 79.49 | BLUE OAK W/36' DLR          | 32"  | POOR/REMOVAL | 37' |
| 1857                       | 71.80 | INTERIOR LIVE OAK W/27' DLR | 20"  | FAIR         | 28' |
| 1858                       | 74.50 | INTERIOR LIVE OAK W/33' DLR | 29"  | POOR         | 34' |
| 1859                       | 77.04 | BLUE OAK W/0' DLR           |      | DEAD         |     |
| 1867                       | 71.12 | VALLEY OAK W/16' DLR        | 12"  | FAIR         | 17' |
| REMOVAL TOTAL - MITIGATION |       |                             | 163" |              |     |

OAK TREES TO BE CONDITIONALLY REMOVED

| TAG NO.                 | ELEV. | DESCRIPTION                 | DBH  | CONDITION | PZR | E.P. <sup>1</sup> |
|-------------------------|-------|-----------------------------|------|-----------|-----|-------------------|
| 1843                    | 74.75 | BLUE OAK W/24' DLR          | 18"  | POOR      | 25' | 11%               |
| 1849                    | 77.19 | VALLEY OAK W/27' DLR        | 26"  | FAIR      | 28' | 12%               |
| 1855                    | 75.96 | INTERIOR LIVE OAK W/16' DLR | 29"  | POOR      | 17' | 0%                |
| 1856                    | 76.97 | INTERIOR LIVE OAK W/33' DLR | 27"  | FAIR      | 34' | 9%                |
| 1866                    | 81.90 | BLUE OAK W/43' DLR          | 37"  | POOR      | 44' | 6%                |
| POTENTIAL REMOVAL TOTAL |       |                             | 137" |           |     |                   |



LEGEND

PRIOR TO CONSTRUCTION, FIELD DETERMINATION OF CONDITIONAL TREE REMOVALS TO BE FINALIZED BY PROJECT ARBORIST AND CITY STAFF.

TO BE REMOVED

TREE PROTECTED ZONE RADIUS (PZR)

ENCROACHMENT ZONE

#1844-76.29 = TREE NUMBER - ELEVATION OF TREE  
18" BLUE OAK = DIAMETER AT BREAST HEIGHT & TYPE

1) E.P. = ENCROACHMENT PERCENTAGE  
2) ARBORIST REPORT PREPARED BY SIERRA NEVADA ARBORISTS, DATED JULY 2014. UPDATED JANUARY 2017  
3) APPLICANT WILL MITIGATE FOR TREE REMOVALS ON-SITE TO THE EXTENT FEASIBLE WITH PAYMENT OF IN-LEIU FEES TO MAKE UP ANY SHORTFALL.  
4) REMOVAL MITIGATION INCHES: 163" (DOES NOT INCLUDE 38" DEAD TREES) + CONDITIONAL REMOVAL INCHES: 137" = 300" TOTAL.

**ARBORIST REPORT,  
TREE INVENTORY SUMMARY,  
AND IMPACT ASSESSMENT**

**FIDDYMENT RANCH PHASE 2 & 3  
OFFSITE SEWER PROJECT SITE  
City of Roseville, California**

**Prepared for:**

**Stephen M. Hicks  
Signature Homes  
3500 Douglas Blvd., Suite 210  
Roseville, California 95661**

**Prepared by:**

**Edwin E. Stirtz  
International Society of Arboriculture  
Certified Arborist WE-0510A  
ISA Tree Risk Assessment Qualified  
Member, American Society of Consulting Arborists**



**SIERRA NEVADA ARBORISTS**  
**7425 W 4<sup>th</sup> Street**  
**Rio Linda, California 95673**

**February 2, 2017**

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### **APPENDICES:**

- A. Tree Inventory Summary (sorted by tree number)

## **COPYRIGHT STATEMENT**

This consultant's report, dated February 2, 2017, is for the exclusive and confidential use of Signature Homes concerning potential development of the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site, located in the City of Roseville, California. Any use of this report, the accompanying appendices, or portions thereof, other than for project review and approval by appropriate governmental authorities, shall be subject to and require the written permission of Sierra Nevada Arborists. Unauthorized modification, distribution and/or use of this report, including the data or portions thereof contained within the accompanying appendices, is strictly prohibited.

## **QUALIFICATION STATEMENT**

Sierra Nevada Arborists is a fully insured, Rio Linda-based arboriculture consulting firm founded in January of 1998 by its Principal, Edwin E. Stirtz. Mr. Stirtz is an ISA Certified Arborist and is ISA Tree Risk Assessment Qualified. He is a member of the American Society of Consulting Arborists and International Society of Arboriculture. Mr. Stirtz possesses in excess of 30 years of experience in horticulture and arboriculture, both maintenance and construction, and has spent the last 23 years as a consulting and preservation specialist in the Sacramento and surrounding regions.

## **INTRODUCTION**

Sierra Nevada Arborists is pleased to present this Arborist Report, Tree Inventory Summary and Impact Assessment for the trees located within and/or overhanging the property located at the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site in the City of Roseville, California. This Arborist Report, Tree Inventory Summary and Impact Assessment memorializes tree data obtained by Edwin E. Stirtz, ISA Certified Arborist WE-0510A, at the time of field reconnaissance and inventory efforts on December 20, 2016.

## **SCOPE OF INVENTORY EFFORT**

The City of Roseville Municipal Code, Chapter 19.66, Tree Preservation, defines a “Protected Tree” as any native oak tree equal to or greater than six inches diameter at breast height (DBH) measured as a total of a single trunk or multiple trunks.

At the request of Signature Homes, on December 20 2016, Sierra Nevada Arborists visited the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site located in the City of Roseville, California. The purpose of this field reconnaissance effort was to identify, inventory and comment upon the current structure and vigor of the “protected trees” located within and/or overhanging the project boundaries as depicted on the Tree Removal Exhibit provided to our office.

This Arborist Report, Tree Inventory Summary, and Impact Assessment presents information concerning the species, size, and current condition of the trees meeting the criteria detailed above within the proposed project area, along with initial pre-development recommendations on a tree-by-tree basis which logically follow the characteristics noted within the trees at the time of field inventory efforts. Information concerning the nature and extent of root system and canopy impacts which will be sustained by the trees from proposed development activities, along with specific tree-by-tree mitigation recommendations for the trees which will sustain encroachment into their protected root zones can be provided in a Supplemental Arborist Report and Construction Impact Assessment once development plans have been refined and finalized for the proposed project area.

## **METHODOLOGY**

During field reconnaissance and inventory efforts, Edwin E. Stirtz of Sierra Nevada Arborists conducted a visual review from ground level of the trees within and/or overhanging the selected lots within the project area as depicted on the project grading plans. The trees which met the defined criteria were identified in the field by preexisting numbers affixed to the tree trunks. The tree numbers utilized in this report and accompanying Tree Inventory Summary correspond to the tree tags which were affixed to the trees in the field, and those tree numbers

or grouping of numbers were rough-plotted on the attached Tree Inventory Aerial Exhibit so that the precise vertical and horizontal location of the trees may be surveyed in the field by a licensed land surveyor and data for the trees (i.e. tree number, diameter, dripline and protected root zone radii) may be properly depicted on future development plans and Tree Location Exhibit.

At the time of field identification and inventory efforts specific data was gathered for each tagged tree including the tree's species, diameter measured at breast height ("DBH") and dripline radius ("DLR"). Utilizing this data the tree's overall structural condition and vigor were separately assessed ranging from "excellent"<sup>1</sup> to "poor" based upon the observed characteristics noted within the tree and the Arborist's best professional judgment. Ratings are subjective and are dependent upon both the structure and vigor of the tree. The vigor rating considers factors such as the size, color and density of the foliage; the amount of deadwood within the canopy; bud viability; evidence of wound closure; and the presence or evidence of stress, disease, nutrient deficiency and insect infestation. The structural rating reflects the root crown/collar, trunk and branch configurations; canopy balance; the presence of included bark, weak crotches and other structural defects and decay and the potential for structural failure. Finally, notable characteristics were documented and recommendations on a tree-by-tree basis were made which logically followed the observed characteristics noted within the trees at the time of the field inventory effort. The recommendations are based on the assumption that the tree would be introduced into a developed environment and may require maintenance and/or may not be suitable for retention within a post-development setting.

### **SUMMARY OF INVENTORY EFFORT**

Field reconnaissance and inventory efforts found 26 trees measuring 4 inches in diameter and larger measured at breast height within and/or overhanging the proposed project area. Composition of the 26 inventoried trees includes the following species and accompanying aggregate diameter inches:

| SPECIES DIVERSIFICATION |   |                 |                                        |
|-------------------------|---|-----------------|----------------------------------------|
| Blue Oak                | = | 9 trees         | (236 aggregate diameter inches)        |
| Interior Live Oak       | = | 9 trees         | (223 aggregate diameter inches)        |
| Valley Oak              | = | 8 trees         | (206 aggregate diameter inches)        |
| <b>TOTAL</b>            | = | <b>26 trees</b> | <b>(665 aggregate diameter inches)</b> |

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<sup>1</sup> It is rare that a tree qualifies in an "excellent" category, and it should be noted that there were no trees observed within the project area which fell within the criteria of an "excellent" or "good" rating. A complete description of the terms and ratings utilized in this report and accompany inventory summary are found on pages 9-10.

## **CONSTRUCTION IMPACT ASSESSMENT**

On December 9, 2016, Sierra Nevada Arborists received for review and assessment a Tree Removal Exhibit for the project improvement plans depicting the proposed grading activities for the Fiddymment Ranch Phase 2 & 3 Offsite Sewer Project Site. Along with this, Sierra Nevada Arborists was asked to prepare an assessment of tree impacts which may be sustained by the protected trees from the depicted construction activities.

### **Removals and Mitigation Overview**

At this time, 10 trees have been recommended for removal from the proposed project area due to the nature and extent of defects, compromised health, and/or structural instability noted at the time of field inventory efforts. If these trees were retained within the proposed project area it is our opinion that they may be hazardous depending upon their proximity to planned development activities.

For reference, the trees which have been recommended for removal due to the severity of noted defects, compromised health and/or structural instability are highlighted in green within the accompanying inventory summaries and are briefly summarized as follows:

| TREE # | COMMON NAME       | SPECIES               | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |       |
|--------|-------------------|-----------------------|----------------------|--------------------|------------|------------------------|-------|
|        |                   |                       |                      |                    |            | STRUCTURE              | VIGOR |
| 1850   | Valley Oak        | <i>(Q lobata)</i>     |                      | 52                 | 36         | Poor                   | Fair  |
| 1851   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 32                 | 36         | Poor                   | Poor  |
| 1861   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 12                 | 24         | Poor                   | Poor  |
| 1864   | Interior Live Oak | <i>(Q wislizenii)</i> |                      | 26                 | 45         | Poor                   | Poor  |
| 6671   | Valley Oak        | <i>(Q lobata)</i>     |                      | 41                 | 42         | Poor to fair           | Fair  |

The trees which have been recommended for removal due to construction activities are also highlighted in green within the accompanying inventory summaries and briefly summarized as follows:

| TREE # | COMMON NAME       | SPECIES               | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet)   | CONDITIONAL ASSESSMENT |              |
|--------|-------------------|-----------------------|----------------------|--------------------|--------------|------------------------|--------------|
|        |                   |                       |                      |                    |              | STRUCTURE              | VIGOR        |
| 1844   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 18                 | 32           | Fair                   | Fair         |
| 1857   | Interior Live Oak | <i>(Q wislizenii)</i> |                      | 20                 | 27           | Fair                   | Fair         |
| 1858   | Interior Live Oak | <i>(Q wislizenii)</i> |                      | 29                 | 33           | Poor to fair           | Poor to fair |
| 1859   | Blue Oak          | <i>(Q douglasii)</i>  |                      | 23                 | Tree is Dead |                        |              |
| 1867   | Valley Oak        | <i>(Q lobata)</i>     |                      | 12                 | 16           | Poor to fair           | Fair         |

### **Encroachments**

A review of the referenced plans finds that 14 trees will sustain encroachment into their protected root zones from contemplated construction activities as depicted on the referenced plans. The trees which will sustain encroachment from the proposed construction activities have been noted within the accompanying Tree Inventory Summary and Impact Assessment, along with a description of the perceived impacts. The perceived impacts have been rated as either less than 20% or greater than 20% and general and specific recommendations on a tree-by-tree basis have been provided to help reduce adverse impacts from construction on the trees which will be retained within the project area. All recommended activities should be performed by an ISA Certified Arborist employed by a licensed and fully-insured tree maintenance company in accordance with current American National Standards Institute (ANSI) A300 standards, specifically including Parts 1 and 2, as updated in 2001 regarding arboricultural practices, tree pruning and subsurface liquid fertilization injection, as well as ANSI Standard 2133.1-2000 regarding safety practices, and the International Society of Arboriculture published Best Management Practices.

### **GENERAL COMMENTS AND ARBORISTS' DISCLAIMER**

The City of Roseville regulates both the removal of “protected trees” and the encroachment of construction activities within their driplines. Therefore, a tree permit and/or additional development authorization should be obtained from the City of Roseville prior to the removal of any trees within the proposed project area. All terms and conditions of the tree permit and/or other Conditions of Approval are the sole and exclusive responsibility of the project applicant. It should be noted that prior to final inspection written verification from an ISA

Certified Arborist may be required certifying the approved removal activities and/or implementation of other Conditions of Approval outlined for the retained trees on the site. ***Sierra Nevada Arborists will not provide written Certification of Compliance unless we have been provided with a copy of the approved site development plans, applicable permits and/or Conditions of Approval, and are on site to monitor and observe regulated activities during the course of construction.*** Therefore, it will be necessary for the project applicant to notify Sierra Nevada Arborists well in advance (at least 72 hours prior notice) of any regulated activities which are scheduled to occur on site so that those activities can be properly monitored and documented for compliance certification.

Please bear in mind that implementation of the recommendations provided within this report will help to reduce adverse impacts of construction on the retained trees; however, implementation of any recommendations should not be viewed as a guarantee or warranty against the trees' ultimate demise and/or failure in the future. Arborists are tree specialists who use their education, knowledge, training and experience to examine trees, recommend measures to enhance the beauty and health of the trees and ***attempt to reduce the risk of living near trees.*** Arborists cannot detect every condition that could possibly lead to the structural failure of a tree. There are some inherent risks with trees that cannot be predicted with any degree of certainty, even by a skilled and experienced arborist. Entities who choose to construct homes on wooded property are accepting a certain level of risk from unpredictable tree related hazards such as toppling in storms, limbs falling and fires that may damage property at some time in the future. Since trees are living organisms their structure and vigor constantly change over time, and they are not immune to changes in site conditions or seasonal variations in the weather. Further, conditions are often hidden within the tree and/or below ground. Arborists and other tree care professionals cannot guarantee that a tree will be healthy and/or safe under all circumstances or for a specific period of time. Likewise remedial treatments cannot be guaranteed. Trees can be managed but they cannot be controlled. To develop land and live near trees is to accept some degree of risk and the only way to eliminate all risk associated with trees would be to eliminate all of the trees. ***An entity who develops land and builds a home with a tree in the vicinity should be aware of and inform their future residents of this Arborists' Disclaimer, and be further advised that the developer and the future residents assume the risk that a tree could at any time suffer a branch and/or limb failure, blow over in a storm and/or fail for no apparent reason which may cause bodily injury or property damage.*** Sierra Nevada Arborists cannot predict acts of nature including, without limitation, storms of sufficient strength which can even take down a tree with a structurally sound and vigorous appearance.

Finally, the trees preserved within and/or overhanging the proposed project area will experience a physical environment different from the pre-development environment. As a result, tree health and structural stability should be regularly monitored. Occasional pruning, fertilization, mulch, pest management, replanting and/or irrigation may be required. In addition, ***provisions for monitoring both tree health and structural stability following construction must be made a priority.*** As trees age, the likelihood of failure of branches or entire trees increases. Therefore, ***the future management plan must include an annual inspection*** by a qualified ISA Certified Arborist to keep abreast of the trees' changing

condition(s) and to assess the trees' ongoing structural integrity and potential for hazard in a developed environment.

Thank you for allowing Sierra Nevada Arborists to assist you with this review. Please feel free to give me a call if you have any questions or require additional information and/or clarification.

Sincerely,

A handwritten signature in cursive script, reading "Edwin E. Stirtz".

Edwin E. Stirtz  
International Society of Arboriculture  
Certified Arborist WE-0510A  
ISA Tree Risk Assessment Qualified  
Member, American Society of Consulting Arborists

### **ASSUMPTIONS AND LIMITING CONDITIONS**

1. Any legal description provided to the consultant is assumed to be correct. Any titles and ownership to any property are assumed to be good and marketable. No responsibility is assumed for matters legal in character. Any and all property is appraised or evaluated as though free and clear, under responsible ownership and competent management.
2. It is assumed that any property is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations.
3. Care has been taken to obtain all information from reliable sources. All data has been verified insofar as possible; however, the consultant can neither guarantee nor be responsible for the accuracy of information provided by others.
4. The consultant shall not be required to give a deposition and/or attend court by reason of this report unless subsequent contractual arrangements are made for in advance, including payment of an additional fee for such services according to our standard fee schedule, adjusted yearly, and terms of the subsequent contract of engagement.
5. Loss or alteration of any part of this report invalidates the entire report. Ownership of any documents produced passes to the Client only when all fees have been paid.
6. Possession of this report or a copy thereof does not imply right of publication or use for any purpose by any other than the person to whom it is addressed, without the prior expressed written or verbal consent of the consultant.
7. Neither all nor any part of the contents of this report, nor copy thereof, shall be conveyed by anyone, including the client, to the public through advertising, public relations, news, sales, or other media, without the prior expressed written or verbal consent of the consultant, particularly as to value conclusions, identity of the consultant, or any reference to any professional society or institute or to any initialed designation conferred upon the consultant as stated in his qualifications.
8. This report and any values expressed herein represent the opinion of the consultant and the consultant's fee is in no way contingent upon the reporting of a specified value, a stipulated result, the occurrence of a subsequent event, nor upon any finding to be reported.
9. Sketches, diagrams, graphs, drawings and photographs within this report are intended as visual aids and are not necessarily to scale and should not be construed as engineering or architectural reports or surveys. The reproduction of information generated by other consultants is for coordination and ease of

reference. Inclusion of such information does not constitute a representation by the consultant as to the sufficiency or accuracy of the information.

10. Unless expressed otherwise: 1) information contained in this report covers only those items that were examined and reflects the condition of those items at the time of inspection; and 2) the inspection is limited to visual examination of accessible items without laboratory analysis, dissection, excavation, probing or coring, unless otherwise stated.
11. There is no warranty or guarantee, expressed or implied, that problems or deficiencies of the plants or property in question may not arise in the future.
12. This report is based on the observations and opinions of Edwin E. Stirtz, and does not provide guarantees regarding the future performance, health, vigor, structural stability or safety of the plants described herein. Neither this author nor Sierra Nevada Arborists has assumed any responsibility for liability associated with the trees on or adjacent to this Project Site, their future demise and/or any damage which may result therefrom.
13. The information contained within this report is true to the best of the author's knowledge and experience as of the date it was prepared; however, certain conditions may exist which only a comprehensive, scientific, investigation might reveal which should be performed by other consulting professionals.
14. The legal description, dimensions, and areas herein are assumed to be correct. No responsibility is assumed for matters that are legal in nature.
15. Any changes to an established tree's environment can cause its decline, death and/or structural failure.

## **DEFINITIONS**

|                          |                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|--------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Tree Number:             | Corresponds to aluminum tag attached to the tree.                                                                                                                                                                                                                                                                                                                                                                                                |
| Species Identification:  | Scientific and common species name.                                                                                                                                                                                                                                                                                                                                                                                                              |
| Diameter (“DBH”):        | This is the trunk diameter measured at breast height (industry standard 4.5 feet above ground level).                                                                                                                                                                                                                                                                                                                                            |
| Dripline radius (“DLR”): | A radius equal to the horizontal distance from the trunk of the tree to the end of the farthest most branch tip prior to any cutting. When depicted on a map, the dripline will appear as an irregularly shaped circle that follows the contour of the tree’s branches as seen from overhead.                                                                                                                                                    |
| Protected Zone:          | A circle equal to the largest radius of a protected tree’s dripline plus 1 foot.                                                                                                                                                                                                                                                                                                                                                                 |
| Root Crown:              | Assessment of the root crown/collar area located at the base of the trunk of the tree at soil level.                                                                                                                                                                                                                                                                                                                                             |
| Trunk:                   | Assessment of the tree’s main trunk from ground level generally to the point of the primary crotch structure.                                                                                                                                                                                                                                                                                                                                    |
| Limbs:                   | Assessment of both smaller and larger branching, generally from primary crotch structure to branch tips.                                                                                                                                                                                                                                                                                                                                         |
| Foliage:                 | Tree’s leaves.                                                                                                                                                                                                                                                                                                                                                                                                                                   |
| Overall Condition:       | Describes overall condition of the tree in terms of structure and vigor.                                                                                                                                                                                                                                                                                                                                                                         |
| Recommendation:          | Pre-development recommendations based upon observed characteristics noted at the time of the field inventory effort.                                                                                                                                                                                                                                                                                                                             |
| Obscured:                | Occasionally some portion of the tree may be obscured from visual inspection due to the presence of dense vegetation which, during the course of inspection for the arborist report, prevented a complete evaluation of the tree. In these cases, if the tree is to be retained on site the vegetation should be removed to allow for a complete assessment of the tree prior to making final decisions regarding the suitability for retention. |

### **TREE CONDITION RATING CRITERIA**

| <b>RATING TERM</b> | <b>ROOT CROWN</b>                                                                                                                                                                                                                         | <b>TRUNK</b>                                                                                                                                                                                                                                                     | <b>LIMBS</b>                                                                                                                                                                                       | <b>FOLIAGE</b>                                                                                                                                                                                                                                                                                                                                    | <b>STRUCTURE</b>                                                                                                                                                                                                 | <b>VIGOR</b>                                                                                                                                                                    |
|--------------------|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| Good               | No apparent injuries, decay, cavities or evidence of hollowing; no anchoring roots exposed; no indications of infestation or disease                                                                                                      | No apparent injuries, decay, cavities or evidence of hollowing; no codominant attachments or multiple trunk attachments are observed; no indications of infestation or disease                                                                                   | No apparent injuries, decay, cavities or evidence of hollowing; below average amount of dead limbs or twigs; no major limb failures or included bark; callus growth is vigorous                    | Leaf size, color and density are typical for the species; buds are normal in size, viable, abundant and uniform throughout the canopy; annual seasonal growth increments are average or above average; no insect or disease infestations/ infections evident                                                                                      | No apparent structural defects; no weak crotches; no excessively weighted branches and no significant cavities or decay                                                                                          | Tree appears healthy and has little or no significant deadwood; foliage is normal and healthy                                                                                   |
| Fair               | Small to moderate injuries, decay, cavities or hollowing may be evident but are not currently affecting the overall structure; some evidence of infestation or disease may be present but is not currently affecting the tree's structure | Small to moderate injuries, decay, cavities or hollowing may be evident; codominant branching or multiple trunk attachments or minor bark inclusion may be observed; some infestation or disease may be present but not currently affecting the tree's structure | Small to moderate injuries, decay or cavities may be present; average or above average dead limbs or twigs may be present; some limb failures or bark inclusion observed; callus growth is average | Leaf size, color and density are typical or slightly below typical for the species; buds are normal or slightly sparse with potentially varied viability, abundance and distribution throughout the canopy; annual seasonal growth increments are average or slightly below average; minor insect or disease infestation/infection may be present | Minor structural problems such as weak crotches, minor wounds and/or cavities or moderate amount of excessive weight; non-critical structural defects which can be mitigated through pruning, cabling or bracing | Tree appears stressed or partially damaged; minimal vegetative growth since previous season; moderate amount of deadwood, abnormal foliage and minor lesions or cambium dieback |
| Poor               | Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the overall structure; presence of infestation or disease may be significant and affecting the tree's structure                                | Moderate to severe injuries, decay, cavities or hollowing may be evident and are affecting the tree's structure; presence of infestation or disease may be significant and affecting the tree's structure                                                        | Severe injuries, decay or cavities may be present; major deadwood, twig dieback, limb failures or bark inclusion observed; callus growth is below average                                          | Leaf size, color and density are obviously abnormal; buds are obviously abnormal or absent; annual seasonal growth is well below average for the species; insect or disease problems may be severe                                                                                                                                                | Obvious major structural problems which cannot be corrected with mitigation; potential for major limb, trunk or root system failure is high; significant decay or dieback may be present                         | Tree health is declining; no new vegetative growth; large amounts of deadwood; foliage is severely abnormal                                                                     |

The ratings "good to fair" and "fair to poor" are used to describe trees that fall between the described major categories and have elements of both

### **GENERAL PROTECTION GUIDELINES FOR TREES PLANNED FOR PRESERVATION**

Great care must be exercised when work is conducted upon or around protected trees. The purpose of these General Protection Measures is to provide guidelines to protect the health of the affected protected trees. These guidelines apply to all encroachments into the protected zone of a protected tree, and may be incorporated into tree permits and/or other Conditions of Approval as deemed appropriate by the applicable governing body.

- ☐ A circle with a radius measurement from the trunk of the tree to the tip of its longest limb, plus one foot, shall constitute the critical root zone protection area of each protected tree. Limbs must not be cut back in order to change the dripline. The area beneath the dripline is a critical portion of the root zone and defines the minimum protected area of each protected tree. Removing limbs that make up the dripline does not change the protected area.
- ☐ Any protected trees on site which require pruning shall be pruned by an ISA Certified Arborist prior to the start of construction work. All pruning shall be in accordance with the American National Standards Institute (ANSI) A300 pruning standards, ANSI Standard 2133.1-2000 regarding safety practices, and the International Society of Arboriculture (ISA) "Tree Pruning Guidelines" and Best Management Practices.
- ☐ Prior to initiating construction, temporary protective fencing shall be installed at least one foot outside the root protection zone of the protected trees in order to avoid damage to the tree canopies and root systems. Fencing shall be installed in accordance with the approved fencing plan prior to the commencement of any grading operations or such other time as determined by the review body. The developer shall contact the Project Arborist and the Planning Department for an inspection of the fencing prior to commencing construction activities on site.
- ☐ Signs shall be installed on the protective fence in four (4) equidistant locations around each individual protected tree. The size of each sign must be a minimum of two (2) feet by two (2) feet and must contain the following language:

**WARNING: THIS FENCE SHALL NOT BE REMOVED OR RELOCATED  
WITHOUT WRITTEN AUTHORIZATION FROM THE CITY OF  
ROSEVILLE.**

Once approval has been obtained by the City of Roseville protective fencing shall remain in place throughout the entire construction period and shall not be removed, relocated, taken down or otherwise modified in whole or in part without prior written authorization from the Agency, or as deemed necessary by the Project Arborist to facilitate approved activities within the root protection zone.

- ☐ Any removal of paving or structures (i.e. demolition) that occurs within the dripline of a protected tree shall be done under the direct supervision of the Project Arborist. To the maximum extent feasible, demolition work within the dripline protection area of the protected tree shall be performed by hand. If the Project Arborist determines that it is not feasible to perform some portion(s) of this work by hand, then the smallest/lightest weight equipment that will adequately perform the demolition work shall be used.
- ☐ No signs, ropes, cables (except those which may be installed by an ISA Certified Arborist to provide limb support) or any other items shall be attached to the protected trees. Small metallic numbering tags for the purpose of identification in preparing tree reports and inventories shall be allowed.
- ☐ No vehicles, construction equipment, mobile homes/office, supplies, materials or facilities shall be driven, parked, stockpiled or located within the driplines of protected trees.
- ☐ Drainage patterns on the site shall not be modified so that water collects, stands or is diverted across the dripline of any protected tree.
- ☐ No trenching shall be allowed within the driplines of protected trees, except as specifically approved by the Planning Department as set forth in the project's Conditions of Approval and/or approved tree permit. If it is absolutely necessary to install underground utilities within the dripline of a protected tree the utility line within the protected zone shall be "bored and jacked" or performed utilizing hand tools to avoid root injury under the direct supervision of the Project Arborist.
- ☐ Grading within the protected zone of a protected tree shall be minimized. Cuts within the protected zone shall be maintained at less than 20% of the critical root zone area. Grade cuts shall be monitored by the Project Arborist. Any damaged roots encountered shall be root pruned and properly treated as deemed necessary by the Project Arborist.
- ☐ Minor roots less than one (1) inch in diameter encountered during approved excavation and/or grading activities may be cut, but damaged roots shall be traced back and cleanly cut behind any split, cracked or damaged area as deemed necessary by the Project Arborist.
- ☐ Major roots greater than one (1) inch in diameter encountered during approved excavation and/or grading activities may not be cut without approval of the Project Arborist. Depending upon the type of improvement being proposed, bridging techniques or a new site design may need to be employed to protect the roots and the tree.

- ☐ Cut faces, which will be exposed for more than 2-3 days, shall be covered with dense burlap fabric and watered to maintain soil moisture at least on a daily basis (or possibly more frequently during summer months). If any native ground surface fabric within the protected zone must be removed for any reason, it shall be replaced within forty-eight (48) hours.
- ☐ If fills exceed 1 foot in depth up to 20% of the critical root zone area, aeration systems may serve to mitigate the presence of the fill materials as determined by the Project Arborist.
- ☐ When fill materials are deemed necessary on two or three sides of a tree it is critical to provide for drainage away from the critical root zone area of the tree (particularly when considering heavy winter rainfalls). Overland releases and subterranean drains dug outside the critical root zone area and tied directly to the main storm drain system are two options.
- ☐ In cases where a permit has been approved for construction of a retaining wall(s) within the protected zone of a protected tree the applicant will be required to provide for immediate protection of exposed roots from moisture loss during the time prior to completion of the wall. The retaining wall within the protected zone of the protected tree shall be constructed within seventy-two (72) hours after completion of grading within the root protection zone.
- ☐ The construction of impervious surfaces within the dripline of a protected tree shall be minimized. When necessary, a piped aeration system shall be installed under the direct supervision of the Project Arborist.
- ☐ Preservation devices such as aeration systems, tree wells, drains, special paving and cabling systems must be installed in conformance with approved plans and certified by the Project Arborist.
- ☐ No sprinkler or irrigation system shall be installed in such a manner that sprays water or requires trenching within the dripline of a protected tree. An above ground drip irrigation system is recommended. An independent low-flow drip irrigation system may be used for establishing drought-tolerant plants within the protected zone of a protected tree. Irrigation shall be gradually reduced and discontinued after a two (2) year period.
- ☐ All portions of permanent fencing that will encroach into the protected zone of a protected tree shall be constructed using posts set no closer than ten (10) feet on center. Posts shall be spaced in such a manner as to maximize the separation between the tree trunks and the posts in order to reduce impacts to the tree(s).

- Landscaping beneath native oak trees may include non-plant materials such as bark mulch, wood chips, boulders, etc. Planting live material under protected native oak trees is generally discouraged, and is not recommended within six (6) feet of the trunk of a native oak tree with a diameter at breast height (DBH) of eighteen (18) inches or less, or within ten (10) feet of the trunk of a native oak tree with a DBH of more than eighteen (18) inches. The only plant species which shall be planted within the dripline of native oak trees are those which are tolerant of the natural, semi-arid environs of the tree(s).

SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME       | SPECIES        | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |              |              |              | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                | IMPACTS                                                                                                                                            | MAINTENANCE AND MITIGATION RECOMMENDATIONS                                                                                                                    |
|--------|-------------------|----------------|----------------------|--------------------|------------|------------------------|--------------|--------------|--------------|--------------|--------------|--------------|------|-------------------|-------------|----------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |                |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE      | STRUCTR      | VIGOR        | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                        |                                                                                                                                                    |                                                                                                                                                               |
| 1843   | Blue Oak          | (Q douglasii)  |                      | 18                 | 24         | Poor to fair           | Fair         | Fair         | Fair         | Fair         | Fair         | 11%          |      |                   |             | Root crown slightly buried, north side; slightly above average amount of deadwood                                                      | Will sustain minor encroachment from grading/fill; <b>may require removal for sanitary sewer construction</b>                                      | Clearance pruning may be necessary; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary    |
| 1844   | Blue Oak          | (Q douglasii)  |                      | 18                 | 32         | Fair                   | Poor to fair | Poor to fair | Fair         | Fair         | Fair         |              | 37%  |                   | 18          | Trunk leans west, branching one-sided west; above average amount of deadwood                                                           | Would sustain moderate to significant encroachment from trench and/or construction access; <b>requires removal for sanitary sewer construction</b> | Remove to facilitate sewer construction                                                                                                                       |
| 1845   | Valley Oak        | (Q lobata)     |                      | 35                 | 40         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 6%           |      |                   |             | Slightly above average amount of deadwood                                                                                              | Will sustain minor encroachment from grading/fill                                                                                                  | Clearance pruning may be necessary; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary    |
| 1846   | Interior Live Oak | (Q wislizenii) |                      | 28                 | 33         | Poor                   | Poor         | Poor to fair | Poor to fair | Poor         | Poor to fair | 2%           |      |                   |             | Root system failure resulted in trunk lying on grade; above average amount of deadwood                                                 | Will sustain minor encroachment from grading/fill                                                                                                  | Clearance and crown clean out pruning; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary |
| 1847   | Blue Oak          | (Q douglasii)  |                      | 45                 | 44         | Fair                   | Poor to fair | Fair         | Fair         | Poor to fair | Fair         | 0%           |      |                   |             | Embedded/girdling wire in trunk; inherently weak primary crotch with embedded bark; above average amount of deadwood                   | No encroachment depicted                                                                                                                           | Cut wire at trunk; install cable system to help support primary crotch; construction clearance pruning may be necessary                                       |
| 1848   | Valley Oak        | (Q lobata)     |                      | 12                 | 19         | Fair                   | Poor to fair | Fair         | Fair         | Fair         | Fair         | 0%           |      |                   |             | Suppressed, one-sided east ; above average amount of deadwood                                                                          | No encroachment depicted                                                                                                                           | Construction clearance pruning may be necessary                                                                                                               |
| 1849   | Valley Oak        | (Q lobata)     |                      | 26                 | 27         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 12%          |      |                   |             | Slightly above average amount of deadwood                                                                                              | Will sustain minor encroachment from grading/fill; <b>may require removal for sanitary sewer construction</b>                                      | Clearance and crown clean out pruning; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary |
| 1850   | Valley Oak        | (Q lobata)     |                      | 52                 | 36         | Fair                   | Poor         | Poor to fair | Fair         | Poor         | Fair         |              | 28%  | 52                |             | 3 old scaffold limb failures have resulted in Significant trunk hollowing at 12' and 14' above grade; above average amount of deadwood | Will sustain minor to moderate encroachment for construction access; <b>may require removal for sanitary serwer construction</b>                   | <b>Recommend removal due to nature and extent of noted defects</b>                                                                                            |

SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME       | SPECIES        | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |              |              |              | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                                                                                                     | IMPACTS                                                                                                                                              | MAINTENANCE AND MITIGATION RECOMMENDATIONS                                                                                                                    |
|--------|-------------------|----------------|----------------------|--------------------|------------|------------------------|--------------|--------------|--------------|--------------|--------------|--------------|------|-------------------|-------------|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |                |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE      | STRUCTR      | VIGOR        | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                                                                                                             |                                                                                                                                                      |                                                                                                                                                               |
| 1851   | Blue Oak          | (Q douglasii)  |                      | 32                 | 36         | Poor                   | Poor         | Poor to fair | Poor to fair | Poor         | Poor         |              | 37%  | 32                |             | Callusing basal, lower trunk wounds various locations with moderate to significant decay; inherently weak primary crotch with embedded bark; above average amount of deadwood; one primary lead; 80% dead and failed at top | Will sustain moderate to significant encroachment from trench and/or construction access; <b>may require removal for sanitary sewer construction</b> | <b>Recommend removal due to nature and extent of noted defects</b>                                                                                            |
| 1852   | Interior Live Oak | (Q wislizenii) |                      | 30                 | 30         | Poor to fair           | Poor to fair | Poor to fair | Fair         | Poor to fair | Fair         | 1%           |      |                   |             | Measured 1' above grade; Callusing basal, lower trunk wounds various locations with minor decay; above average amount of deadwood                                                                                           | Will sustain minor encroachment from grading/fill                                                                                                    | Clearance and crown clean out pruning; deep root fertilization; excavation activities within PZR to be monitored by Project Arborist; root prune as necessary |
| 1853   | Blue Oak          | (Q douglasii)  |                      | 24                 | 27         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 0%           |      |                   |             | Slightly above average amount of deadwood; small callusing wound, southerly stem, 15' above grade; branching one-sided north and west                                                                                       | No encroachment depicted                                                                                                                             | Minor clearance pruning may be necessary                                                                                                                      |
| 1854   | Blue Oak          | (Q douglasii)  |                      | 27                 | 38         | Fair                   | Poor to fair | Fair         | Fair         | Poor to fair | Fair         | 0%           |      |                   |             | Northerly primary crotch has small fissure with embedded bark; average amount of deadwood                                                                                                                                   | No encroachment depicted                                                                                                                             | Minor clearance pruning may be necessary; clean out crown; install cable system to help support northerly crotch                                              |
| 1855   | Interior Live Oak | (Q wislizenii) | 8,12                 | 29                 | 16         | Poor to fair           | Poor         | Poor         | Poor to fair | Poor to fair | Poor to fair | 0%           |      |                   |             | Suppressed, trunk leans south and east; above average amount of deadwood; somewhat sparse foliage                                                                                                                           | No encroachment depicted                                                                                                                             | <b>None at this time; integrity/longevity questionable; may require construction clearance pruning</b>                                                        |
| 1856   | Interior Live Oak | (Q wislizenii) |                      | 27                 | 33         | Fair                   | Fair         | Fair         | Fair         | Fair         | Fair         | 9%           |      |                   |             | Above average amount of deadwood                                                                                                                                                                                            | Will sustain minor encroachment from excavation or construction access;                                                                              | Minor clearance pruning may be necessary                                                                                                                      |
| 1857   | Interior Live Oak | (Q wislizenii) |                      | 20                 | 27         | Fair                   | Poor to fair | Poor to fair | Fair         | Fair         | Fair         |              | 42%  |                   | 20          | Measured 3' above grade; above average amount of deadwood; somewhat sparse foliage                                                                                                                                          | Would sustain moderate to significant encroachment from trench and/or construction access; <b>removal required for sanitary sewer construction</b>   | Remove to facilitate sewer construction                                                                                                                       |
| 1858   | Interior Live Oak | (Q wislizenii) |                      | 29                 | 33         | Poor to fair           | Poor to fair | Poor         | Poor to fair | Poor to fair | Poor to fair |              | 78%  |                   | 29          | Measured 2' above grade; some lateral roots exposed from bank erosion; small trunk ruptures, various locations; several large dead limbs                                                                                    | Would sustain significant encroachment from trenching and construction access; <b>removal required for sanitary sewer construction</b>               | Remove to facilitate sewer construction                                                                                                                       |
| 1859   | Blue Oak          | (Q douglasii)  |                      | 23                 |            |                        |              |              |              |              |              |              |      |                   |             | <b>Tree is Dead</b>                                                                                                                                                                                                         |                                                                                                                                                      | Remove to facilitate sewer construction                                                                                                                       |

SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME       | SPECIES        | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |              |              |              | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                                                                                                                                                        | IMPACTS                                                                                                                            | MAINTENANCE AND MITIGATION RECOMMENDATIONS                                                                                                                                     |
|--------|-------------------|----------------|----------------------|--------------------|------------|------------------------|--------------|--------------|--------------|--------------|--------------|--------------|------|-------------------|-------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |                |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE      | STRUCTR      | VIGOR        | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                                                                                                                                                                |                                                                                                                                    |                                                                                                                                                                                |
| 1860   | Valley Oak        | (Q lobata)     |                      | 15                 |            |                        |              |              |              |              |              |              |      |                   |             | Tree is Dead                                                                                                                                                                                                                                                                   |                                                                                                                                    |                                                                                                                                                                                |
| 1861   | Blue Oak          | (Q douglasii)  |                      | 12                 | 24         | Poor                   | Poor         | Poor         | Fair         | Poor         | Poor         | 0%           |      |                   |             | Significant root crown erosion on stream bank; several trunk wounds, various locations, running length of trunk with significant decay; girdling barbed-wire at 4' above grade; several large dead limbs; sparse foliage                                                       | No encroachment depicted                                                                                                           | Recommend removal due to nature and extent of noted defects                                                                                                                    |
| 1862   | Valley Oak        | (Q lobata)     |                      | 13                 | 22         | Poor                   | Poor         | Poor to fair | Fair         | Poor         | Poor to fair | 0%           |      |                   |             | Root crown/supporting roots undermined by bank erosion, north side; several girdling wires, lower trunk; leans southwest; above average amount of deadwood                                                                                                                     | No encroachment depicted                                                                                                           | None at this time; integrity/longevity questionable; may require clearance pruning as construction proceeds                                                                    |
| 1863   | Interior Live Oak | (Q wislizenii) |                      | 28                 | 33         | Poor to fair           | Poor to fair | Poor to fair | Fair         | Poor to fair | Fair         | 0%           |      |                   |             | Partial root system exposure due to bank erosion; girdling wire, various locations; above average amount of deadwood                                                                                                                                                           | No encroachment depicted                                                                                                           | Clean out crown; remove 6-inch stem and two additional smaller stems which have perished; cut girdling wire from trunk; may require clearance pruning as construction proceeds |
| 1864   | Interior Live Oak | (Q wislizenii) |                      | 26                 | 45         | Poor                   | Poor         | Poor         | Poor to fair | Poor         | Poor         | 0%           |      |                   |             | Uprooted; several large roots severed with significant decay; lying prone on grade; several large primary branches lying on ground; sparse foliage                                                                                                                             | No encroachment depicted                                                                                                           | Recommend removal due to nature and extent of noted defects                                                                                                                    |
| 1865   | Interior Live Oak | (Q wislizenii) |                      | 6                  | 10         | Poor                   | Poor to fair | Fair         | Fair         | Poor         | Fair         | 0%           |      |                   |             | Tree grew as a stump sprout; exposed wood with decay, south side                                                                                                                                                                                                               | No encroachment depicted                                                                                                           | None at this time; integrity/longevity questionable; may require clearance pruning as construction proceeds                                                                    |
| 1866   | Blue Oak          | (Q douglasii)  |                      | 37                 | 43         | Poor to fair           | Poor to fair | Poor to fair | Fair         | Poor to fair | Fair         | 12%          |      |                   |             | Small callusing root crown wounds from livestock activity; exposed roots from gully erosion, southeast side of trunk; callusing trunk wounds, various locations, with some areas of fluxing; above average amount of deadwood; two large limb failures, south side, with decay | Will sustain minor encroachment from excavation or construction access; <b>may require removal for sanitary sewer construction</b> | Expose root crown; inspect for decay; climb and inspect crown; prune and treat exposed roots ; clearance and crown clean out pruning; deep root fertilization                  |

SIGNATURE MGMT COMPANY  
Fiddymment Ranch Project  
Phase 2 Grading/Sewer Construction  
Tree Inventory Summary and Impact Assessment

| TREE # | COMMON NAME | SPECIES    | MULTI-STEMS (inches) | TOTAL DBH (inches) | DLR (feet) | CONDITIONAL ASSESSMENT |              |              |         |              |       | ENCROACHMENT |      | REMOVALS (inches) |             | NOTABLE CHARACTERISTICS                                                                                                                                                                                                                                                                                                                                                         | IMPACTS                                                                                                                                   | MAINTENANCE AND MITIGATION RECOMMENDATIONS                         |
|--------|-------------|------------|----------------------|--------------------|------------|------------------------|--------------|--------------|---------|--------------|-------|--------------|------|-------------------|-------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------|
|        |             |            |                      |                    |            | RT CR                  | TRUNK        | LIMBS        | FOLIAGE | STRUCTR      | VIGOR | < 20%        | >20% | FOR DEFECTS       | FOR CONST'N |                                                                                                                                                                                                                                                                                                                                                                                 |                                                                                                                                           |                                                                    |
| 1867   | Valley Oak  | (Q lobata) |                      | 12                 | 16         | Fair                   | Poor to fair | Fair         | Fair    | Poor to fair | Fair  |              | 100% |                   | 12          | Callusing graft at 4.5' above grade; 4" stem makes an abrupt 90 degree bend at 3' above grade                                                                                                                                                                                                                                                                                   | Would sustain significant encroachment from construction activities; <b>removal required for sanitary sewer construction</b>              | Remove to facilitate sewer construction                            |
| 6671   | Valley Oak  | (Q lobata) |                      | 41                 | 42         | Poor to fair           | Poor to fair | Poor to fair | Fair    | Poor to fair | Fair  |              | 100% | 41                |             | Callusing/callused basal trunk wounds, primarily on buttress roots due to livestock activity, minor decay; small cavity northeast side potential interior hollowing or decay; bark exfoliation on lower trunk from bacterial canker; several large scaffold failures in upper canopy with resulting decay; above average amount of large deadwood, limb dieback; sparse foliage | Tree is situated within a mass grade area of project with significant grade cut surrounding the tree; <b>removal required for grading</b> | <b>Recommend removal due to nature and extent of noted defects</b> |

|                                                                                        |
|----------------------------------------------------------------------------------------|
| TOTAL INVENTORIED TREES = 26 Trees (665 aggregate diameter inches)                     |
| PROPOSED REMOVALS to facilitate construction = 5 Trees (102 aggregate diameter inches) |
| PROPOSED REMOVALS due to defects = 5 Trees (163 aggregate diameter inches)             |
| Conditional Removals = 5 Trees (137 aggregate diameter inches)                         |



## PLANNING COMMISSION

**Title:** INFILL PCL 275 NCPA SECURITY FENCE – 651 COMMERCE DR – FILE #  
PL16-0345.

**Meeting Date:** 3/23/2017  
**Item #:** 5.1.

### ATTACHMENTS:

#### Description

Staff Report

Attachment 1 - Site Plan, Phasing Plan, Landscape Plan

Exhibit A - Fencing Plan

Exhibit B - Tree Permit Site Plan

Exhibit C - Arborist Report

Binder

**ITEM V-A:**     **DESIGN REVIEW PERMIT MODIFICATION (DRPMOD) & TREE PERMIT (TP) – 651  
COMMERCE DRIVE – INFILL PCL 275 NCPA SECURITY FENCE – FILE# PL16-0345**

**REQUEST**

The applicant requests approval of a Design Review Permit Modification (DRPMOD) to allow construction of a seven (7) foot tall Ameristar open rail security fence around the perimeter of the Northern California Power Agency (NCPA) office property. A Tree Permit (TP) is requested to allow the fence posts to be installed within the protected zone (TPZ) of 11 native oak trees. Construction of the fence will encroach less than 20% into the TPZ of all the native oaks trees.

**Owner/Applicant:** Northern California Power Agency (NCPA)

**SUMMARY RECOMMENDATION**

The Planning Division recommends that the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact for the DRP MOD;
- B. Approve the DRP MOD, as provided in Exhibit A, subject to twenty (20) condition of approval;
- C. Adopt the two (2) findings of fact for the Tree Permit; and
- D. Approve the Tree Permit subject to eleven (11) conditions of approval.

**SUMMARY OF OUTSTANDING ISSUES**

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with all recommended conditions of approval.

**BACKGROUND**

The project site is located within the City's Infill planning area at the intersections of Foothills Boulevard and Cirby Way and Foothills Boulevard (which becomes Roseville Road) and Commerce Drive (see Figure 1). The project site is approximately 3.99 acres and is currently developed with an approximately 26,978 square foot office building, which is occupied by the Northern California Power Agency (NCPA). The NCPA office building was approved by the Project Review Commission (now the Design Review Committee and the Planning Commission) in 1984 (SR 83-44). The office building was approved for construction in three phases. Currently only the building and parking areas for Phase 1 and Phase 2 have been constructed. Phase 3 construction was anticipated along the Commerce Drive frontage (see Attachment 1).

Along the Cirby Way frontage, a portion of the NCPA property was acquired by the City to complete a roadway widening project for Cirby Way. Due to the curve of the roadway, the grade difference between Cirby Way and the NCPA office building, and the close proximity of the building to the roadway, a six-foot tall by three-foot wide concrete roadway barrier wall was installed at the back of the sidewalk. The barrier wall is located partially on City property and partially on NCPA property.

The NCPA represents a consortium of electric utility providers and operates and maintains powers plants. Due to the security concerns over the critical public service the NCPA oversees, the applicant is requesting to install a seven-foot tall security fence around the perimeter of the property. The NCPA is requesting to install a portion of the fence on top of the Cirby Way concrete barrier wall. The proposed location and design of the fence is evaluated in the DRPMOD discussion below.

**Figure 1: Project Site Location**



On the project site there are 12 interior live oak trees, which are greater than 6 inches in diameter and classified as protected trees per the City's Tree Preservation Ordinance. Construction of the fence will occur with the dripline of 11 protected oak trees. Per the Tree Preservation Ordinance, a Tree Permit is required for construction activities occurring within the dripline of the protected oak trees. The application includes the required Tree Permit and a complete evaluation of the request is provided in the Tree Permit Evaluation discussion below.

### **DESIGN REVIEW PERMIT MODIFICATION (DRPMOD) EVALUATION**

As mentioned the project includes the installation of a seven foot tall fence around the perimeter of the NCPA property. The property is currently not fenced. To meet security standards for electric providers, NCPA will be installing a black Ameristar wrought iron security fence with splayed trident leaf details at the top of the rails. The black wrought iron rail fence will appear similar in style to a typical wrought iron fence found at other commercial or industrial properties in the City. The construction methods of the fence make it a high security fence.

Along the Commerce Drive frontage, the majority of the fence will be installed on the NCPA property behind the 12'-5" PUE located interior of the public sidewalk. For the Infill area, the Community Design Guidelines (GDG's) recommend that fences be installed behind a 20 foot landscape setback along roadway frontages. The intent of the recommended setback is to allow for adequate space for tree and landscape plantings, creating a consistent landscape streetscape. The previously approved site plan did not anticipate perimeter fencing nor was the 20-foot landscape setback applied. The building and parking areas were approved with a setback at the back of 12'-5" PUE. The 20-foot landscape setback has not been implemented for other properties along Commerce Drive; the existing properties have parking or building setbacks at the back of the PUE. Staff supports the proposed fence location at the back of the PUE along Commerce Drive as it will be consistent with the previously approved site plan, will be consistent with the surrounding properties, and will allow for adequate space for tree and landscaping planting along the property frontage.

Along Cirby Way, the fence is proposed to be installed along the property line. As mentioned, a three-foot wide concrete roadway barrier wall runs along approximately 160 feet of the property frontage at the back of the sidewalk on Cirby Way. The property line in this location runs through the center of the concrete wall. The NCPA building is setback approximately 20 feet from the concrete barrier wall. The wall acts as a retaining wall for the NCPA landscape area. The landscape area is sloped and includes mature redwood trees, brick walls, walkways and landscape plantings. With the Cirby Way improvements, the NCPA property dedicated land to the City, and the NCPA parking and landscape walls are only five feet from the property line and the concrete roadway barrier wall along Cirby Way (see Figure 2). The applicant and staff explored options for placement of the fence with a greater setback from Cirby Way. However, due to the grade changes, mature landscaping, and existing improvements within the space between the wall and the building, locating the fence on the property line presented the best option to meet the security needs and preserve the existing improvements. To minimize the height of the fence at the sidewalk, the height will be stepped down to six-feet on the top of the wall. As the wall is partially owned by the City, the City has agreed to allow the fence to be installed on the wall assuming NCPA agrees to take on maintenance of the wall. Condition #9 of the DRPMOD has been added to require a maintenance agreement to be entered into prior to installation of the fence.

Figure 2: Cirby Way Frontage



At both the Commerce Drive and Cirby Way driveway access points, the fence will be further setback to allow for vehicles to pull out of the roadway while waiting for the vehicle security gates to open. At Commerce Drive, which is the primary entrance to the facility, the fence will be setback to accommodate two existing parking spaces and a vehicle turn-around area. The fence location was reviewed by the Engineering Division and Fire Department for vehicle safety and access and it was determined that traffic circulation on public roadways and public safety would not be impeded. The plans show the existing "Exit Only" signage at the Cirby Way driveway will remain. Condition #12 and #15 was also added to require the gates to have automatic access for City Fire and Refuse vehicles.

Staff supports the modifications to the NCPA site plan as outlined above and does not suggest any additional changes. Section 19.78.060(C) of the Zoning Ordinance requires two findings of fact be made in order to approve a Design Review Permit Modification. The two findings for approval of a Design Review Permit Modification are as follows:

- 1. The proposed modification is in substantial compliance with the intent of the original approval, prior conditions of approval, and all applicable design, development and improvement standards in effect as of the date of application for the modification.***
- 2. The proposed modification is in compliance with all standards and requirements of the City's Zoning Ordinance, with the applicable goals, policies and objectives set forth in the General Plan, and the applicable Community Design Guidelines.***

Based on the analysis contained in this staff report and with the project conditions, the required findings for approval can be made.

## **TREE PERMIT EVALUATION**

Along the eastern property lines, the proposed fence will be located near native oak trees as shown in Exhibit B. Per Chapter 19.66 of the Zoning Ordinance, native oak trees (of a certain species and size) are protected. Construction activities occurring within the protected zone of a native oak tree require a tree permit. The protected zone is identified as a circle equal to the largest radius of a protected oak tree's dripline plus one foot. An Arborist Report was prepared by Foothill Associates to identify native oak trees on the project site and the potential impact to the protected trees from the project. The Arborist Report is provided as Exhibit C. The report identified the project would cause an encroachment into the protected zone of 11 protected oak trees. However, no encroachment will exceed 20% of the protected zone of any of the identified trees. Tree permits for encroachments that do not exceed 20% of the protected zone of a native oak tree may be processed administratively. However, when an encroachment of less than 20% is associated with a discretionary permit such as a DRPMOD, the Planning Commission must approve the Tree Permit.

In order for a Tree Permit to be approved, two findings of fact must be made. The findings are listed below in bold followed by an evaluation.

- 1. The approval of this Tree Permit will not be detrimental to the public health, safety or welfare, and approval of the tree permit is consistent with the provisions of Chapter 19.66.**
- 2. Mitigation measures have been incorporated in the project or permit to mitigate the impacts to remaining trees.**

The new fence will be located in landscape areas within the protected zone of 11 *Quercus wislizeni* (Interior Live Oak) trees as shown in Exhibit B and Exhibit C. The trees are part of a formal landscape area and were planted in somewhat regular increments along the perimeter of the eastern property line. The fence will be installed along the eastern property line. While the fence will be located within the protected zone of the protected oak trees, only the fence posts will disturb the ground area within the protected zone. The typical fence plans call for fence posts to be installed every eight-feet. However, to minimize impacts to the protected trees, the posts will be installed in between each of the trees along the eastern property line. Varying size panel widths will be used where the distance between trees varies. The total impacted area from the fence post installation will be between a 0.30% to 1.25% encroachment into the tree protection zone of each of the protected trees.

The Arborist Report includes protection measures to ensure the preservation of the oak trees impacted from the project. Measures include the prevention of material storage and construction equipment within the protected zone of the oak trees, proper treatment of the tree roots, replacement of the native ground surface around the oak trees within 48 hours of disruption, and prevention of cut or fill within the protected zone. The project has been conditioned to follow all recommended protection measures (see Tree Permit Condition #1) identified in the Arborist Report. With adherence to the recommended protection measures, no significant impacts to the trees are expected to occur.

The project will not result in the removal of any protected oak trees nor will it cause significant impacts to the trees. All on-site protected oak trees will be preserved and therefore there are no impacts to the public, health, safety or welfare. The Arborist Report was prepared consistent with the requirements outlined in Chapter 19.66. Approval of this Tree Permit is consistent with the provisions of Chapter 19.66. As such, the required findings of approval for the Tree Permit can be made.

## **ENVIRONMENTAL DETERMINATION**

This project is categorically exempt from the provisions of the California Environmental Quality Act (CEQA) Guidelines pursuant to Section 15304 pertaining to minor alternations in land and Section 305 of the City of Roseville CEQA Implementing Procedures.

## **RECOMMENDATION**

The Planning Division recommends the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact as stated in the staff report for the **DESIGN REVIEW PERMIT MODIFICATION – 651 COMMERCE DRIVE – INFILL PCL 275 NCPA FENCE – FILE# PL16-0345**;
- B. Approve the **DESIGN REVIEW PERMIT MODIFICATION – 651 COMMERCE DRIVE – INFILL PCL 275 NCPA FENCE – FILE# PL16-0345** as provided in Exhibit A, and subject to the twenty (20) conditions of approval as stated below;
- C. Adopt the two (2) findings of fact as stated in the staff report for the **TREE PERMIT – 651 COMMERCE DRIVE – INFILL PCL 275 NCPA FENCE – FILE# PL16-0345**; and
- D. Approve the **TREE PERMIT – 651 COMMERCE DRIVE – INFILL PCL 275 NCPA FENCE – FILE# PL16-0345** as provided in Exhibit B and Exhibit C, and subject to the eleven (11) conditions of approval as stated below.

## **DESIGN REVIEW PERMIT MODIFICATION CONDITIONS OF APPROVAL (PL16-0345)**

- 1. This design review permit approval shall be effectuated within a period of two (2) years from this date and if not effectuated shall expire on **March 23, 2019**. Prior to said expiration date, the applicant may apply for an extension of time, provided, however, this approval shall be extended for no more than a total of one year from **March 23, 2019**. (Planning)
- 2. The project is approved as shown in Exhibits A and as conditioned or modified below. (Planning)
- 3. The project shall be addressed as 651 Commerce Drive. All projects with multi-tenants or buildings must submit a site plan with building footprint(s) to the Development Services Department (Business Services – Addressing) for building/suite addressing. (Business Services)

## **PRIOR TO ISSUANCE OF BUILDING PERMITS:**

- 4. The plans submitted to the Building Department for permits shall indicate all approved revisions/alterations as approved by the Commission including all conditions of approval. (Planning)
- 5. A separate Site Accessibility Plan which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. If accessibility is required to the pedestrian gate. (Building)
- 6. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Division for applicable Code editions). (Building)
- 7. Maintenance of copy of building plans: Health and Safety Code section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the

building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address.

8. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to Public Works prior to approval of any plans. (Engineering)
9. The property owner shall enter into a maintenance agreement with the City to assume all maintenance obligations of the existing barrier wall adjacent to Cirby Way and the proposed fencing the project will be installing on the existing barrier wall. This agreement shall be recorded against the property and run with the land. (Engineering)
10. An Encroachment Permit shall be obtained from the DS Engineering Division prior to work within the right-of-way (City property). (Engineering)
11. The fence is to be installed a minimum of 5 feet from all water meters and backflows. (Environmental Utilities)
12. Automated ingress and egress gates for refuse trucks is required. (Environmental Utilities)
13. A fire department permit is required prior to the installation of the proposed fencing around the premise. (Fire)
14. According to the California Fire Code, all gates/fences/barricades shall obtain a permit for conformance to the City of Roseville's Fire Department Access Standard and the CFC. Plans shall be submitted for approval prior to installation. If applicable, all manual gates shall be secured with a Knox pad lock or daisy chain with such lock. **The owner or there representative shall contact KNOX Company, <http://www.knoxbox.com/> , to order your specific padlock for the City of Roseville. (Fire)**
15. Electronically opened perimeter access gates located across fire apparatus access roads shall be provided with an approved strobe switch access system which interfaces with the TOMAR Model 780-1228-PRE or 3M OPTICOM traffic preemption optical signal emitter provided on all City emergency vehicles in accordance with the California Fire Code as adopted by the City of Roseville. Provide a TOMAR 1790-14 STROBESWITCH or other approved system at the gated entry noted. Said device shall activate via a frequency of 14.035 HZ +/- .25HZ (HIGH-PRIORITY). Said device shall be mounted at a height of seven-feet (7') above the adjacent road surface. Submit complete specifications on the type of access system to be installed to the Fire Department prior to final acceptance of the drawings. In addition, add the following note to the drawing; **"A acceptance test of the Emergency Vehicle Strobe-switch system shall be witnessed by the Fire Department prior to Final Approval of the project."** If applicable. (Fire)
16. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

**DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS:**

17. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
18. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire

Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)

19. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)
20. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Division Field Inspector at the time of or prior to the foundation inspection. (Building)

**TREE PERMIT CONDITIONS AND COMPLIANCE VERIFICATION/INSPECTION CHECKLIST  
(PL16-0345)**

| CONDITION                                                                                                                                                                                                                                                                                                                                                                                                                                                           | COMPLIANCE<br>VERIFIED/<br>INSPECTED | COMMENTS |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|----------|
| <b>PRIOR TO ISSUANCE OF ANY PERMITS OR ANY CONSTRUCTION ON-SITE</b>                                                                                                                                                                                                                                                                                                                                                                                                 |                                      |          |
| 1. All recommendations contained in the Arborist Report (Exhibit C) shall be incorporated as part of these conditions except as modified herein. (Planning)                                                                                                                                                                                                                                                                                                         |                                      |          |
| 2. All native oak trees shall remain in place. (Planning)                                                                                                                                                                                                                                                                                                                                                                                                           |                                      |          |
| 3. No activity shall be permitted within the protected zone of any native oak tree beyond those identified by this report. Encroachment into the protected zone of Trees 401-404 & 406-412 as shown in Exhibit C and described in the staff report is permitted. (Planning)                                                                                                                                                                                         |                                      |          |
| 4. A \$10,000 cash deposit or bond (or other means of security provided to the satisfaction of the Planning Department) shall be posted to insure the preservation of all remaining trees during construction. The cash deposit or bond shall be posted in a form approved by the City Attorney. Each occurrence of a violation on any condition regarding tree preservation shall result in forfeiture of all or a portion of the cash deposit or bond. (Planning) |                                      |          |
| 5. A violation of any of the conditions of this Tree Permit is a violation of the Roseville Municipal Code, the Zoning Ordinance (Chapter 19.74) and the Tree Preservation Ordinance (Chapter 19.66). Penalties for violation of any of the conditions of approval may include forfeiture of the bond, suspension or revocation of the permit, payment of restitution, and criminal penalties. (Planning)                                                           |                                      |          |

| CONDITION                                                                                                                                                                                                                                                                                                                                                                                                                    | COMPLIANCE<br>VERIFIED/<br>INSPECTED | COMMENTS |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------|----------|
| <b>DURING CONSTRUCTION</b>                                                                                                                                                                                                                                                                                                                                                                                                   |                                      |          |
| 6. The following information must be located on-site during construction activities: Arborist Report; Approved site plan/improvement plans including fencing plan; and, Conditions of approval for the Tree Permit. All construction must follow the approved plans for this tree permit without exception. (Planning)                                                                                                       |                                      |          |
| 7. If any native ground surface fabric within the Protected Zone must be removed for any reason, it shall be replaced within forty-eight (48) hours. (Planning)                                                                                                                                                                                                                                                              |                                      |          |
| 8. Storage or parking of materials, equipment and vehicles is not permitted within the protected zone of any oak tree. Vehicles and other heavy equipment shall not be operated within the Protected Zone of any oak tree. (Planning)                                                                                                                                                                                        |                                      |          |
| <b>PRIOR TO ISSUANCE OF AN OCCUPANCY PERMIT</b>                                                                                                                                                                                                                                                                                                                                                                              |                                      |          |
| 9. Within 5 days of the completion of construction, a Certification Letter from a certified arborist shall be submitted to and approved by the Planning Department. The certification letter shall attest to all of the work (regulated activity) that was conducted in the protected zone of the tree, either being in conformance with this permit or of the required mitigation still needing to be performed. (Planning) |                                      |          |
| 10. A copy of this completed Tree Permit Compliance Verification/Inspection form shall be submitted to the Planning Department. (Planning)                                                                                                                                                                                                                                                                                   |                                      |          |
| 11. The approval of this Tree Permit shall expire on the same date as the Design Review Permit Modification (PL16-0345). (Planning)                                                                                                                                                                                                                                                                                          |                                      |          |

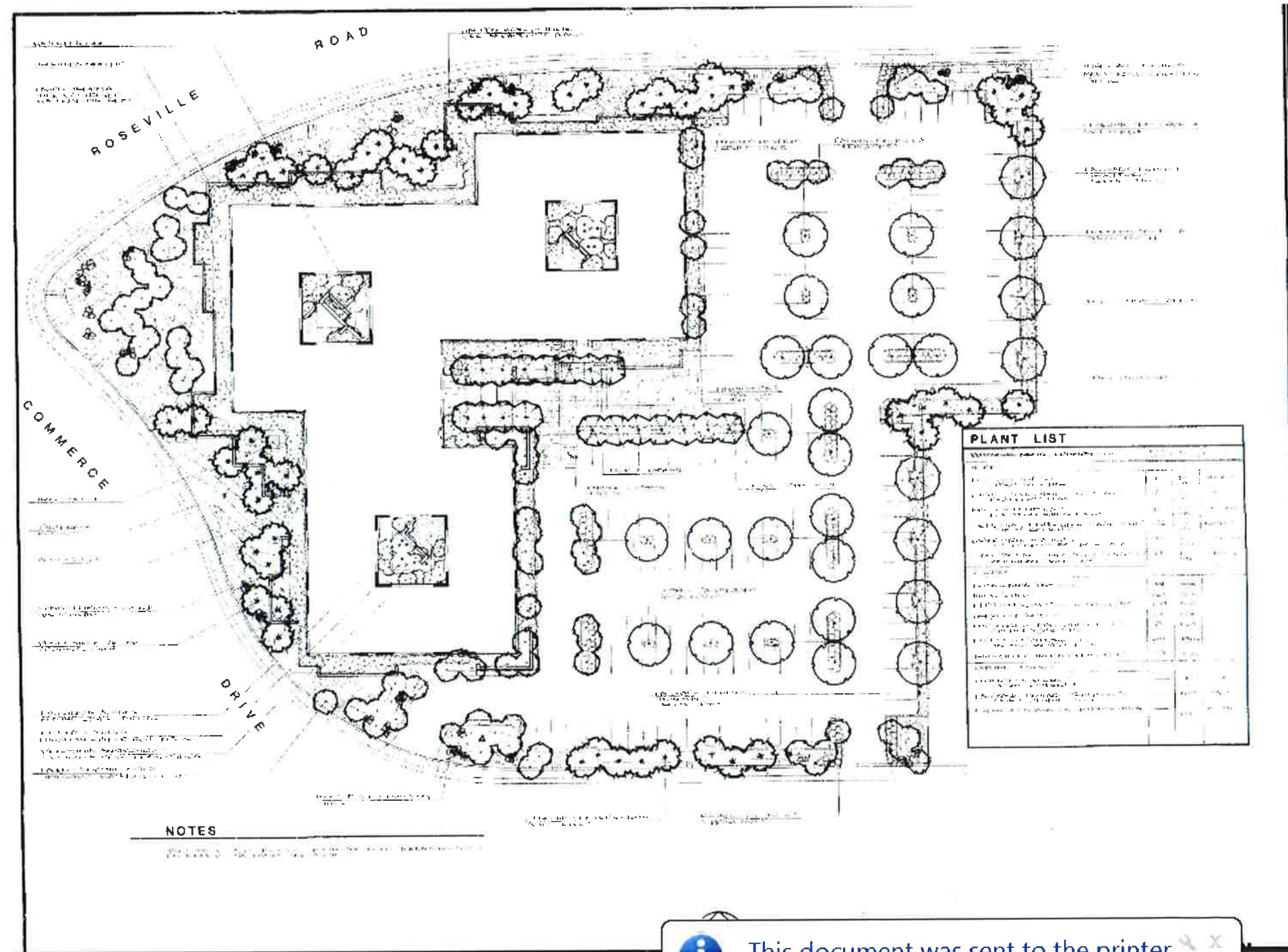
### **ATTACHMENT**

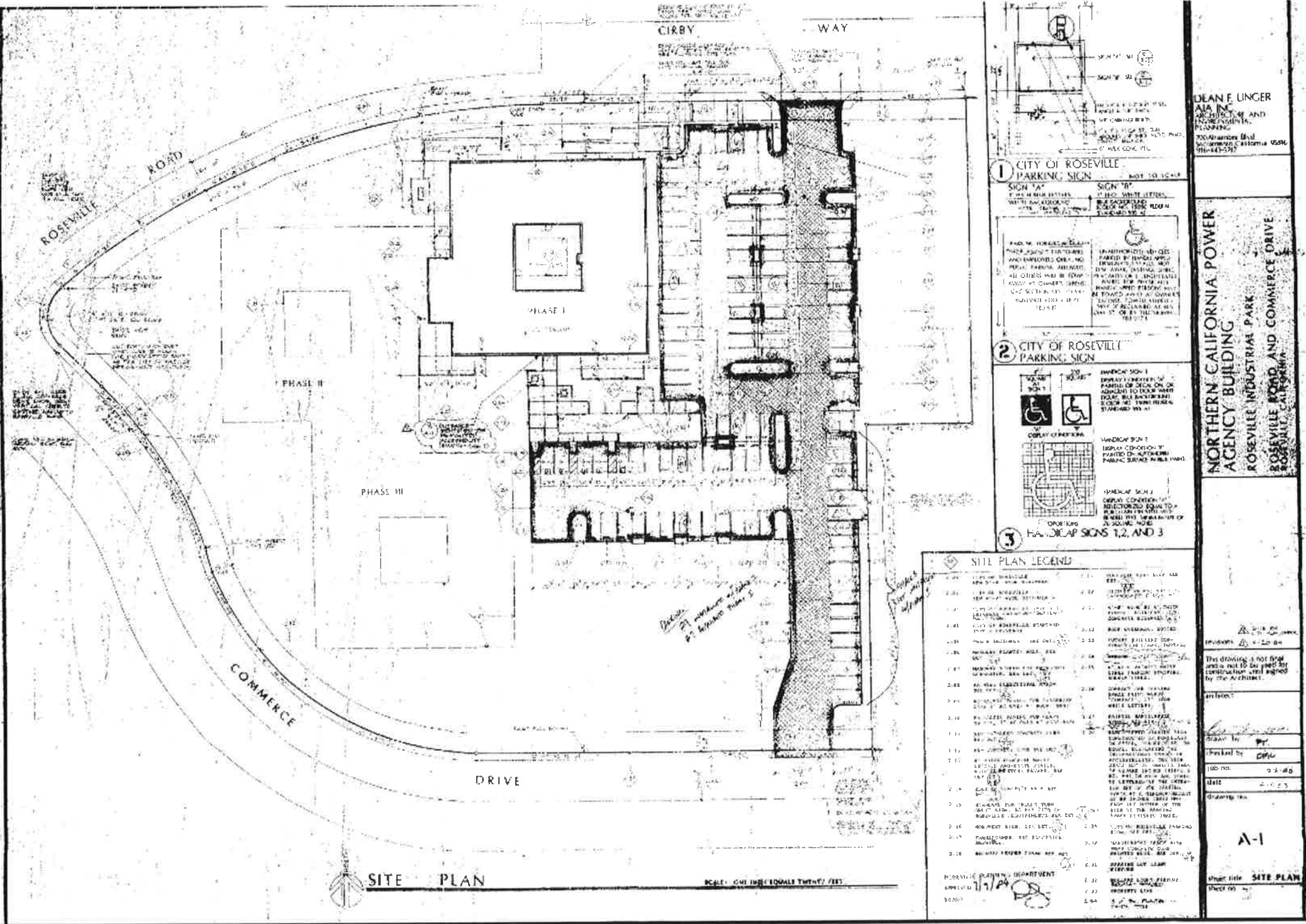
1. SR 83-44 Site Plan, Phasing Plan, Landscape Plan (3 Pages)

### **EXHIBIT**

- A. NCPA Fencing Plan (5 pages)
- B. Tree Permit - Tree Locations Site Plan
- C. Arborist Report – Foothills Associates 2/3/17

**Note to Applicant and/or Developer:** Please contact Planning Division staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.



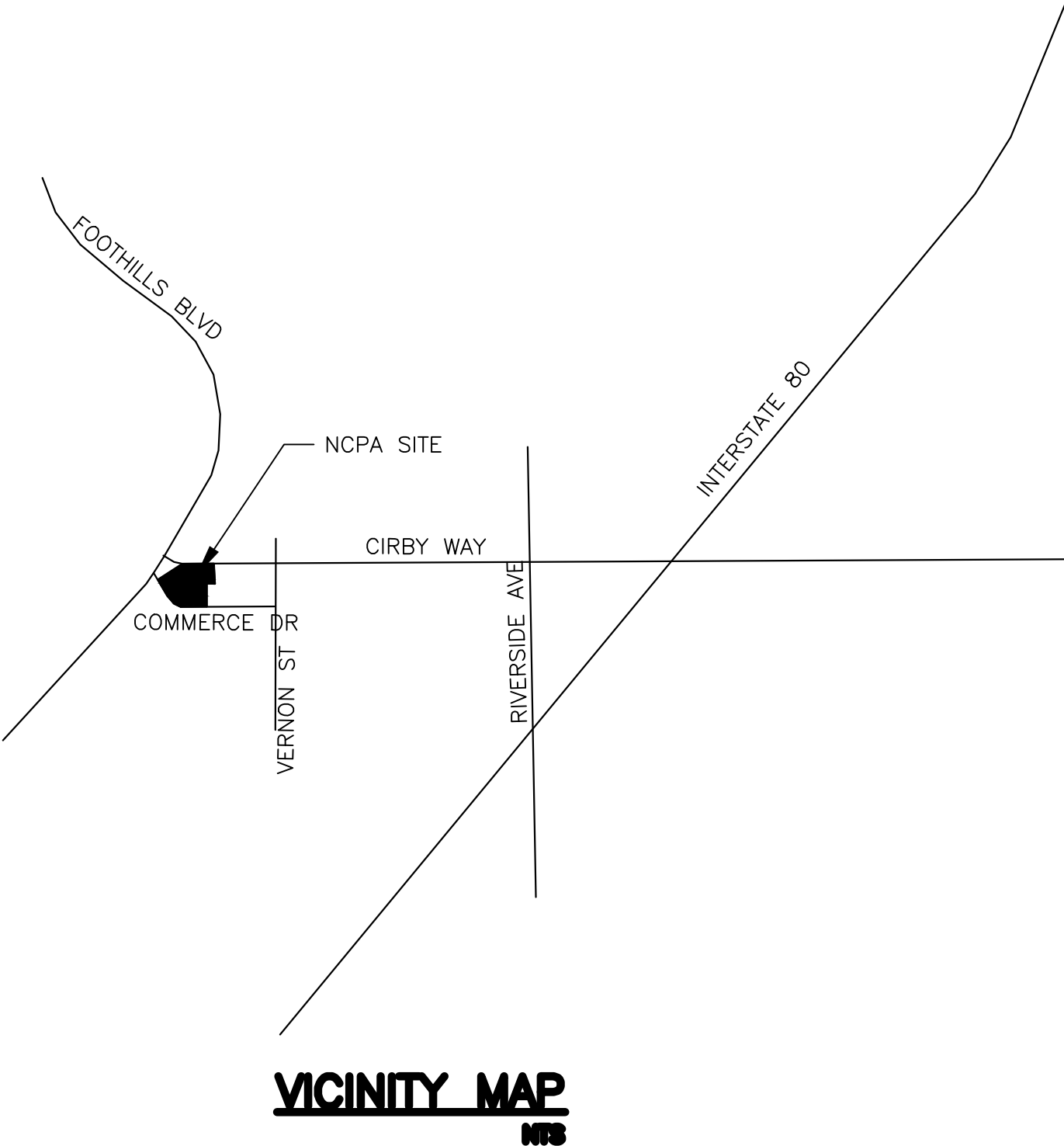




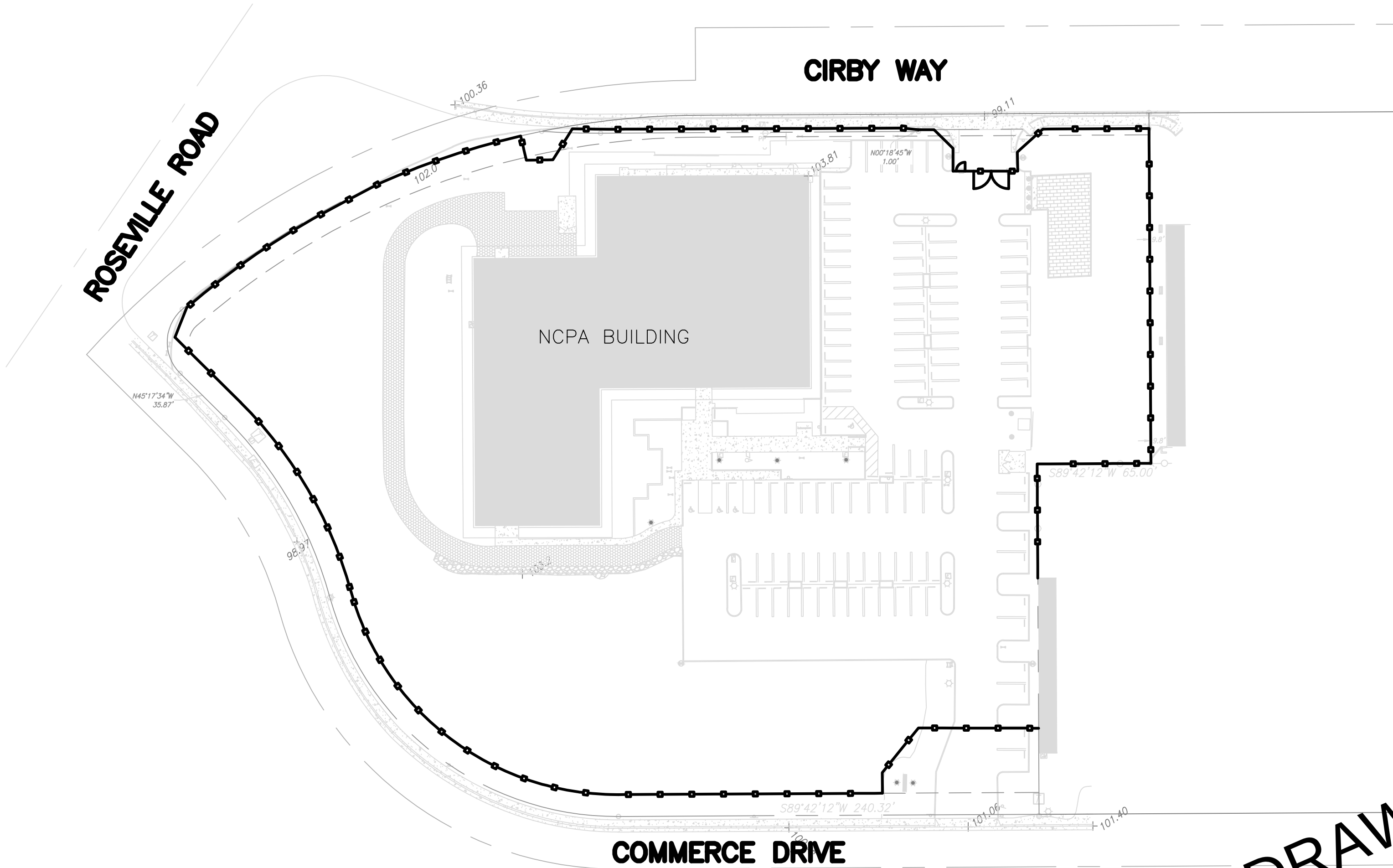
# NORTHERN CALFIRONIA POWER AGENCY

## FENCING PLAN - PHASE 1 & 2

651 COMMERCE DR, ROSEVILLE, CA



- SHEET INDEX:
- C1 COVER SHEET
  - C2 NOTES AND DETAILS
  - C3 FENCING LAYOUT
  - C4 FENCING LAYOUT
  - C5 STRUCTURAL NOTES AND DETAILS



SCALE: 1"=50'

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

PLANNING PROJECT NUMBER:

### DEPT OF DEVELOPMENT SERVICES

ACCEPTED BY:

CITY ENGINEER DATE

FIRE DEPARTMENT

ACCEPTED BY:

FIRE INSPECTOR DATE

## EXHIBIT A

### NCPA - FENCING PLAN - PHASE 1 & 2

651 COMMERCE DR, ROSEVILLE, CA

SCALE: 1"=50'



Nicole I. Young, P.E.  
4111 Bunker Hill Road  
Shingle Springs, CA 95682  
530-391-6160

FILE NO: 1605

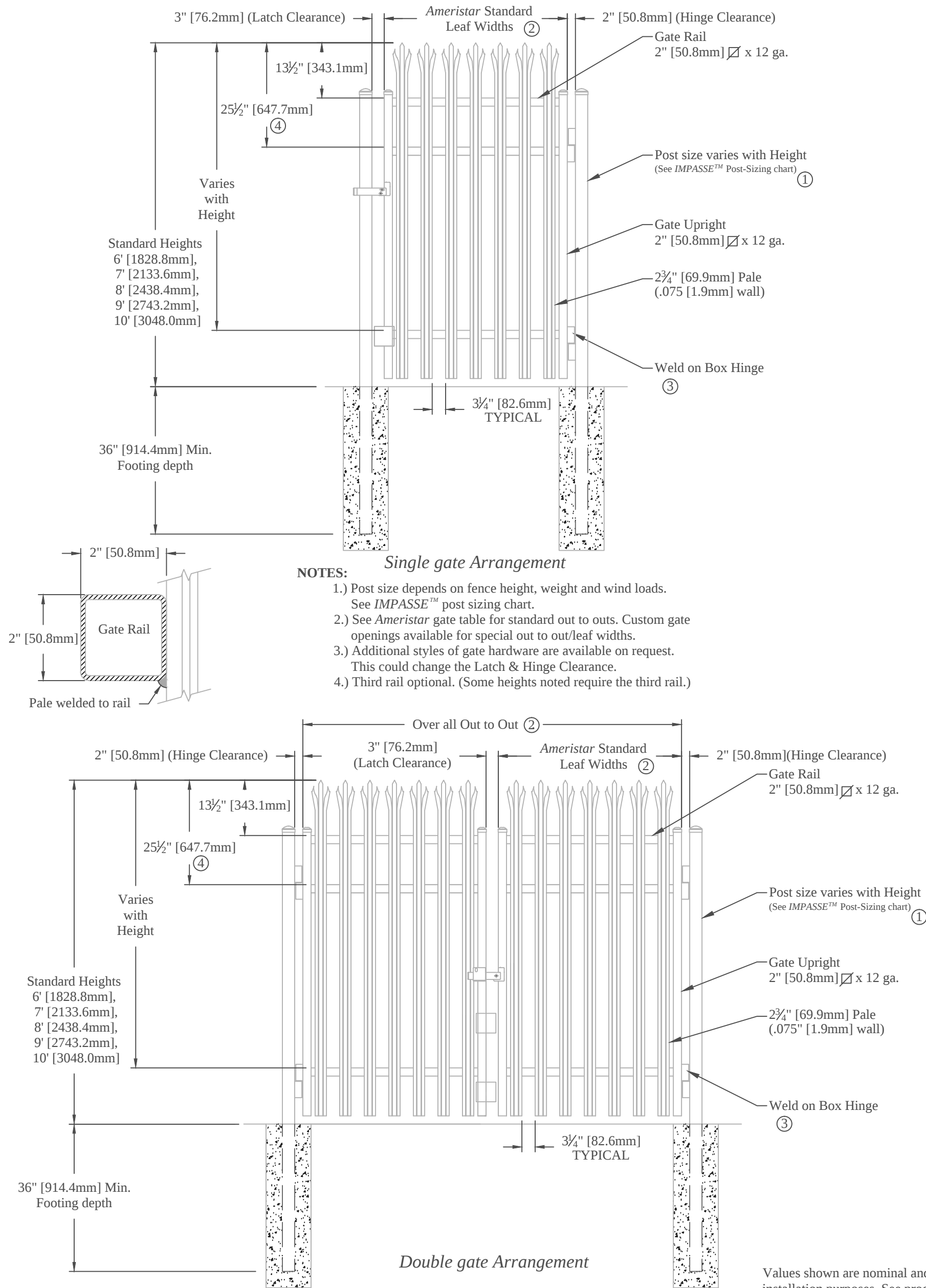
REV. DATE JANUARY 2017

SHEET C1

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE LATEST EDITION AND AMMENDMENTS OF THE CITY OF ROSEVILLE DESIGN AND CONSTRUCTION STANDARDS.
- THE CITY OF ROSEVILLE IS A MEMBER OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ONE-CALL SYSTEM. THE CONTRACTORS SHALL NOTIFY THE U.S.A. CENTER 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING 1-800-227-2600.
- THE CONTRACTOR SHALL MARK IN WHITE PAINT ALL AREAS TO BE EXCAVATED PRIOR TO CONTACTING U.S.A. ANY AREAS NOT MARKED WILL NOT BE SUBJECT TO U.S.A., AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM EXCAVATION. THE CONTRACTOR OR APPLICANT WHO REQUESTED THE USA MARKINGS SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE USA MARKINGS UPON COMPLETION OF THE WORK, AT THE DISCRETION OF THE CITY ENGINEER.
- THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION OF THE NEW IMPROVEMENTS CONNECTING TO OR IN THE VICINITY OF THE SAME.
- CONTRACTOR SHALL CONTACT ROSEVILLE ELECTRIC PRIOR TO ANY EXCAVATION WITHIN 10 FEET OF ELECTRICAL LINES. CONTRACTOR SHALL COORDINATE UTILITY POT HOLE LOCATIONS WITH ROSEVILLE ELECTRIC TO AVOID UTILITY CONFLICTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS ON THE JOB SITE.
- THE CONTRACTOR SHALL PLACE BOXED SURVEY MONUMENTS WITH 1-1/2" BRONZE HEAD SET IN CONCRETE (STD. DWG. ST-36) AT LOCATIONS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ONE-WEEK PRIOR TO STARTING WORK. MEMBERS OF THE CITY OF ROSEVILLE DEVELOPMENT SERVICES DEPARTMENT, ENVIRONMENTAL UTILITIES DEPARTMENT AND ALL OTHER UTILITY REPRESENTATIVES SHALL BE NOTIFIED BY THE CONTRACTOR AS TO THE DATE AND LOCATION OF THE MEETING.
- THE DEVELOPERS CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT EXISTING SITE AND ADJACENT IMPROVEMENTS FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR MAKE REPLACEMENT OF ALL CRACKED AND OTHERWISE PRE-EXISTING DAMAGED PUBLIC IMPROVEMENTS, ALONG THE FRONTAGE OF THE PROJECT SITE AND ANY DAMAGE RESULTING FROM CONSTRUCTION TO CURRENT CITY STANDARDS AND AT THEIR OWN EXPENSE. THE EXTENT OF THE REPAIRS SHALL BE DETERMINED BY THE DEVELOPMENT SERVICES CONSTRUCTION INSPECTOR AND SHALL BE COMPLETED PRIOR TO THE CITY ACCEPTANCE OF THE IMPROVEMENTS.
- THE CONTRACTOR SHALL STOP CONSTRUCTION IF CULTURAL RESOURCES ARE DISCOVERED DURING EXCAVATION OPERATIONS. IT IS POSSIBLE THAT PREVIOUS ACTIVITIES HAVE OBSURED SURFACE EVIDENCE OF CULTURAL RESOURCES. IF SIGNS OF AN ARCHEOLOGICAL SITE, SUCH AS ANY UNUSUAL AMOUNTS OF STONE, BONE, OR SHELL ARE UNCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL BE HALTED WITHIN 100 FEET OF THE FIND AND THE ROSEVILLE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY. A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE ARCHAEOLOGIST.
- IN ACCORDANCE WITH THE CITY OF ROSEVILLE'S NOISE ORDINANCE, THE HOURS OF PROJECT CONSTRUCTION SHALL BE LIMITED TO THE FOLLOWING:

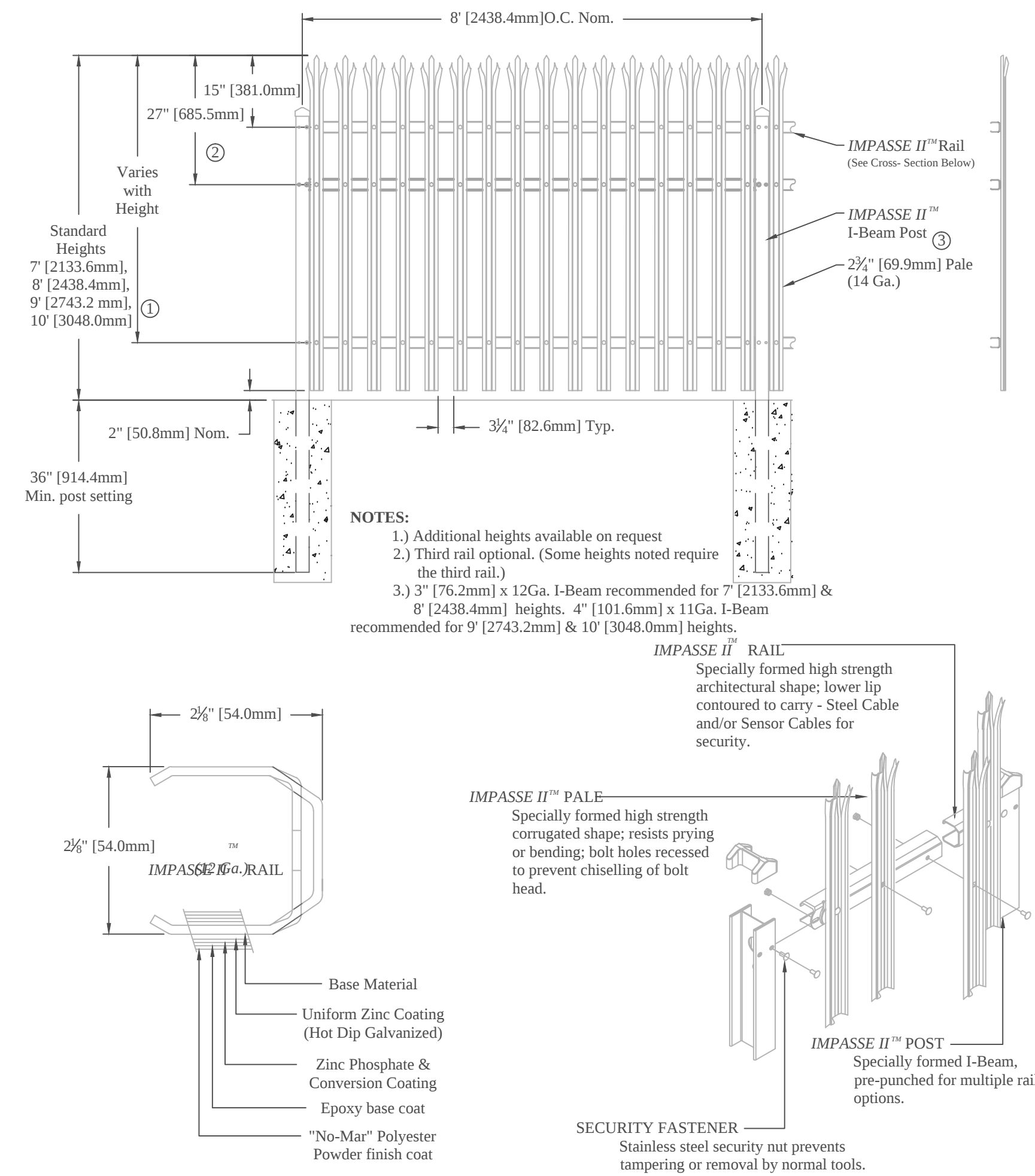
7:00AM TO 7:00PM, MONDAY THROUGH FRIDAY  
8:00AM TO 8:00PM, SATURDAY, SUNDAY AND HOLIDAYS
- PRIOR TO THE COMMENCEMENT OF PROJECT CONSTRUCTION, THE CITY'S CONSTRUCTION INSPECTOR SHALL BE FURNISHED WITH THE NAME AND TELEPHONE NUMBER OF A CONTACT PERSON WHO CAN BE REACHED 24 HOURS PER DAY REGARDING PROBLEMS OR EMERGENCIES AT THE SITE.
- SIDEWALK CLOSURES SHALL BE SUBJECT TO THE APPROVAL OF THE TRAFFIC ENGINEERING SECTION. APPROPRIATE TRAFFIC CONTROL AND DETOUR PLANS SHALL BE SUBMITTED TO THE TRAFFIC SECTION VIA THE CITY'S CONSTRUCTION INSPECTOR 96 HOURS PRIOR TO THE PROPOSED CLOSURE. THE CLOSURE SHALL NOT BE SCHEDULED UNTIL PLAN APPROVAL IS RECEIVED.
- NO OPEN TRENCHES SHALL BE ALLOWED OVERNIGHT FOR THE CONSTRUCTION OF THIS PROJECT.
- WHERE DIRT, MUD, ROCK, SAND OR OTHER FOREIGN MATERIAL ARE TRACKED ONTO PUBLIC STREET PAVEMENT, THE CONTRACTOR SHALL CLEAN THE STREETS DAILY, OR AS DIRECTED BY THE CITY'S CONSTRUCTION INSPECTOR. IF THE CONTRACTOR FAILS TO KEEP THE STREETS CLEAN, THE CITY MAY CLEAN THE AREAS AND BILL THE CONTRACTOR. STREETS SHALL BE CLEANED WITH A POWER BROOM OR HAND BROOMS AND SHALL NOT BE WASHED WITH WATER WITHOUT THE APPROVAL OF THE CITY'S CONSTRUCTION INSPECTOR. ANY MUD DISPLACED INTO THE CITY STORM DRAIN SYSTEM BY THE CONTRACTOR SHALL BE REMOVED AT THE DISCRETION OF THE CITY'S CONSTRUCTION INSPECTOR.
- CONSTRUCTION SAFETY WITHIN THE CITY OF ROSEVILLE SHALL BE GOVERNED BY THE CONSTRUCTION SAFETY ORDERS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS OF TITLE 8 OF THE CALIFORNIA CODE OF REGULATIONS.
- ALL INSTALLATION OF FIRE PROTECTION EQUIPMENT SHALL CONFORM TO THE CALIFORNIA FIRE CODE AND AMENDMENTS ADOPTED BY THE CITY OF ROSEVILLE, ALONG WITH ALL STANDARDS AND POLICIES IMPLEMENTED BY THE ROSEVILLE FIRE DEPARTMENT.



AMERISTAR PED GATE DETAIL  
MPS

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.



AMERISTAR FENCE PANEL DETAIL  
MPS

| PROPRIETARY INFORMATION                                                                                                                                                                |    |      |          |                         |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|------|----------|-------------------------|
| This drawing is the property of AMERISTAR, Inc. and shall not be reproduced or used for the making of drawings, plans or specifications without the written consent of AMERISTAR, Inc. |    |      |          |                         |
| REV                                                                                                                                                                                    | BY | CHKD | DATE     | DESCRIPTION             |
| 1                                                                                                                                                                                      | CF | BD   | 11-08-10 | INITIAL RELEASE         |
| 2                                                                                                                                                                                      | LM |      | 11-17-14 | 2" I-BEAM POST (14 Ga.) |
|                                                                                                                                                                                        |    |      |          |                         |
|                                                                                                                                                                                        |    |      |          |                         |
|                                                                                                                                                                                        |    |      |          |                         |

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

SCALE: 1"=50'



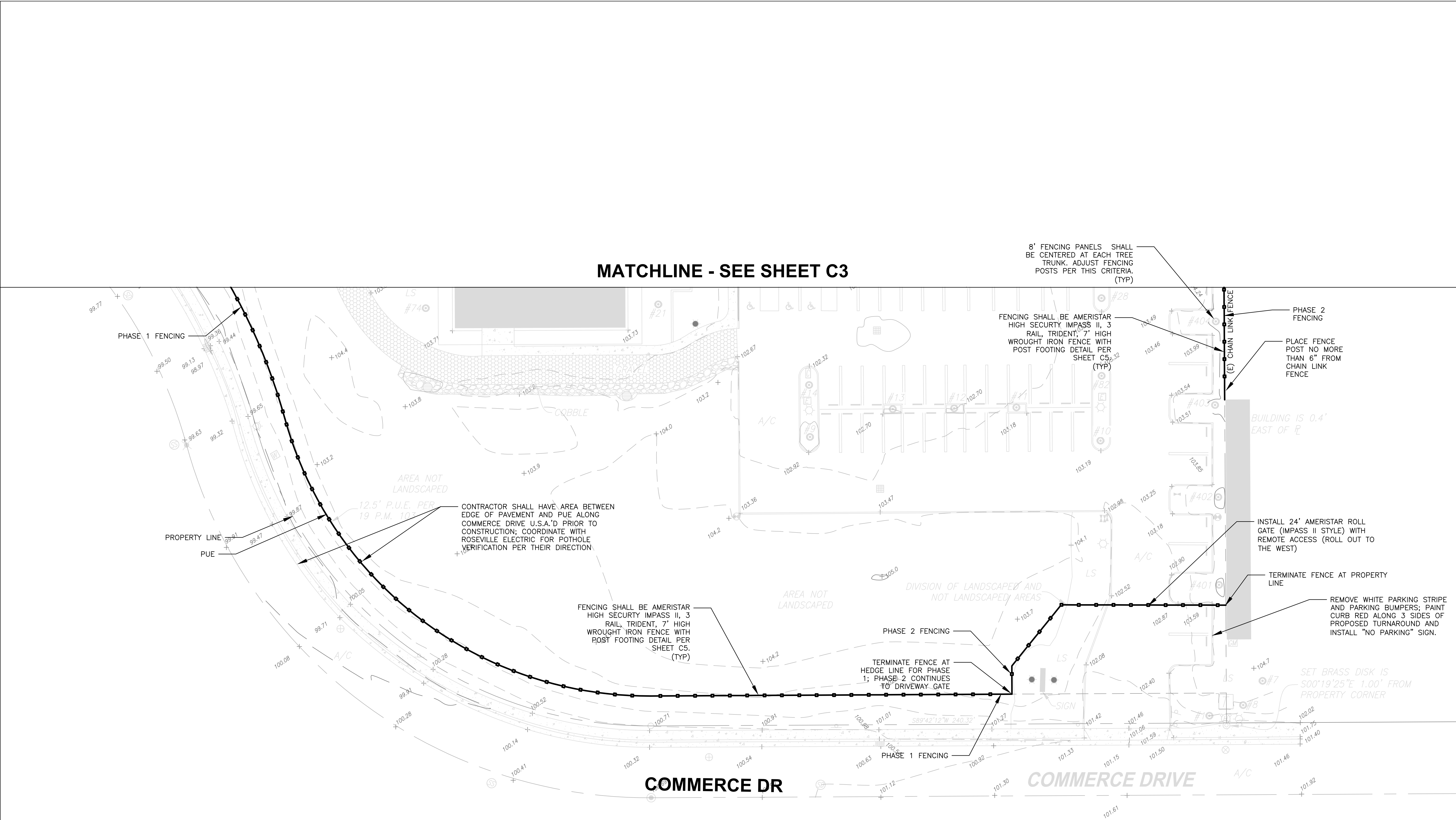
Nicole I. Young, P.E.  
4111 Bunker Hill Road  
Shingle Springs, CA 95682  
530-391-6160

FILE NO: 1605

REV. DATE JANUARY 2017

SHEET C2





NCPA - FENCING PLAN LAYOUT

651 COMMERCE DR, ROSEVILLE, CA

SCALE: 1"=20'



Nicole I. Young, P.E.  
4111 Bunker Hill Road  
Shingle Springs, CA 95682  
530-391-6160

FILE NO: 1605  
REV. DATE JANUARY 2017

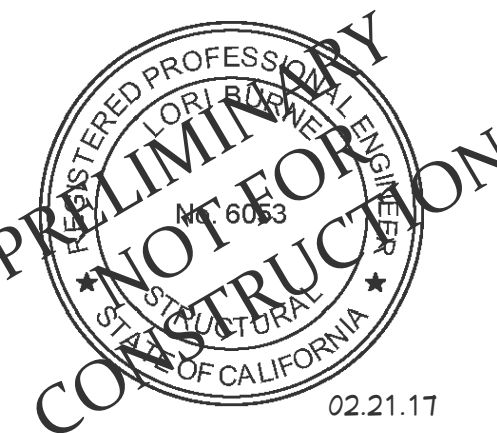
SHEET C4

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

SCALE: 1"=20'



STRUCTURAL NOTES & DETAILS  
NCPA FENCE  
651 COMMERCE DR  
ROSEVILLE, CA



21.17

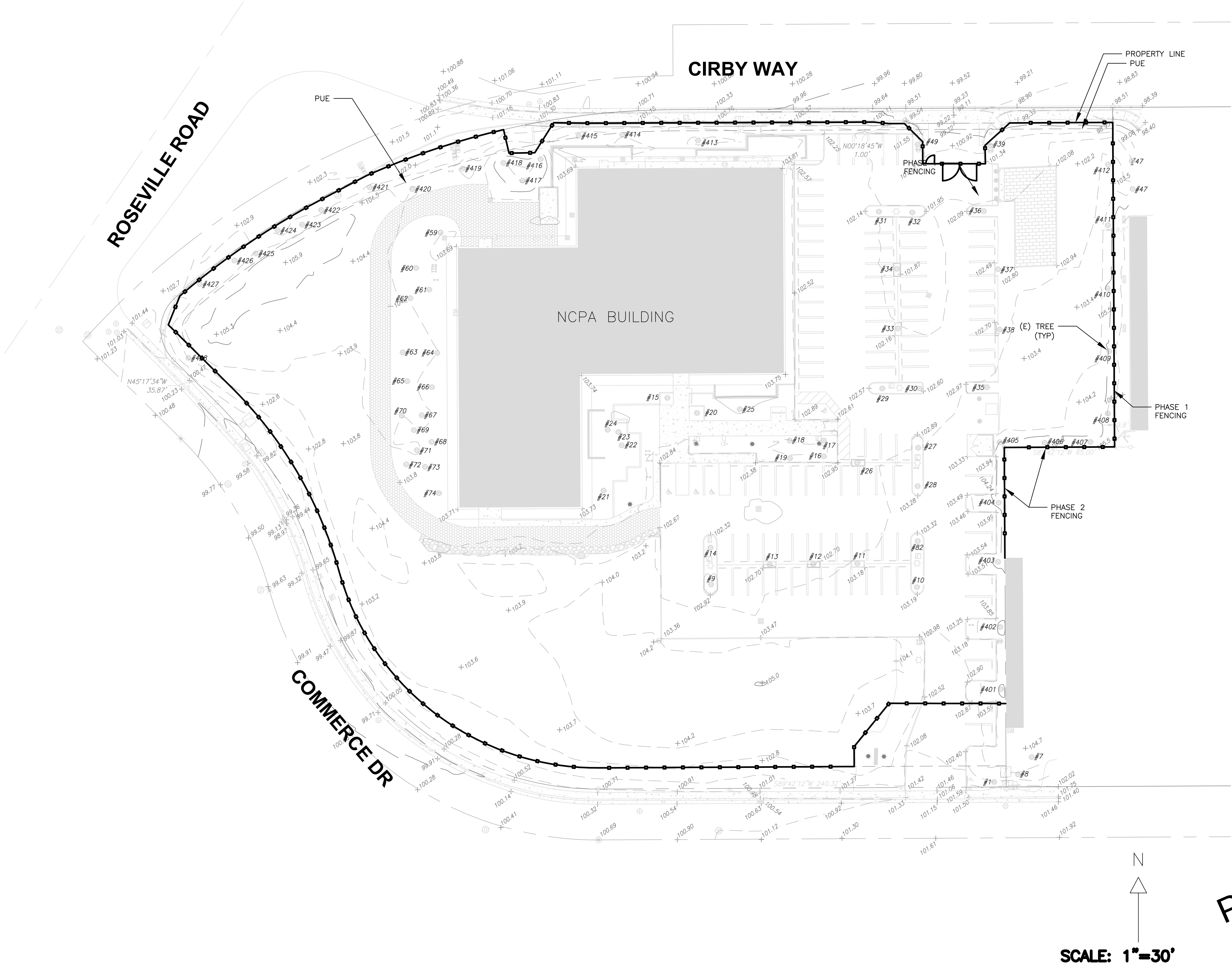
C5



NCPA - TREE EXHIBIT

| TREE LEGEND |         |                |        |
|-------------|---------|----------------|--------|
| TREE #      | TYPE    | TRUNK DIAMETER | IMPACT |
| 1           | -       | 8"             |        |
| 405         | REDWOOD | 16"            |        |
| 404         | OAK     | 8"             | 1.25%  |
| 403         | OAK     | 12"            | 0.30%  |
| 402         | OAK     | 16"            |        |
| 401         | OAK     | 14"            | 0.31%  |
| 7           | REDWOOD | 24"            |        |
| 8           | REDWOOD | 24"            |        |
| 9           | -       | 4"             |        |
| 10          | -       | 4"             |        |
| 11          | -       | 5"             |        |
| 12          | -       | 3"             |        |
| 13          | -       | 6"             |        |
| 14          | -       | 3"             |        |
| 15          | -       | 6"             |        |
| 16          | -       | 12"            |        |
| 17          | -       | 5"             |        |
| 18          | -       | 9"             |        |
| 19          | -       | 10"            |        |
| 20          | -       | 9"             |        |
| 21          | REDWOOD | 12"            |        |
| 22          | REDWOOD | 12"            |        |
| 23          | REDWOOD | 18"            |        |
| 24          | REDWOOD | 24"            |        |
| 25          | -       | 8"             |        |
| 26          | -       | 5"             |        |
| 27          | -       | 5"             |        |
| 28          | -       | 10"            |        |
| 29          | -       | 3"             |        |
| 30          | -       | 6"             |        |
| 31          | -       | 6"             |        |
| 32          | -       | 5"             |        |
| 33          | -       | 3"             |        |
| 34          | -       | 1"             |        |
| 35          | -       | 6"             |        |
| 36          | -       | 7"             |        |
| 37          | -       | 7"             |        |
| 38          | -       | 2"             |        |
| 39          | -       | 6"             |        |
| 406         | OAK     | 14"            | 0.79%  |
| 412         | OAK     | 30"            | 0.47%  |
| 411         | OAK     | 24"            | 0.78%  |
| 410         | OAK     | 30"            | 0.47%  |
| 409         | OAK     | 11"            | 0.63%  |
| 408         | OAK     | 17"            | 0.63%  |
| 407         | OAK     | 7"             | 0.75%  |
| 47          | REDWOOD | 10"            |        |
| 48          | REDWOOD | 9"             |        |
| 49          | -       | 7"             |        |
| 413         | REDWOOD | 29"            |        |
| 414         | REDWOOD | 28"            |        |
| 415         | REDWOOD | 29"            |        |
| 421         | REDWOOD | 27"            |        |
| 420         | REDWOOD | 20"            |        |
| 419         | REDWOOD | 24"            |        |
| 418         | REDWOOD | 30"            |        |
| 417         | REDWOOD | 31"            |        |
| 416         | REDWOOD | 30"            |        |
| 59          | -       | 12"            |        |
| 60          | -       | 12"            |        |
| 61          | -       | 7"             |        |
| 62          | -       | 7"             |        |
| 63          | -       | CLUMP          |        |
| 64          | -       | 7"             |        |
| 65          | -       | 2"             |        |
| 66          | -       | 3"             |        |
| 67          | -       | 4"             |        |
| 68          | -       | 4"             |        |
| 69          | -       | 2"             |        |
| 70          | -       | 1"             |        |
| 71          | -       | 2"             |        |
| 72          | -       | 2"             |        |
| 73          | -       | 4"             |        |
| 74          | -       | 5"             |        |
| 428         | REDWOOD | 28"            |        |
| 427         | REDWOOD | 5"             |        |
| 426         | REDWOOD | 22"            |        |
| 425         | REDWOOD | 22"            |        |
| 424         | REDWOOD | 18"            |        |
| 423         | REDWOOD | 22"            |        |
| 422         | REDWOOD | 22"            |        |
| 421         | REDWOOD | 4"             |        |

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION



SCALE: 1"=30'



Nicole I. Young, P.E.  
4111 Bunker Hill Road  
Shingle Springs, CA 95682  
530-391-6160

FILE NO: 1605  
REV. DATE JANUARY 2017

SHEET T1



ENVIRONMENTAL CONSULTING • PLANNING • LANDSCAPE ARCHITECTURE

February 3, 2017

RECEIVED

FEB 06 2017

Knat Holben  
Facilities Manager  
Northern California Power Agency  
651 Commerce Drive  
Roseville, CA 95678

Planning Division  
FILE COPY

RE: **Revised Arborist Report for the Northern California Power Agency, City of Roseville, California**

Dear Knat:

The purpose of this letter is to document the trees on the Northern California Power Agency (NCPA) site, located at 651 Commerce Drive, in the City of Roseville, California (**Figure 1**). In response to comments from City of Roseville planning staff, this report includes detailed assessments of the potential impacts to each tree from the proposed fence footings. The Proposed Project includes the installation of a wrought-iron fence along the southern, eastern, northern and a few hundred feet along the western boundary of the NCPA property. The Proposed Project will include the installation of 7-foot tall fencing posts connecting standard 8-foot wide and custom fit panel segments. Two gates will be installed along the northeastern portion of the fencing and includes one 40-inch wide pedestrian gate and one 20-foot wide double entry gate. A third gate will be installed at the southeastern portion of the site and includes one 24-foot wide remote access roll gate.

The City of Roseville Tree Ordinance regulates encroachment within the protected zone and removal of protected trees. Protected trees include any native oak, defined as valley oak (*Quercus lobata*), blue oak (*Quercus douglasii*), interior live oak (*Quercus wislizeni*), or any hybrid between these species, with a trunk diameter of six inches or greater at breast height (54 inches or 4.5-feet above grade) measured as a total of a single trunk or multiple trunks. The tree protection zone (TPZ) is the area within a circle around the tree defined by the largest radius of the canopy plus one foot.

A tree permit is required for removal of protected trees, and any regulated activities associated with a discretionary project occurring within more than 20 percent of the protected zone of a protected tree. Trees identified by an arborist as dead or hazardous trees may be removed without a permit and do not require mitigation. The City of Roseville may require mitigation for tree removal as a condition of the tree permit. Mitigation shall be based on an inch for inch replacement of trees to be removed and a minimum of 50 percent of the replacement trees shall be native oaks. Replacement planting is the preferred alternative, but relocation of existing trees, revegetation, or payment of in-lieu mitigation fees may also be used to fulfill the mitigation requirements.

## METHODS

ISA-Certified Arborist Charlotte Marks (WE-10519A) conducted an arborist survey of the site on August 18, 2016. All native and non-native trees within or overhanging the project footprint were examined to determine species and trunk diameter at breast height. A diameter tape was used to verify each trunk diameter. All trees were tagged with a pre-printed aluminum tag that corresponds to the numbering in **Attachment A** and **Table 1** below. All trees were identified to species and diameter at breast height (DBH), dripline radius (DLR), height, health, and structure were noted. The measurement from the trunk to the end of the longest lateral limb was used as the dripline radius. Approximate tree locations were mapped using a Trimble GeoXT Global Positioning System (GPS) hand-held unit with sub-meter accuracy.

The overall health and structure of each tree was evaluated on a scale ranging from poor to good. The health rating considers factors such as the size, color, and density of the foliage; the amount of deadwood within the canopy; bud viability; evidence of wound closure; and the presence or evidence of stress, disease, nutrient deficiency, and insect infestation. The structural rating reflects the trunk and branch configuration; canopy balance; the presence of included bark and other structural defects such as decay; and the potential for structural failure.

## RESULTS

A total of 29 trees were surveyed within and surrounding the project footprint. Trees identified in the survey area included: 12 interior live oaks and 17 redwoods (*Sequoia sempervirens*). Of the trees surveyed, 12 are protected oak trees under the City Tree Ordinance. The 17 non-protected trees are not further addressed in this report. Detailed tree data for all surveyed trees is included in **Attachment A**. The approximate locations of all surveyed trees and their driplines are shown on **Figure 1**.

The protected oak trees within the site are in fair to fair-good condition, except for one tree (#409) that has a poor-fair condition with respect to structure. While this tree was assessed to be in fair condition for health, structurally it demonstrates a severe lean, exposed roots, an asymmetrical canopy and included bark. While failure of this structurally compromised tree does not appear imminent, problems can worsen over time, leading to failure. Although a crown cleaning and pruning to lighten overburdened limbs would reduce the risk of failure, there is no treatment that will correct these structural issues. While the severe lean and overburdened limbs are weighted away from the installation of the proposed fencing, if failure were to occur, then the tree may be uprooted and cause damage to the fence structure; therefore, this tree is recommended for removal.

## IMPACT ASSESSMENT AND MITIGATION REQUIREMENTS

The Proposed Project will minimally impact 10 protected oak trees (**Figure 2**). One tree (#409) is recommended for removal. Impacts from the Proposed Project will only occur from installation of the fence posts within tree protection zones. Standard 8-foot wide fencing panels will be placed on the centerline of each tree to ensure that the least amount of fencing posts will be installed within the tree protection zone. To account for the varying distance between each

protected tree, custom-sized panel segments of varying width, will be used to bridge the gaps between the standard panels. The total impacted area per tree was calculated by subtracting the area for each fence post pit (approximately 15 inches by 15 inches; 1.6 square feet) that will occur within the dripline, and then subtracting it from the TPZ area. Trees with larger driplines, measuring 20 feet, were estimated to have four fence posts within the dripline, and trees with smaller driplines, measuring eight feet, were estimated to have two fence posts within the dripline. Impacts to protected trees are summarized in **Table 1**.

**Table 1 — Impacts to Protected Trees**

| Tree # | Species           | DBH (Inches) | Impacts                                                                              | Mitigation |
|--------|-------------------|--------------|--------------------------------------------------------------------------------------|------------|
| 401    | Interior Live Oak | 11           | Minimally impacted; Approximately 0.31% impacts within TPZ                           | None       |
| 402    | Interior Live Oak | 16           | No impacts                                                                           | None       |
| 403    | Interior Live Oak | 12           | Minimally impacted; Approximately 0.30% impacts within TPZ                           | None       |
| 404    | Interior Live Oak | 8            | Minimally impacted; Approximately 1.25 % impacts within TPZ                          | None       |
| 406    | Interior Live Oak | 14           | Minimally impacted; Approximately 0.79% impacts within TPZ                           | None       |
| 407    | Interior Live Oak | 7            | Minimally impacted; Approximately 0.75% impacts within TPZ                           | None       |
| 408    | Interior Live Oak | 17           | Minimally impacted; Approximately 0.63% impacts within TPZ                           | None       |
| 409    | Interior Live Oak | 11           | Minimally impacted; Approximately 0.63% impacts within TPZ; Recommended for removal. | None       |
| 410    | Interior Live Oak | 30           | Minimally impacted; Approximately 0.47% impacts within TPZ                           | None       |
| 411    | Interior Live Oak | 23.5         | Minimally impacted; Approximately 0.78% impacts within TPZ                           | None       |
| 412    | Interior Live Oak | 20           | Minimally impacted; Approximately 0.47% impacts within TPZ                           | None       |

Since no more than 20 percent of the TPZ for each tree will be impacted from the Proposed Project, no mitigation is required. The area and depth of fill should be minimized to the greatest extent possible to limit any further impacts to the trees. Furthermore, since the one tree recommended for removal is due to poor condition, no mitigation is required for removal of that tree. Removal of this tree is at the discretion of the project proponent.

#### **TREE PROTECTION RECOMMENDATIONS**

The following measures are recommended to protect trees to remain during construction. In addition, tree preservation measures should comply with Section 19.66.60 of the City of Roseville Municipal Code.

- Under 19.66.060 of the City of Roseville, Tree Preservation Code, installation of Tree Protection Fencing is required around all trees to remain within 50 feet of the project footprint, staging and storage areas, and any other areas of grading or ground disturbance. ***However, this is not applicable to the Proposed Project due to the minimal area of disturbance.***
- Staging and storage areas will occur within paved or disturbed areas (e.g. parking lots) and will be at least 50 feet away from any protected trees.
- No parking, portable toilets, dumping or storage of any construction materials, grading, excavation, trenching, or other infringement by workers or domesticated animals is allowed in the tree protection zone (TPZ) (dripline radius plus 1 foot).
- No signs, ropes, cables, or any other items shall be attached to a protected tree, unless recommended by an ISA-Certified Arborist.
- Pruning living roots of less than one-inch diameter may be cut, but damaged roots shall be traced back and cleanly cut behind any split, cracked or damaged area. Pruning of living limbs or roots over one-inch in diameter shall only be done under the supervision of an ISA-Certified Arborist. All pruning should be done in accordance with ISA standards using tree maintenance best practices. Climbing spikes should not be used on living trees. Limbs should be removed with clean cuts just outside the crown collar.
- If the native ground surface (grass, leaf, litter, or mulch) under a preserved tree is disturbed or removed it shall be replaced within 48 hours.
- Cut all roots cleanly at the edge of the trench. Do not tear or pull roots out of ground. If roots are split during excavation, follow root back to immediately above split and cut cleanly.
- Cut or fill within the dripline of existing native oaks should be avoided to the greatest extent possible. Under no circumstances should fill soil be placed against the trunk of an existing tree.

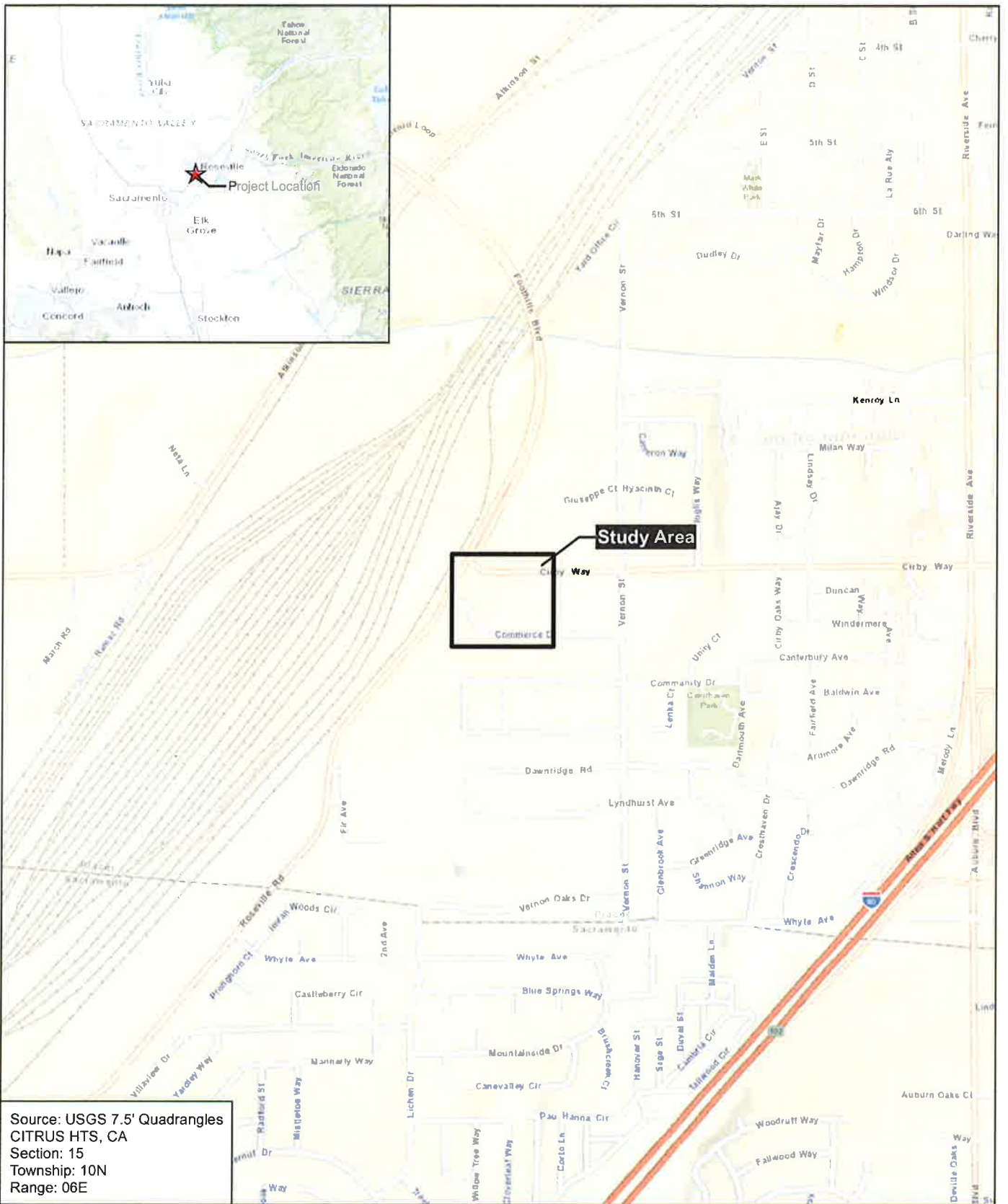
Please do not hesitate to call me at (916) 435-1202 x 229 or email at [cmarks@foothill.com](mailto:cmarks@foothill.com), if you have any questions about this report.

Sincerely,



Charlotte Marks  
ISA-Certified Arborist #WE-10519A

Enclosures (3)



## SITE AND VICINITY

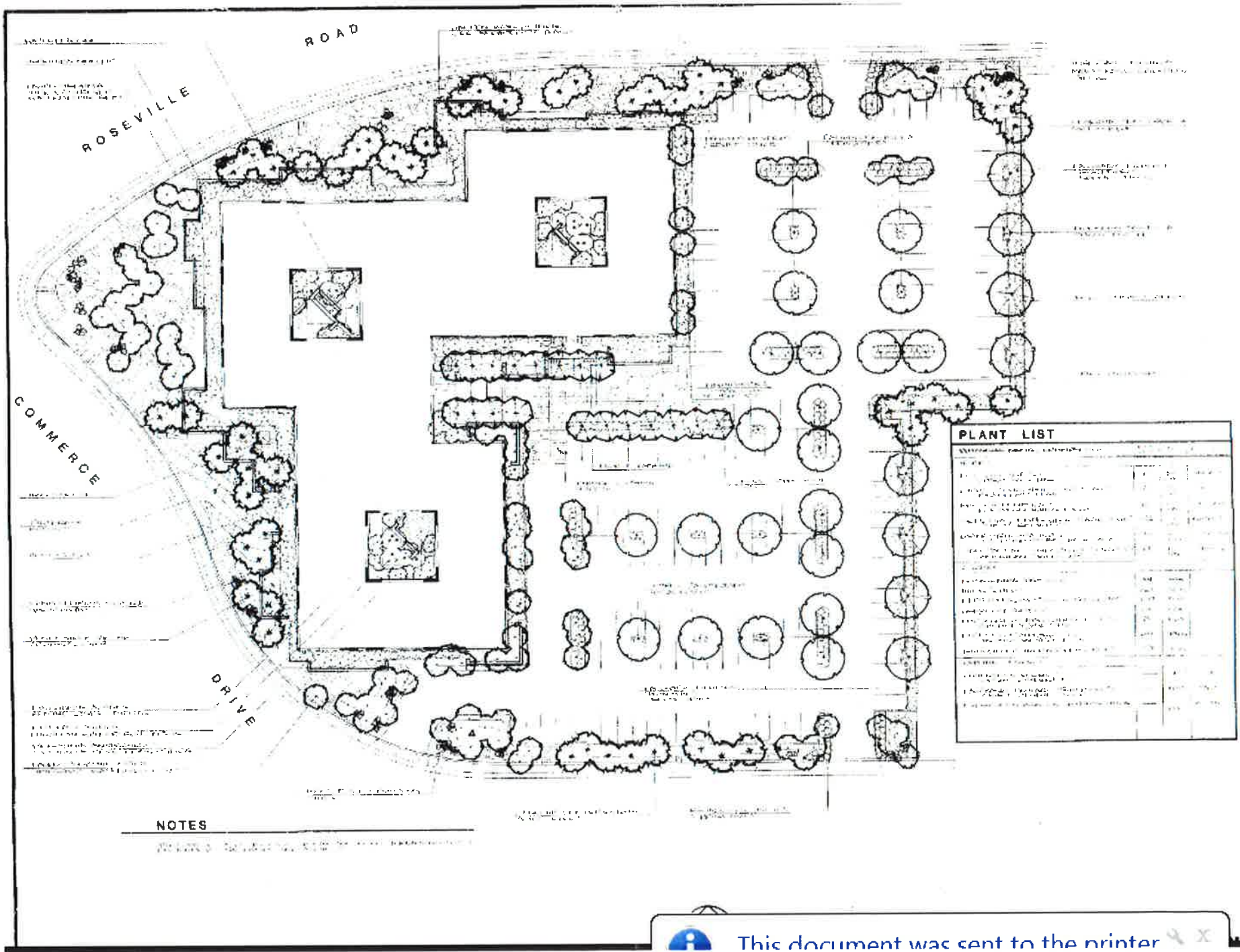




APPROXIMATE TREE LOCATIONS AND PROPOSED PROJECT

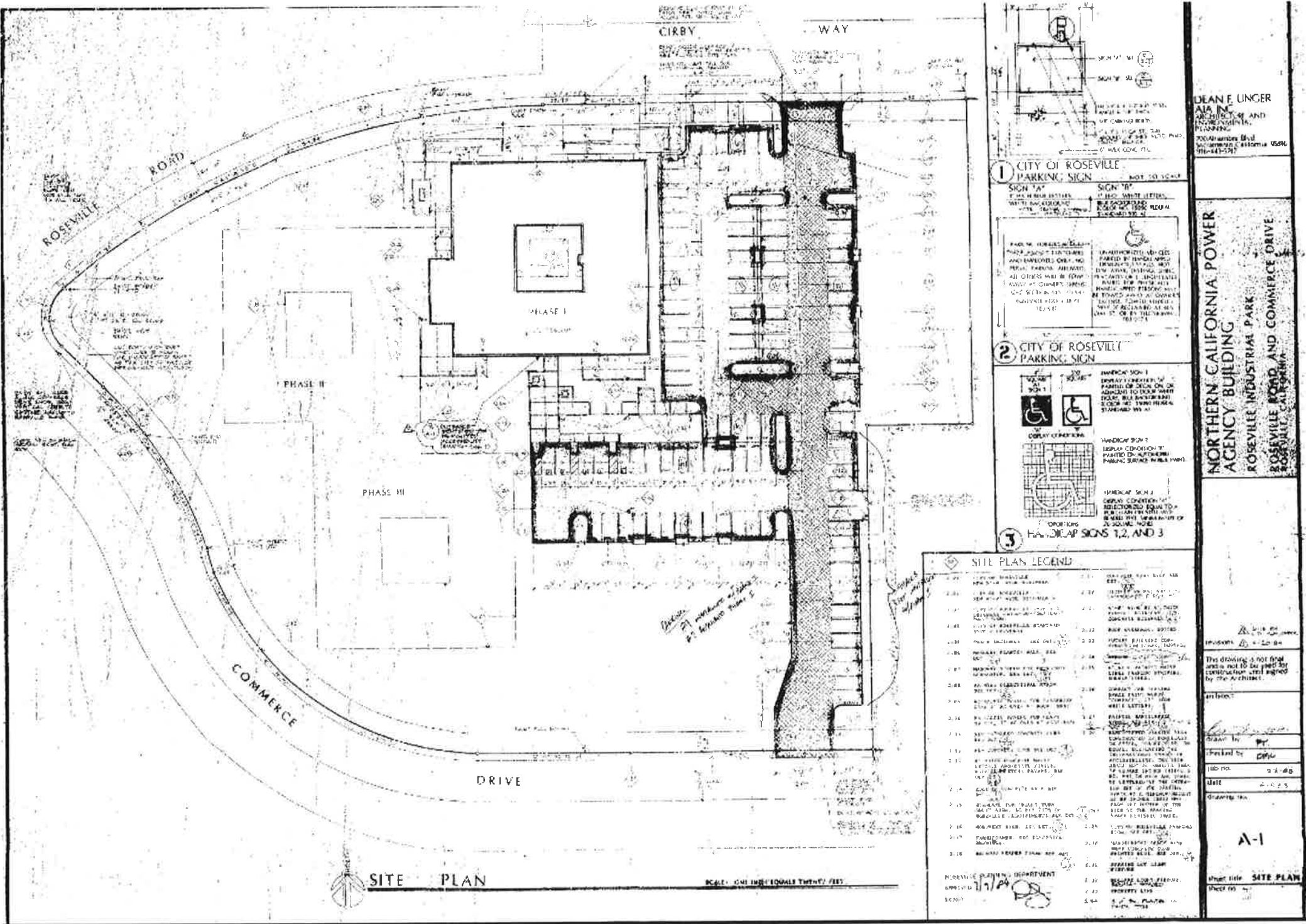
**Attachment A -- Tree Survey Data**

| Tree # | Species           | # of Trunks | DBH (Inches) | DLR (feet) | Height (ft) | Condition |           | Protected? | Impacts                                    | Notes                                                                                                                                        |
|--------|-------------------|-------------|--------------|------------|-------------|-----------|-----------|------------|--------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |             |              |            |             | Health    | Structure |            |                                            |                                                                                                                                              |
| 401    | Interior Live Oak | 1           | 11           | 17         | 25          | Fair      | Fair      | Yes        | No impact                                  | Asymmetrical canopy, included bark, minor dieback, slight lean, limb decay                                                                   |
| 402    | Interior Live Oak | 1           | 16           | 15         | 25          | Fair-Good | Fair      | Yes        | No impact                                  | Asymmetrical canopy, pruning cuts, included bark                                                                                             |
| 403    | Interior Live Oak | 1           | 12           | 12         | 20          | Fair-Good | Fair      | Yes        | No impact                                  | Asymmetrical canopy, pruning cuts, included bark, slight lean                                                                                |
| 404    | Interior Live Oak | 1           | 8            | 8          | 15          | Fair      | Fair      | Yes        | No impact                                  | Moderate dieback, included bark, pruning cuts                                                                                                |
| 405    | Redwood           | 1           | 16           | 10         | 30          | Fair      | Fair-Good | No         | No impact                                  | Minor dieback                                                                                                                                |
| 406    | Interior Live Oak | 1           | 14           | 15         | 20          | Fair-Good | Fair-Good | Yes        | No impact                                  | Included bark, minor dieback                                                                                                                 |
| 407    | Interior Live Oak | 1           | 7            | 15         | 20          | Fair      | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Slight lean, bark damage, pruning cuts, moderate dieback, asymmetrical canopy                                                                |
| 408    | Interior Live Oak | 1           | 17           | 17         | 25          | Fair      | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Asymmetrical canopy, pruning cuts, metal chain embedded at base and attached to adjacent property's picnic bench, minor dieback, slight lean |
| 409    | Interior Live Oak | 1           | 11           | 15         | 15          | Fair      | Poor-Fair | Yes        | Recommended for Removal.                   | Asymmetrical canopy, severe lean, bark damage, exposed roots, pruning cuts, included bark, minor dieback                                     |
| 410    | Interior Live Oak | 1           | 30           | 20         | 25          | Fair-Good | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Minor trunk rot, included bark, asymmetrical canopy, pruning cuts, bark damage                                                               |
| 411    | Interior Live Oak | 1           | 23.5         | 17         | 27          | Fair-Good | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Asymmetrical canopy, pruning cuts, minor dieback, included bark                                                                              |
| 412    | Interior Live Oak | 1           | 20           | 17         | 25          | Fair-Good | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Included bark, exposed roots, pruning cuts, minor dieback                                                                                    |
| 413    | Redwood           | 1           | 29           | 12         | 27          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Utility lines, topped, exposed roots                                                                                                         |
| 414    | Redwood           | 1           | 28           | 12         | 27          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Utility lines, topped, exposed roots                                                                                                         |
| 415    | Redwood           | 1           | 29           | 12         | 27          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Utility lines, topped, exposed roots                                                                                                         |
| 416    | Redwood           | 1           | 30           | 12         | 45          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 417    | Redwood           | 1           | 30.5         | 12         | 47          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 418    | Redwood           | 1           | 30           | 12         | 47          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 419    | Redwood           | 1           | 24           | 12         | 47          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 420    | Redwood           | 1           | 19.5         | 10         | 30          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 421    | Redwood           | 1           | 27           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 422    | Redwood           | 1           | 23           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 423    | Redwood           | 1           | 23           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 424    | Redwood           | 1           | 17.5         | 10         | 35          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 425    | Redwood           | 1           | 22           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, minor dieback, exposed roots                                                                                                |
| 426    | Redwood           | 1           | 22           | 10         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Moderate trunk rot, minor dieback, exposed roots                                                                                             |
| 427    | Redwood           | 1           | 24.5         | 10         | 40          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Minor dieback                                                                                                                                |
| 428    | Redwood           | 1           | 28           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Moderate trunk rot, minor dieback                                                                                                            |



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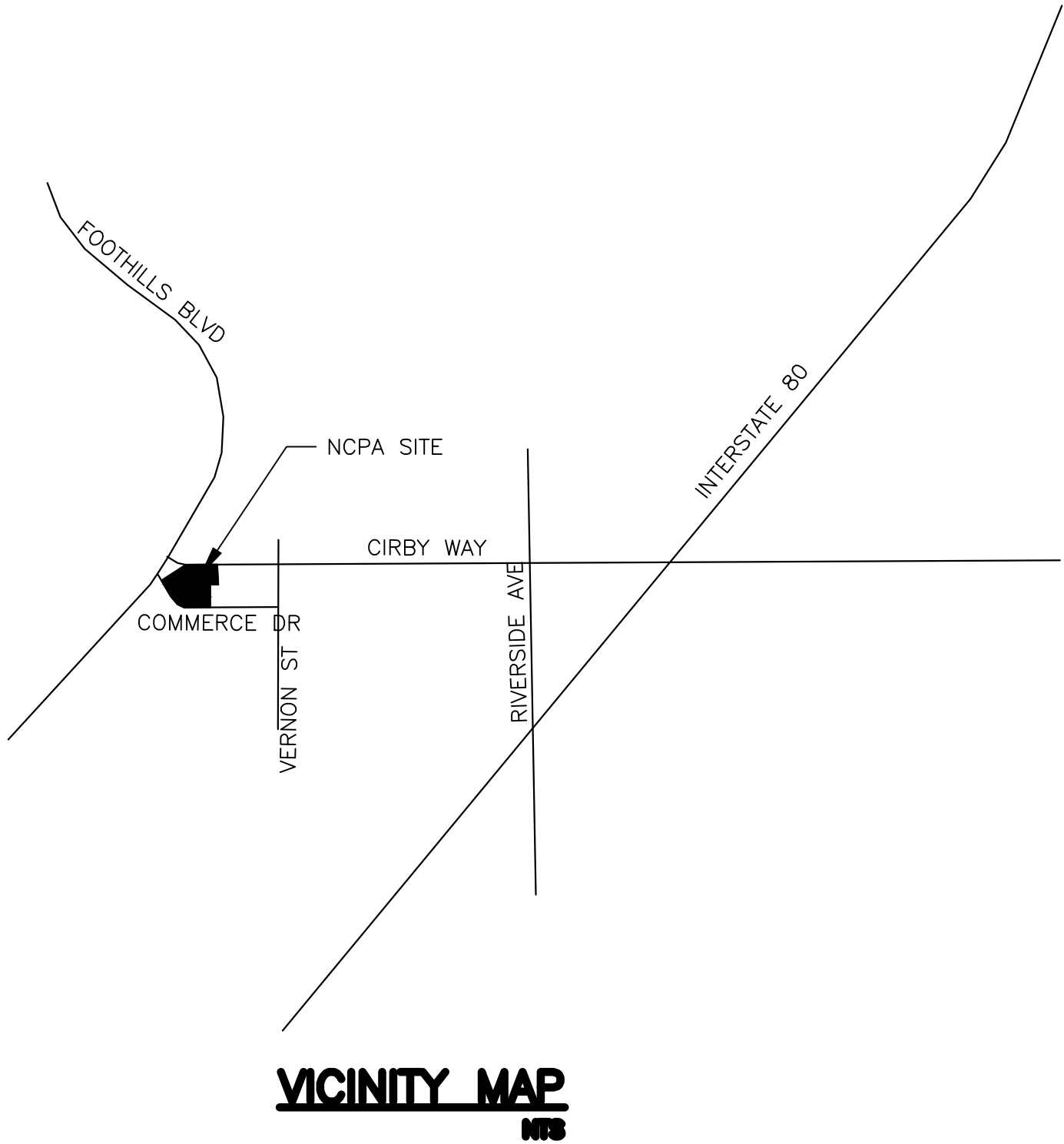




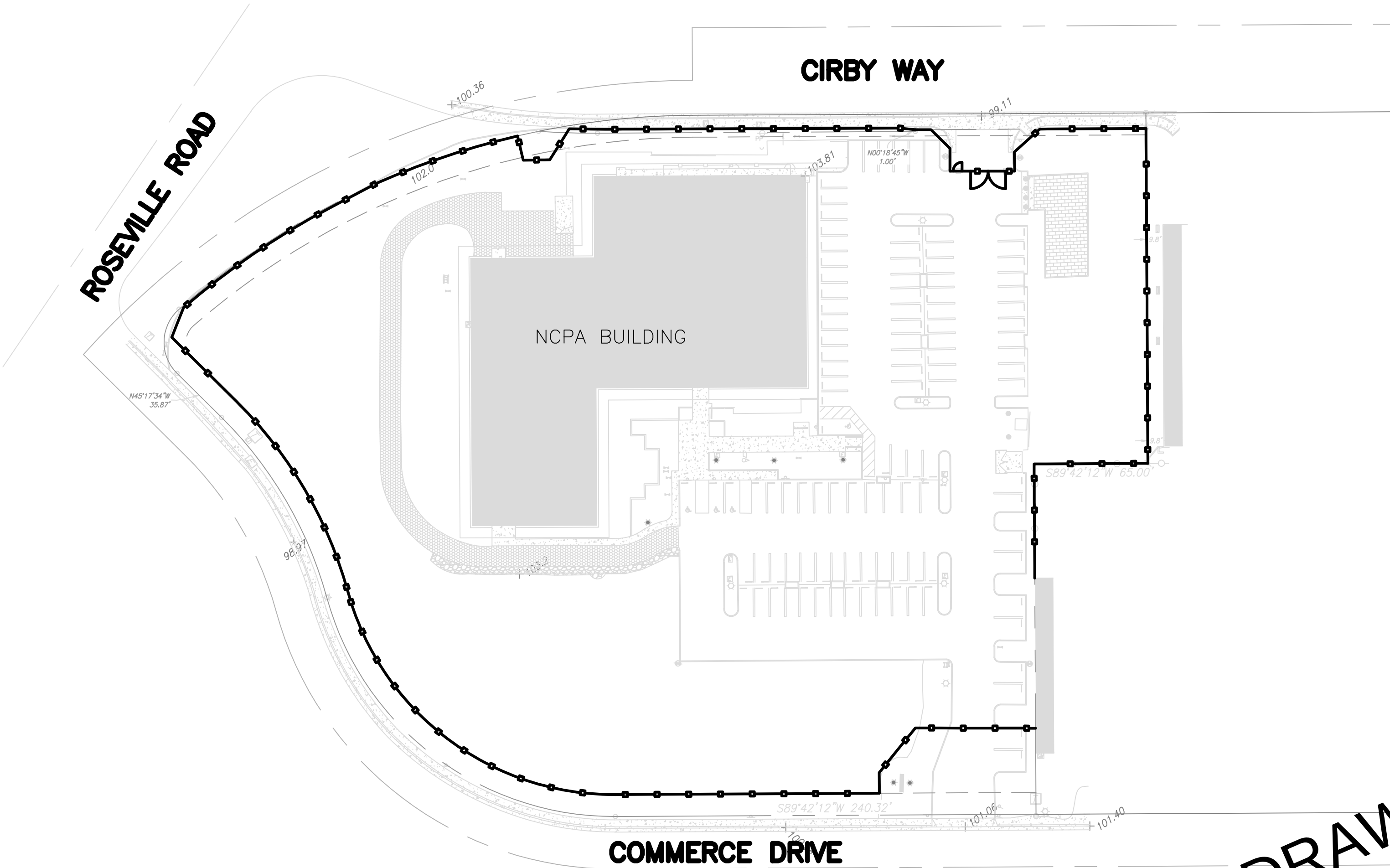
# NORTHERN CALFIRONIA POWER AGENCY

## FENCING PLAN - PHASE 1 & 2

651 COMMERCE DR, ROSEVILLE, CA



- SHEET INDEX:
- C1 COVER SHEET
  - C2 NOTES AND DETAILS
  - C3 FENCING LAYOUT
  - C4 FENCING LAYOUT
  - C5 STRUCTURAL NOTES AND DETAILS



SCALE: 1"=50'

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

PLANNING PROJECT NUMBER:

### DEPT OF DEVELOPMENT SERVICES

ACCEPTED BY:

CITY ENGINEER DATE

FIRE DEPARTMENT

ACCEPTED BY:

FIRE INSPECTOR DATE

## EXHIBIT A

### NCPA - FENCING PLAN - PHASE 1 & 2

651 COMMERCE DR, ROSEVILLE, CA

SCALE: 1"=50'



Nicole I. Young, P.E.  
4111 Bunker Hill Road  
Shingle Springs, CA 95682  
530-391-6160

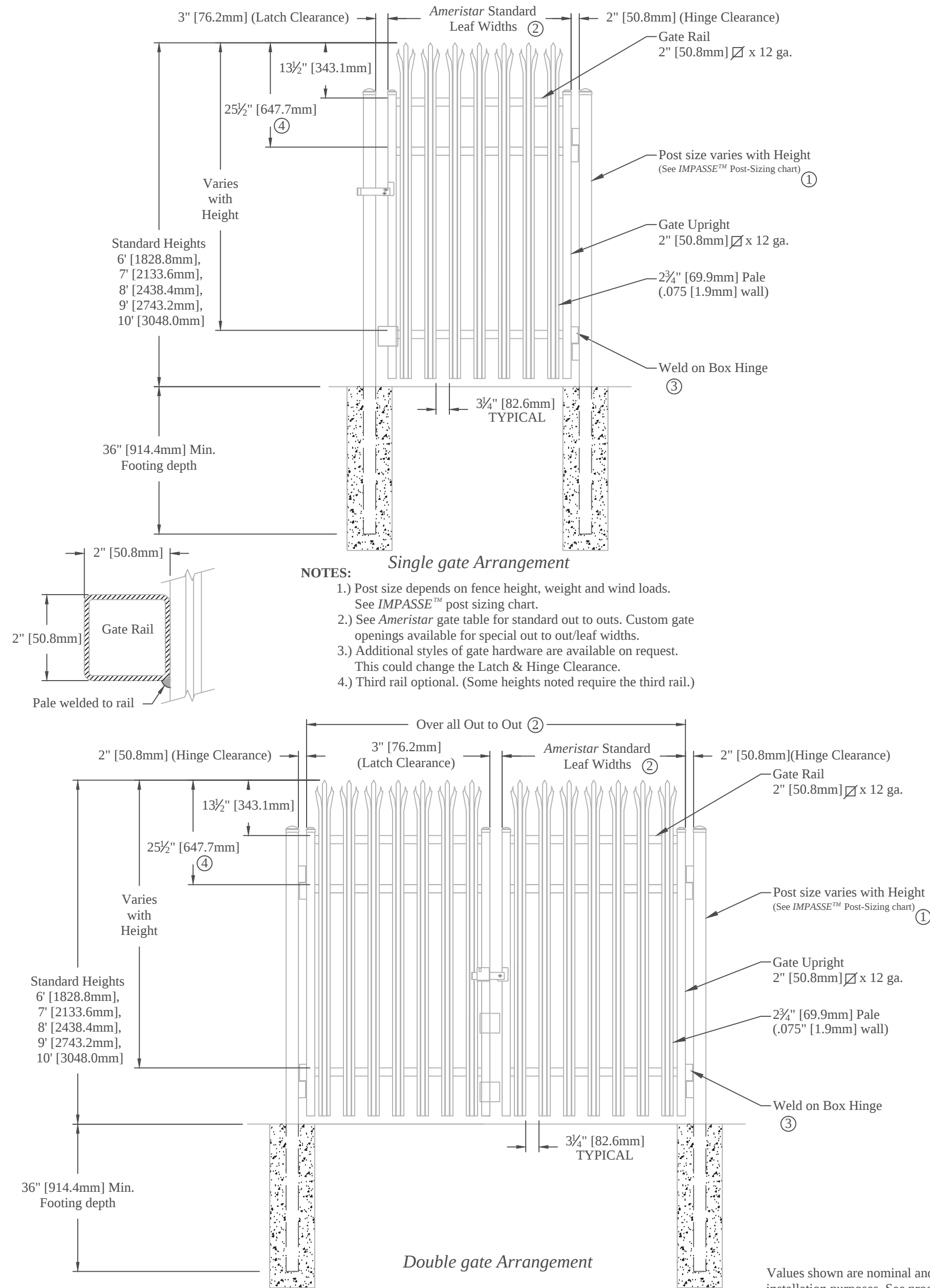
FILE NO: 1605

REV. DATE JANUARY 2017

SHEET C1

GENERAL NOTES:

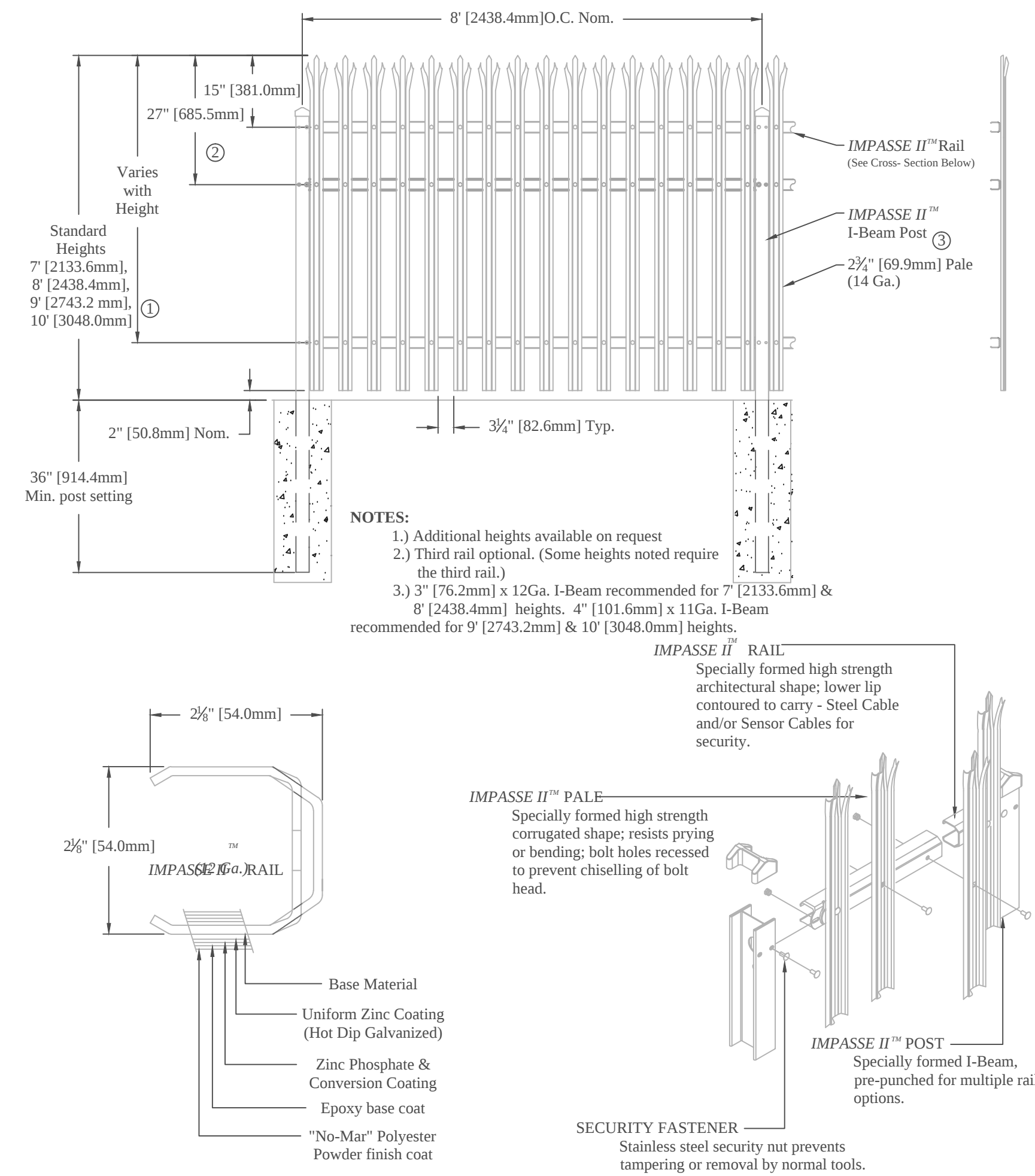
1. ALL CONSTRUCTION AND MATERIALS SHALL CONFORM TO THESE PLANS AND THE LATEST EDITION AND AMMENDMENTS OF THE CITY OF ROSEVILLE DESIGN AND CONSTRUCTION STANDARDS.
2. THE CITY OF ROSEVILLE IS A MEMBER OF THE UNDERGROUND SERVICE ALERT (U.S.A.) ONE-CALL SYSTEM. THE CONTRACTORS SHALL NOTIFY THE U.S.A. CENTER 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK BY CALLING 1-800-227-2600.
3. THE CONTRACTOR SHALL MARK IN WHITE PAINT ALL AREAS TO BE EXCAVATED PRIOR TO CONTACTING U.S.A. ANY AREAS NOT MARKED WILL NOT BE SUBJECT TO U.S.A., AND THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE RESULTING FROM EXCAVATION. THE CONTRACTOR OR APPLICANT WHO REQUESTED THE USA MARKINGS SHALL BE RESPONSIBLE FOR THE REMOVAL OF THE USA MARKINGS UPON COMPLETION OF THE WORK, AT THE DISCRETION OF THE CITY ENGINEER.
4. THE CONTRACTOR SHALL EXPOSE AND VERIFY LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION OF THE NEW IMPROVEMENTS CONNECTING TO OR IN THE VICINITY OF THE SAME.
5. CONTRACTOR SHALL CONTACT ROSEVILLE ELECTRIC PRIOR TO ANY EXCAVATION WITHIN 10 FEET OF ELECTRICAL LINES. CONTRACTOR SHALL COORDINATE UTILITY POTHOLE LOCATIONS WITH ROSEVILLE ELECTRIC TO AVOID UTILITY CONFLICTS.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS ON THE JOB SITE.
7. THE CONTRACTOR SHALL PLACE BOXED SURVEY MONUMENTS WITH 1-1/2" BRONZE HEAD SET IN CONCRETE (STD. DWG. ST-36) AT LOCATIONS SHOWN ON THESE PLANS.
8. THE CONTRACTOR SHALL CONDUCT A PRE-CONSTRUCTION MEETING ONE-WEEK PRIOR TO STARTING WORK. MEMBERS OF THE CITY OF ROSEVILLE DEVELOPMENT SERVICES DEPARTMENT, ENVIRONMENTAL UTILITIES DEPARTMENT AND ALL OTHER UTILITY REPRESENTATIVES SHALL BE NOTIFIED BY THE CONTRACTOR AS TO THE DATE AND LOCATION OF THE MEETING.
9. THE DEVELOPERS CONTRACTOR SHALL TAKE EXTREME CARE TO PROTECT EXISTING SITE AND ADJACENT IMPROVEMENTS FROM DAMAGE. THE CONTRACTOR SHALL BE RESPONSIBLE TO REPAIR OR MAKE REPLACEMENT OF ALL CRACKED AND OTHERWISE PRE-EXISTING DAMAGED PUBLIC IMPROVEMENTS, ALONG THE FRONTAGE OF THE PROJECT SITE AND ANY DAMAGE RESULTING FROM CONSTRUCTION TO CURRENT CITY STANDARDS AND AT THEIR OWN EXPENSE. THE EXTENT OF THE REPAIRS SHALL BE DETERMINED BY THE DEVELOPMENT SERVICES CONSTRUCTION INSPECTOR AND SHALL BE COMPLETED PRIOR TO THE CITY ACCEPTANCE OF THE IMPROVEMENTS.
10. THE CONTRACTOR SHALL STOP CONSTRUCTION IF CULTURAL RESOURCES ARE DISCOVERED DURING EXCAVATION OPERATIONS. IT IS POSSIBLE THAT PREVIOUS ACTIVITIES HAVE OBTURED SURFACE EVIDENCE OF CULTURAL RESOURCES. IF SIGNS OF AN ARCHEOLOGICAL SITE, SUCH AS ANY UNUSUAL AMOUNTS OF STONE, BONE, OR SHELL ARE UNCOVERED DURING GRADING OR OTHER CONSTRUCTION ACTIVITIES, WORK SHALL BE HALTED WITHIN 100 FEET OF THE FIND AND THE ROSEVILLE COMMUNITY DEVELOPMENT DEPARTMENT SHALL BE NOTIFIED IMMEDIATELY. A QUALIFIED ARCHAEOLOGIST SHALL BE CONSULTED FOR AN ON-SITE EVALUATION. ADDITIONAL MITIGATION MAY BE REQUIRED BY THE ARCHAEOLOGIST.
11. IN ACCORDANCE WITH THE CITY OF ROSEVILLE'S NOISE ORDINANCE, THE HOURS OF PROJECT CONSTRUCTION SHALL BE LIMITED TO THE FOLLOWING:
- 7:00AM TO 7:00PM, MONDAY THROUGH FRIDAY  
8:00AM TO 8:00PM, SATURDAY, SUNDAY AND HOLIDAYS
12. PRIOR TO THE COMMENCEMENT OF PROJECT CONSTRUCTION, THE CITY'S CONSTRUCTION INSPECTOR SHALL BE FURNISHED WITH THE NAME AND TELEPHONE NUMBER OF A CONTACT PERSON WHO CAN BE REACHED 24 HOURS PER DAY REGARDING PROBLEMS OR EMERGENCIES AT THE SITE.
13. SIDEWALK CLOSURES SHALL BE SUBJECT TO THE APPROVAL OF THE TRAFFIC ENGINEERING SECTION. APPROPRIATE TRAFFIC CONTROL AND DETOUR PLANS SHALL BE SUBMITTED TO THE TRAFFIC SECTION VIA THE CITY'S CONSTRUCTION INSPECTOR 96 HOURS PRIOR TO THE PROPOSED CLOSURE. THE CLOSURE SHALL NOT BE SCHEDULED UNTIL PLAN APPROVAL IS RECEIVED.
14. NO OPEN TRENCHES SHALL BE ALLOWED OVERNIGHT FOR THE CONSTRUCTION OF THIS PROJECT.
15. WHERE DIRT, MUD, ROCK, SAND OR OTHER FOREIGN MATERIAL ARE TRACKED ONTO PUBLIC STREET PAVEMENT, THE CONTRACTOR SHALL CLEAN THE STREETS DAILY, OR AS DIRECTED BY THE CITY'S CONSTRUCTION INSPECTOR. IF THE CONTRACTOR FAILS TO KEEP THE STREETS CLEAN, THE CITY MAY CLEAN THE AREAS AND BILL THE CONTRACTOR. STREETS SHALL BE CLEANED WITH A POWER BROOM OR HAND BROOMS AND SHALL NOT BE WASHED WITH WATER WITHOUT THE APPROVAL OF THE CITY'S CONSTRUCTION INSPECTOR. ANY MUD DISPLACED INTO THE CITY STORM DRAIN SYSTEM BY THE CONTRACTOR SHALL BE REMOVED AT THE DISCRETION OF THE CITY'S CONSTRUCTION INSPECTOR.
16. CONSTRUCTION SAFETY WITHIN THE CITY OF ROSEVILLE SHALL BE GOVERNED BY THE CONSTRUCTION SAFETY ORDERS OF THE OCCUPATIONAL SAFETY AND HEALTH STANDARDS OF TITLE 8 OF THE CALIFORNIA CODE OF REGULATIONS.
17. ALL INSTALLATION OF FIRE PROTECTION EQUIPMENT SHALL CONFORM TO THE CALIFORNIA FIRE CODE AND AMENDMENTS ADOPTED BY THE CITY OF ROSEVILLE, ALONG WITH ALL STANDARDS AND POLICIES IMPLEMENTED BY THE ROSEVILLE FIRE DEPARTMENT.



AMERISTAR PED GATE DETAIL

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.

Values shown are nominal and not to be used for installation purposes. See product specification for installation requirements.



AMERISTAR FENCE PANEL DETAIL

| PROPRIETARY INFORMATION                                                                                                                                                                |    |      |          |                    |
|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----|------|----------|--------------------|
| This drawing is the property of AMERISTAR, Inc. and shall not be reproduced or used for the making of drawings, plans or specifications without the written consent of AMERISTAR, Inc. |    |      |          |                    |
| REV.                                                                                                                                                                                   | BY | CHKD | DATE     | DESCRIPTION        |
| 1                                                                                                                                                                                      | CF | BD   | 11-08-10 | INITIAL RELEASE    |
| 2                                                                                                                                                                                      | LM |      | 11-17-14 | 2" I-BEAM WALL TOP |
|                                                                                                                                                                                        |    |      |          |                    |
|                                                                                                                                                                                        |    |      |          |                    |

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

SCALE: 1"=50'

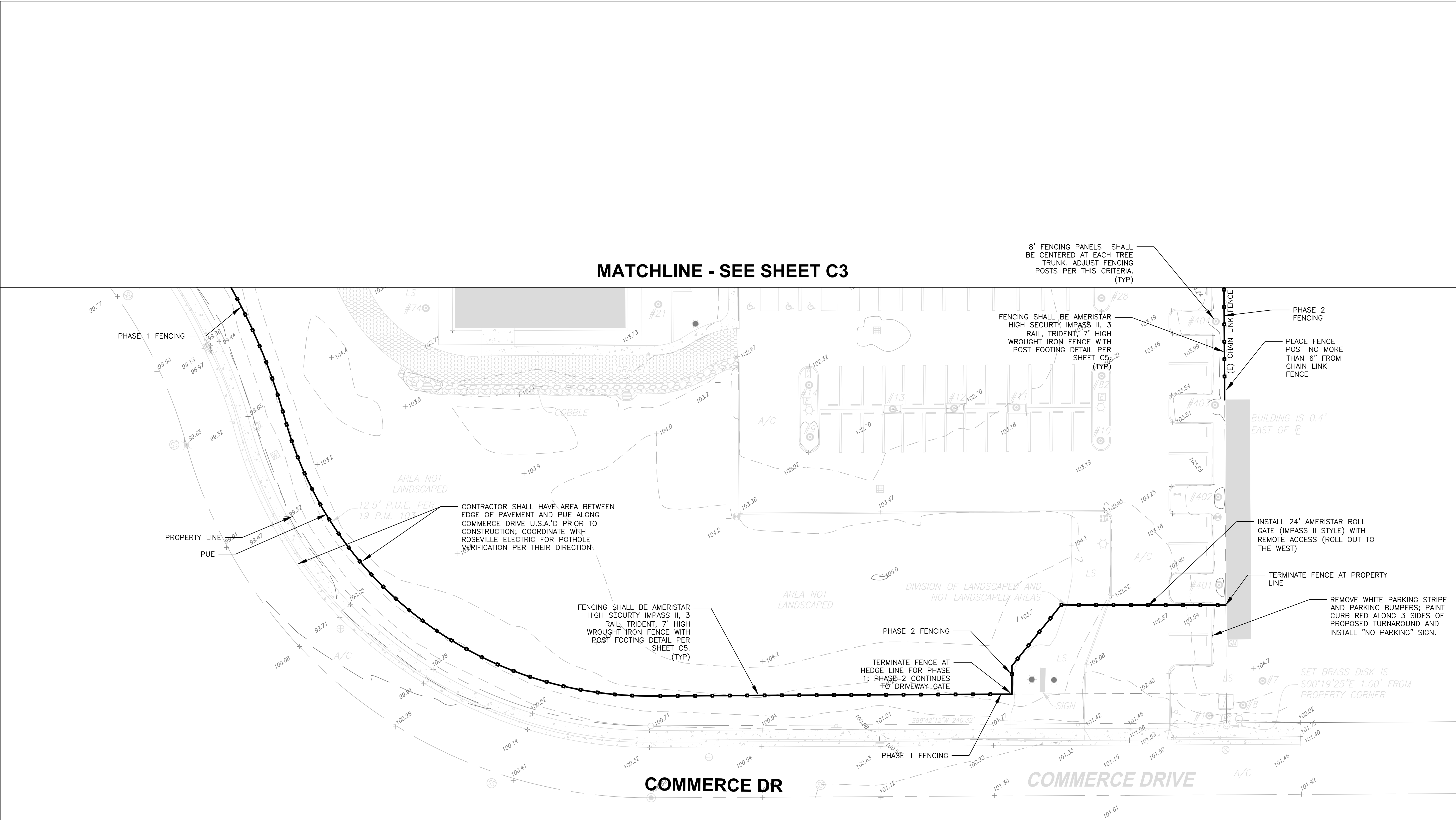


Nicole I. Young, P.E.  
4111 Bunker Hill Road  
Shingle Springs, CA 95682  
530-391-6160

FILE NO: 1605  
REV. DATE JANUARY 2017

SHEET C2





NCPA - FENCING PLAN LAYOUT

651 COMMERCE DR, ROSEVILLE, CA

SCALE: 1"=20'



Nicole I. Young, P.E.  
4111 Bunker Hill Road  
Shingle Springs, CA 95682  
530-391-6160

FILE NO: 1605  
REV. DATE JANUARY 2017

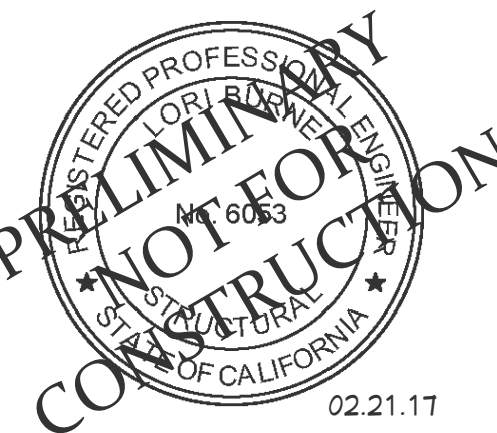
SHEET C4

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

SCALE: 1"=20'

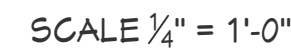


STRUCTURAL NOTES & DETAILS  
NCPA FENCE  
651 COMMERCE DR  
ROSEVILLE, CA

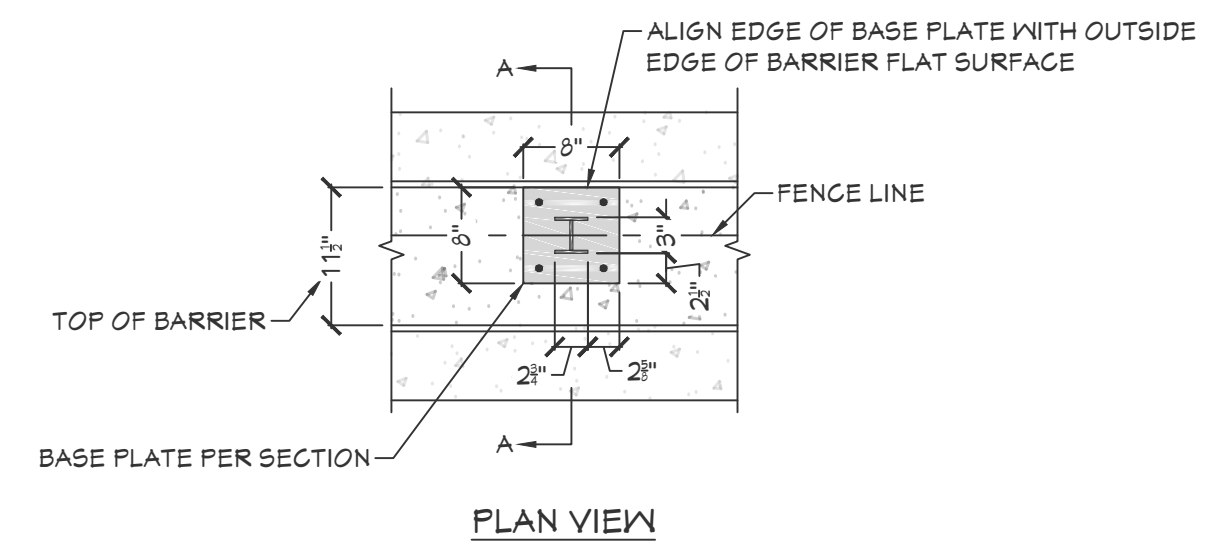


21.17

C5



**NOTE:**  
CONTRACTOR TO VERIFY ALL MEASUREMENTS  
PRIOR TO ORDERING OR FABRICATING MATERIALS.



D1 NO SCALE

NCPA - TREE EXHIBIT

| TREE LEGEND |         |                |        |
|-------------|---------|----------------|--------|
| TREE #      | TYPE    | TRUNK DIAMETER | IMPACT |
| 1           | -       | 8"             |        |
| 405         | REDWOOD | 16"            |        |
| 404         | OAK     | 8"             | 1.25%  |
| 403         | OAK     | 12"            | 0.30%  |
| 402         | OAK     | 16"            |        |
| 401         | OAK     | 14"            | 0.31%  |
| 7           | REDWOOD | 24"            |        |
| 8           | REDWOOD | 24"            |        |
| 9           | -       | 4"             |        |
| 10          | -       | 4"             |        |
| 11          | -       | 5"             |        |
| 12          | -       | 3"             |        |
| 13          | -       | 6"             |        |
| 14          | -       | 3"             |        |
| 15          | -       | 6"             |        |
| 16          | -       | 12"            |        |
| 17          | -       | 5"             |        |
| 18          | -       | 9"             |        |
| 19          | -       | 10"            |        |
| 20          | -       | 9"             |        |
| 21          | REDWOOD | 12"            |        |
| 22          | REDWOOD | 12"            |        |
| 23          | REDWOOD | 18"            |        |
| 24          | REDWOOD | 24"            |        |
| 25          | -       | 8"             |        |
| 26          | -       | 5"             |        |
| 27          | -       | 5"             |        |
| 28          | -       | 10"            |        |
| 29          | -       | 3"             |        |
| 30          | -       | 6"             |        |
| 31          | -       | 6"             |        |
| 32          | -       | 5"             |        |
| 33          | -       | 3"             |        |
| 34          | -       | 1"             |        |
| 35          | -       | 6"             |        |
| 36          | -       | 7"             |        |
| 37          | -       | 7"             |        |
| 38          | -       | 2"             |        |
| 39          | -       | 6"             |        |
| 406         | OAK     | 14"            | 0.79%  |
| 412         | OAK     | 30"            | 0.47%  |
| 411         | OAK     | 24"            | 0.78%  |
| 410         | OAK     | 30"            | 0.47%  |
| 409         | OAK     | 11"            | 0.63%  |
| 408         | OAK     | 17"            | 0.63%  |
| 407         | OAK     | 7"             | 0.75%  |
| 47          | REDWOOD | 10"            |        |
| 48          | REDWOOD | 9"             |        |
| 49          | -       | 7"             |        |
| 413         | REDWOOD | 29"            |        |
| 414         | REDWOOD | 28"            |        |
| 415         | REDWOOD | 29"            |        |
| 421         | REDWOOD | 27"            |        |
| 420         | REDWOOD | 20"            |        |
| 419         | REDWOOD | 24"            |        |
| 418         | REDWOOD | 30"            |        |
| 417         | REDWOOD | 31"            |        |
| 416         | REDWOOD | 30"            |        |
| 59          | -       | 12"            |        |
| 60          | -       | 12"            |        |
| 61          | -       | 7"             |        |
| 62          | -       | 7"             |        |
| 63          | -       | CLUMP          |        |
| 64          | -       | 7"             |        |
| 65          | -       | 2"             |        |
| 66          | -       | 3"             |        |
| 67          | -       | 4"             |        |
| 68          | -       | 4"             |        |
| 69          | -       | 2"             |        |
| 70          | -       | 1"             |        |
| 71          | -       | 2"             |        |
| 72          | -       | 2"             |        |
| 73          | -       | 4"             |        |
| 74          | -       | 5"             |        |
| 428         | REDWOOD | 28"            |        |
| 427         | REDWOOD | 5"             |        |
| 426         | REDWOOD | 22"            |        |
| 425         | REDWOOD | 22"            |        |
| 424         | REDWOOD | 18"            |        |
| 423         | REDWOOD | 22"            |        |
| 422         | REDWOOD | 22"            |        |
| 421         | REDWOOD | 4"             |        |

PRELIMINARY DRAWINGS  
NOT FOR CONSTRUCTION

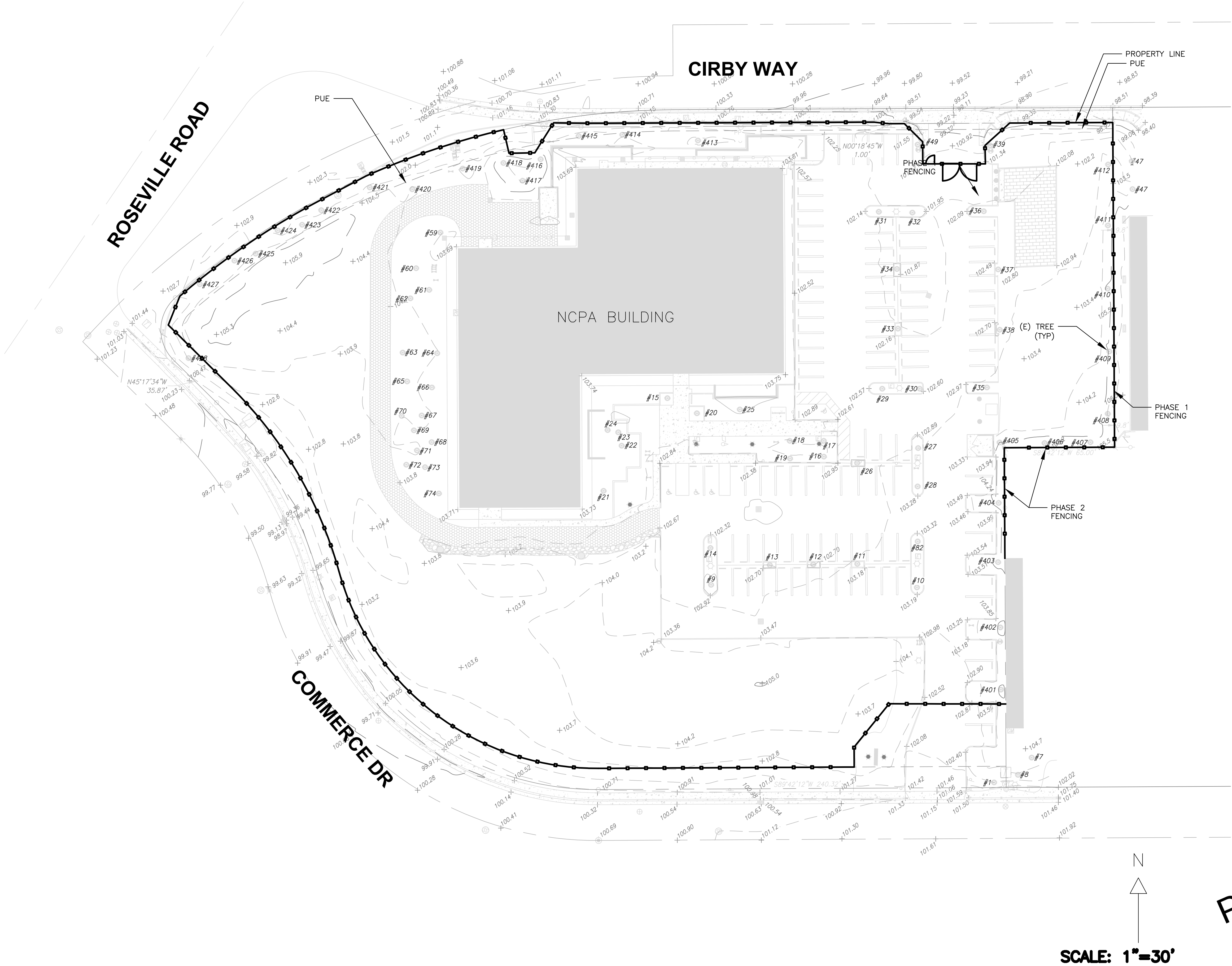
SCALE: 1"=30'



Nicole I. Young, P.E.  
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Shingle Springs, CA 95682  
530-391-6160

FILE NO: 1605  
REV. DATE JANUARY 2017

SHEET T1





ENVIRONMENTAL CONSULTING • PLANNING • LANDSCAPE ARCHITECTURE

February 3, 2017

RECEIVED

FEB 06 2017

Knat Holben  
Facilities Manager  
Northern California Power Agency  
651 Commerce Drive  
Roseville, CA 95678

Planning Division  
FILE COPY

RE: **Revised Arborist Report for the Northern California Power Agency, City of Roseville, California**

Dear Knat:

The purpose of this letter is to document the trees on the Northern California Power Agency (NCPA) site, located at 651 Commerce Drive, in the City of Roseville, California (**Figure 1**). In response to comments from City of Roseville planning staff, this report includes detailed assessments of the potential impacts to each tree from the proposed fence footings. The Proposed Project includes the installation of a wrought-iron fence along the southern, eastern, northern and a few hundred feet along the western boundary of the NCPA property. The Proposed Project will include the installation of 7-foot tall fencing posts connecting standard 8-foot wide and custom fit panel segments. Two gates will be installed along the northeastern portion of the fencing and includes one 40-inch wide pedestrian gate and one 20-foot wide double entry gate. A third gate will be installed at the southeastern portion of the site and includes one 24-foot wide remote access roll gate.

The City of Roseville Tree Ordinance regulates encroachment within the protected zone and removal of protected trees. Protected trees include any native oak, defined as valley oak (*Quercus lobata*), blue oak (*Quercus douglasii*), interior live oak (*Quercus wislizeni*), or any hybrid between these species, with a trunk diameter of six inches or greater at breast height (54 inches or 4.5-feet above grade) measured as a total of a single trunk or multiple trunks. The tree protection zone (TPZ) is the area within a circle around the tree defined by the largest radius of the canopy plus one foot.

A tree permit is required for removal of protected trees, and any regulated activities associated with a discretionary project occurring within more than 20 percent of the protected zone of a protected tree. Trees identified by an arborist as dead or hazardous trees may be removed without a permit and do not require mitigation. The City of Roseville may require mitigation for tree removal as a condition of the tree permit. Mitigation shall be based on an inch for inch replacement of trees to be removed and a minimum of 50 percent of the replacement trees shall be native oaks. Replacement planting is the preferred alternative, but relocation of existing trees, revegetation, or payment of in-lieu mitigation fees may also be used to fulfill the mitigation requirements.

## METHODS

ISA-Certified Arborist Charlotte Marks (WE-10519A) conducted an arborist survey of the site on August 18, 2016. All native and non-native trees within or overhanging the project footprint were examined to determine species and trunk diameter at breast height. A diameter tape was used to verify each trunk diameter. All trees were tagged with a pre-printed aluminum tag that corresponds to the numbering in **Attachment A** and **Table 1** below. All trees were identified to species and diameter at breast height (DBH), dripline radius (DLR), height, health, and structure were noted. The measurement from the trunk to the end of the longest lateral limb was used as the dripline radius. Approximate tree locations were mapped using a Trimble GeoXT Global Positioning System (GPS) hand-held unit with sub-meter accuracy.

The overall health and structure of each tree was evaluated on a scale ranging from poor to good. The health rating considers factors such as the size, color, and density of the foliage; the amount of deadwood within the canopy; bud viability; evidence of wound closure; and the presence or evidence of stress, disease, nutrient deficiency, and insect infestation. The structural rating reflects the trunk and branch configuration; canopy balance; the presence of included bark and other structural defects such as decay; and the potential for structural failure.

## RESULTS

A total of 29 trees were surveyed within and surrounding the project footprint. Trees identified in the survey area included: 12 interior live oaks and 17 redwoods (*Sequoia sempervirens*). Of the trees surveyed, 12 are protected oak trees under the City Tree Ordinance. The 17 non-protected trees are not further addressed in this report. Detailed tree data for all surveyed trees is included in **Attachment A**. The approximate locations of all surveyed trees and their driplines are shown on **Figure 1**.

The protected oak trees within the site are in fair to fair-good condition, except for one tree (#409) that has a poor-fair condition with respect to structure. While this tree was assessed to be in fair condition for health, structurally it demonstrates a severe lean, exposed roots, an asymmetrical canopy and included bark. While failure of this structurally compromised tree does not appear imminent, problems can worsen over time, leading to failure. Although a crown cleaning and pruning to lighten overburdened limbs would reduce the risk of failure, there is no treatment that will correct these structural issues. While the severe lean and overburdened limbs are weighted away from the installation of the proposed fencing, if failure were to occur, then the tree may be uprooted and cause damage to the fence structure; therefore, this tree is recommended for removal.

## IMPACT ASSESSMENT AND MITIGATION REQUIREMENTS

The Proposed Project will minimally impact 10 protected oak trees (**Figure 2**). One tree (#409) is recommended for removal. Impacts from the Proposed Project will only occur from installation of the fence posts within tree protection zones. Standard 8-foot wide fencing panels will be placed on the centerline of each tree to ensure that the least amount of fencing posts will be installed within the tree protection zone. To account for the varying distance between each

protected tree, custom-sized panel segments of varying width, will be used to bridge the gaps between the standard panels. The total impacted area per tree was calculated by subtracting the area for each fence post pit (approximately 15 inches by 15 inches; 1.6 square feet) that will occur within the dripline, and then subtracting it from the TPZ area. Trees with larger driplines, measuring 20 feet, were estimated to have four fence posts within the dripline, and trees with smaller driplines, measuring eight feet, were estimated to have two fence posts within the dripline. Impacts to protected trees are summarized in **Table 1**.

**Table 1 — Impacts to Protected Trees**

| Tree # | Species           | DBH (Inches) | Impacts                                                                              | Mitigation |
|--------|-------------------|--------------|--------------------------------------------------------------------------------------|------------|
| 401    | Interior Live Oak | 11           | Minimally impacted; Approximately 0.31% impacts within TPZ                           | None       |
| 402    | Interior Live Oak | 16           | No impacts                                                                           | None       |
| 403    | Interior Live Oak | 12           | Minimally impacted; Approximately 0.30% impacts within TPZ                           | None       |
| 404    | Interior Live Oak | 8            | Minimally impacted; Approximately 1.25 % impacts within TPZ                          | None       |
| 406    | Interior Live Oak | 14           | Minimally impacted; Approximately 0.79% impacts within TPZ                           | None       |
| 407    | Interior Live Oak | 7            | Minimally impacted; Approximately 0.75% impacts within TPZ                           | None       |
| 408    | Interior Live Oak | 17           | Minimally impacted; Approximately 0.63% impacts within TPZ                           | None       |
| 409    | Interior Live Oak | 11           | Minimally impacted; Approximately 0.63% impacts within TPZ; Recommended for removal. | None       |
| 410    | Interior Live Oak | 30           | Minimally impacted; Approximately 0.47% impacts within TPZ                           | None       |
| 411    | Interior Live Oak | 23.5         | Minimally impacted; Approximately 0.78% impacts within TPZ                           | None       |
| 412    | Interior Live Oak | 20           | Minimally impacted; Approximately 0.47% impacts within TPZ                           | None       |

Since no more than 20 percent of the TPZ for each tree will be impacted from the Proposed Project, no mitigation is required. The area and depth of fill should be minimized to the greatest extent possible to limit any further impacts to the trees. Furthermore, since the one tree recommended for removal is due to poor condition, no mitigation is required for removal of that tree. Removal of this tree is at the discretion of the project proponent.

#### **TREE PROTECTION RECOMMENDATIONS**

The following measures are recommended to protect trees to remain during construction. In addition, tree preservation measures should comply with Section 19.66.60 of the City of Roseville Municipal Code.

- Under 19.66.060 of the City of Roseville, Tree Preservation Code, installation of Tree Protection Fencing is required around all trees to remain within 50 feet of the project footprint, staging and storage areas, and any other areas of grading or ground disturbance. ***However, this is not applicable to the Proposed Project due to the minimal area of disturbance.***
- Staging and storage areas will occur within paved or disturbed areas (e.g. parking lots) and will be at least 50 feet away from any protected trees.
- No parking, portable toilets, dumping or storage of any construction materials, grading, excavation, trenching, or other infringement by workers or domesticated animals is allowed in the tree protection zone (TPZ) (dripline radius plus 1 foot).
- No signs, ropes, cables, or any other items shall be attached to a protected tree, unless recommended by an ISA-Certified Arborist.
- Pruning living roots of less than one-inch diameter may be cut, but damaged roots shall be traced back and cleanly cut behind any split, cracked or damaged area. Pruning of living limbs or roots over one-inch in diameter shall only be done under the supervision of an ISA-Certified Arborist. All pruning should be done in accordance with ISA standards using tree maintenance best practices. Climbing spikes should not be used on living trees. Limbs should be removed with clean cuts just outside the crown collar.
- If the native ground surface (grass, leaf, litter, or mulch) under a preserved tree is disturbed or removed it shall be replaced within 48 hours.
- Cut all roots cleanly at the edge of the trench. Do not tear or pull roots out of ground. If roots are split during excavation, follow root back to immediately above split and cut cleanly.
- Cut or fill within the dripline of existing native oaks should be avoided to the greatest extent possible. Under no circumstances should fill soil be placed against the trunk of an existing tree.

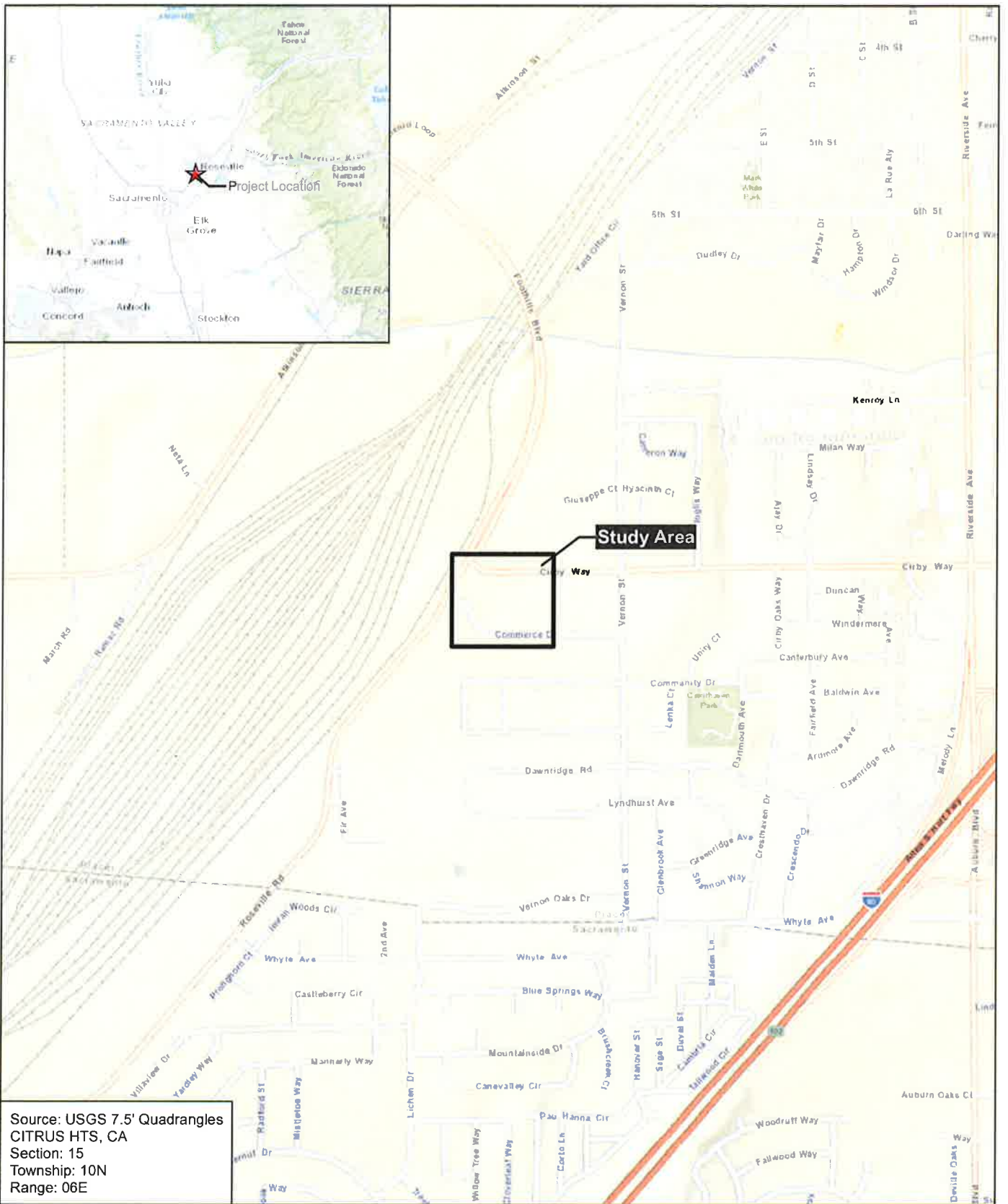
Please do not hesitate to call me at (916) 435-1202 x 229 or email at [cmarks@foothill.com](mailto:cmarks@foothill.com), if you have any questions about this report.

Sincerely,



Charlotte Marks  
ISA-Certified Arborist #WE-10519A

Enclosures (3)



## SITE AND VICINITY





APPROXIMATE TREE LOCATIONS AND PROPOSED PROJECT

|                                                                                                    |          |                          |                                 |                 |
|----------------------------------------------------------------------------------------------------|----------|--------------------------|---------------------------------|-----------------|
| <p><b>FOOTHILL ASSOCIATES</b><br/>ENVIRONMENTAL CONSULTING • PLANNING • LANDSCAPE ARCHITECTURE</p> | <p>N</p> | <p>0 50 100<br/>Feet</p> | <p>Map Date:<br/>01/20/2017</p> | <p>FIGURE 2</p> |
|----------------------------------------------------------------------------------------------------|----------|--------------------------|---------------------------------|-----------------|

Attachment A -- Tree Survey Data

| Tree # | Species           | # of Trunks | DBH (Inches) | DLR (feet) | Height (ft) | Condition |           | Protected? | Impacts                                    | Notes                                                                                                                                        |
|--------|-------------------|-------------|--------------|------------|-------------|-----------|-----------|------------|--------------------------------------------|----------------------------------------------------------------------------------------------------------------------------------------------|
|        |                   |             |              |            |             | Health    | Structure |            |                                            |                                                                                                                                              |
| 401    | Interior Live Oak | 1           | 11           | 17         | 25          | Fair      | Fair      | Yes        | No impact                                  | Asymmetrical canopy, included bark, minor dieback, slight lean, limb decay                                                                   |
| 402    | Interior Live Oak | 1           | 16           | 15         | 25          | Fair-Good | Fair      | Yes        | No impact                                  | Asymmetrical canopy, pruning cuts, included bark                                                                                             |
| 403    | Interior Live Oak | 1           | 12           | 12         | 20          | Fair-Good | Fair      | Yes        | No impact                                  | Asymmetrical canopy, pruning cuts, included bark, slight lean                                                                                |
| 404    | Interior Live Oak | 1           | 8            | 8          | 15          | Fair      | Fair      | Yes        | No impact                                  | Moderate dieback, included bark, pruning cuts                                                                                                |
| 405    | Redwood           | 1           | 16           | 10         | 30          | Fair      | Fair-Good | No         | No impact                                  | Minor dieback                                                                                                                                |
| 406    | Interior Live Oak | 1           | 14           | 15         | 20          | Fair-Good | Fair-Good | Yes        | No impact                                  | Included bark, minor dieback                                                                                                                 |
| 407    | Interior Live Oak | 1           | 7            | 15         | 20          | Fair      | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Slight lean, bark damage, pruning cuts, moderate dieback, asymmetrical canopy                                                                |
| 408    | Interior Live Oak | 1           | 17           | 17         | 25          | Fair      | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Asymmetrical canopy, pruning cuts, metal chain embedded at base and attached to adjacent property's picnic bench, minor dieback, slight lean |
| 409    | Interior Live Oak | 1           | 11           | 15         | 15          | Fair      | Poor-Fair | Yes        | Recommended for Removal.                   | Asymmetrical canopy, severe lean, bark damage, exposed roots, pruning cuts, included bark, minor dieback                                     |
| 410    | Interior Live Oak | 1           | 30           | 20         | 25          | Fair-Good | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Minor trunk rot, included bark, asymmetrical canopy, pruning cuts, bark damage                                                               |
| 411    | Interior Live Oak | 1           | 23.5         | 17         | 27          | Fair-Good | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Asymmetrical canopy, pruning cuts, minor dieback, included bark                                                                              |
| 412    | Interior Live Oak | 1           | 20           | 17         | 25          | Fair-Good | Fair      | Yes        | Minor Impact; less than 20% of the canopy. | Included bark, exposed roots, pruning cuts, minor dieback                                                                                    |
| 413    | Redwood           | 1           | 29           | 12         | 27          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Utility lines, topped, exposed roots                                                                                                         |
| 414    | Redwood           | 1           | 28           | 12         | 27          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Utility lines, topped, exposed roots                                                                                                         |
| 415    | Redwood           | 1           | 29           | 12         | 27          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Utility lines, topped, exposed roots                                                                                                         |
| 416    | Redwood           | 1           | 30           | 12         | 45          | Fair-Good | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 417    | Redwood           | 1           | 30.5         | 12         | 47          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 418    | Redwood           | 1           | 30           | 12         | 47          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 419    | Redwood           | 1           | 24           | 12         | 47          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 420    | Redwood           | 1           | 19.5         | 10         | 30          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 421    | Redwood           | 1           | 27           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 422    | Redwood           | 1           | 23           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 423    | Redwood           | 1           | 23           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, exposed roots, minor dieback                                                                                                |
| 424    | Redwood           | 1           | 17.5         | 10         | 35          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Exposed roots, minor dieback                                                                                                                 |
| 425    | Redwood           | 1           | 22           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Minor trunk rot, minor dieback, exposed roots                                                                                                |
| 426    | Redwood           | 1           | 22           | 10         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Moderate trunk rot, minor dieback, exposed roots                                                                                             |
| 427    | Redwood           | 1           | 24.5         | 10         | 40          | Fair-Good | Fair-Good | No         | Minor Impact; less than 20% of the canopy. | Minor dieback                                                                                                                                |
| 428    | Redwood           | 1           | 28           | 12         | 40          | Fair      | Fair      | No         | Minor Impact; less than 20% of the canopy. | Moderate trunk rot, minor dieback                                                                                                            |



## PLANNING COMMISSION

**Title:**

WRSP FIDDYMENT RANCH DA AMENDMENT #7 – 4270 CRAWFORD PW –  
FILE # PL16-0442.

**Meeting Date: 3/23/2017**

**Item #: 5.2.**

**ATTACHMENTS:**

Description

Staff Report

**ITEM V-B: DEVELOPMENT AGREEMENT AMENDMENT – WEST ROSEVILLE SPECIFIC PLAN (WRSP) FIDDYMENT RANCH DA AMENDMENT #7 – 4270 CRAWFORD PW – FILE# PL16-0442**

**REQUEST**

The applicant requests approval of a Development Agreement Amendment (DAA) to modify the sequence of residential lots subject to the Downtown Benefit Fee. The Downtown Benefit Fee will continue to be applicable to the final 1,661 dwelling units within Fiddymment Ranch Phases 2 & 3. This DAA will be the seventh (7<sup>th</sup>) amendment to the Fiddymment Land Venture Development Agreement and is necessary due to changes in subdivision construction phasing.

**Owner:** David Ash, ATC Realty One, LLC

**Applicant:** Stephen Hicks, Signature Management Company

**SUMMARY RECOMMENDATION**

The Planning Department recommends that the Planning Commission take the following actions:

- A. Recommend that the City Council adopt the five findings of fact and approve the SEVENTH AMENDMENT OF DEVELOPMENT AGREEMENT BY AND BETWEEN THE CITY OF ROSEVILLE AND ROSEVILLE FIDDYMENT LAND VENTURE, LLC.

**SUMMARY OF OUTSTANDING ISSUES**

There are no outstanding issues associated with this request. The applicant and all affected City Departments have reviewed and are in agreement with the proposed DAA.

**BACKGROUND**

The WRSP was approved by the Roseville City Council on February 4, 2004. The WRSP guides development on ±3,162 acres located west of Fiddymment Road in the City of Roseville. The WRSP area is comprised of two distinct large landholdings: the Westpark Property, which consists of ±1,413 acres in the southwest portion of the WRSP area, and the Fiddymment Ranch Property, which includes ±1,611 acres in the northwest portion of the WRSP area. The WRSP is planned as a residential community with a wide range of residential densities and housing types. Other land uses in the plan area include recreation, open space, public/quasi-public (including school sites), commercial, business professional, and industrial. Since the original WRSP approval in 2004, the City of Roseville has processed several amendments to the specific plan.

DAA #5 to the Development Agreement By and Between the City of Roseville and Roseville Fiddymment Land Venture, LLC Relative to the West Roseville Specific Plan was approved by City Council in May 2014 (Ordinance No. 5337), concurrently with the approval of the Fiddymment Ranch West Roseville Specific Plan Amendment #3 (SPA 3 – Planning File #2013PL-005). DAA #5 includes a provision that assesses a Downtown Benefit Fee against the final 1,661 Residential Units to be constructed in the Fiddymment Ranch Phases 2 & 3 development area.

DAA #6 to the Development Agreement By and Between the City of Roseville and Roseville Fiddymment Land Venture, LLC Relative to the West Roseville Specific Plan was approved by City Council in August 2014 (Ordinance No. 5385). DAA #6 included changes to text and maps relating to zoning and land use changes associated with the Oakbriar residential subdivision project (WRSP Parcel F-23 -PL13-0241). The

terms of the DA stipulate that it must be amended to remain consistent with the legislative actions described above. Accordingly, the proposed DA Amendment includes revisions to the land use acreages and units.

## EVALUATION

The WRSP Development Agreements (DAs) are binding contracts with a 20-year term that address topics related to the development of the project area. The DAs also identify the various obligations of the landowners (i.e. dedications, improvements, financing) and obligations of the City. The Downtown Benefit Fee obligation included in the Fiddymment Ranch DAA #5 was negotiated to offset the fiscal impacts associated with the 1,661 unit increase within the plan area.

The Fiddymment Ranch SPA 3 project included a phasing plan that identified the order in which Fiddymment Ranch Phases 2 and 3 were anticipated to build out. This phasing plan identified the specific neighborhoods that the final 1,661 residential units were located. After the Fiddymment Ranch SPA 3 project and DAA #5 were approved, further engineering studies identified additional capacity in the Fiddymment Ranch east sewer crossing of Pleasant Grove Creek that allowed a portion of Village F-13 to be advanced earlier than anticipated in the SPA 3 phasing plan. This resulted in a modification to the Fiddymment Ranch phasing plan.

The proposed Development Agreement Amendment #7 (DAA #7) would modify the DA such that the Downtown Benefit Fee would continue to be assessed on the final 1,661 Residential Units as originally anticipated. In order to accomplish this adjustment, Section 3.15.15 is to be reworded as shown below. The underlined text reflects the portion of Section 3.15.15 that is being revised.

“3.15.15 Downtown Benefit Fee. Developer acknowledges and agrees to pay to City at the time building permits are issued within the planning areas described below, the Downtown Benefit Fee, for the additional 1,189 LDR and MDR units and the 472 HDR units being added to the Fifth Amendment Property in connection with this Fifth Amendment. The Downtown Benefit Fee is \$5,000 per unit.

The Downtown Benefit Fee will be collected within parcels F-6A, F-6B, F-6C, F-8A, F-8B, F-10A, F-10B, F-10C, F-11B, F-13A-1, F-13A-2, and F-13B-3 (14 lots) as shown below. Planning area F-13B-3 is currently approved for 45 units. Lot #61 through Lot #74 of the phase designated as “Phase F-13B1” on the approved Tentative Subdivision Map for Fiddymment Ranch Phase 2 – Villages F-13A & F-13B will be subject to the Downtown Benefit Fee.” Figures 1 and 2 below graphically depict the Fiddymment Ranch parcels currently subject to the Downtown Benefit Fee and those proposed to be subject to the Downtown Benefit Fee.

Figure 1 – Existing Downtown Benefit Fee Parcels

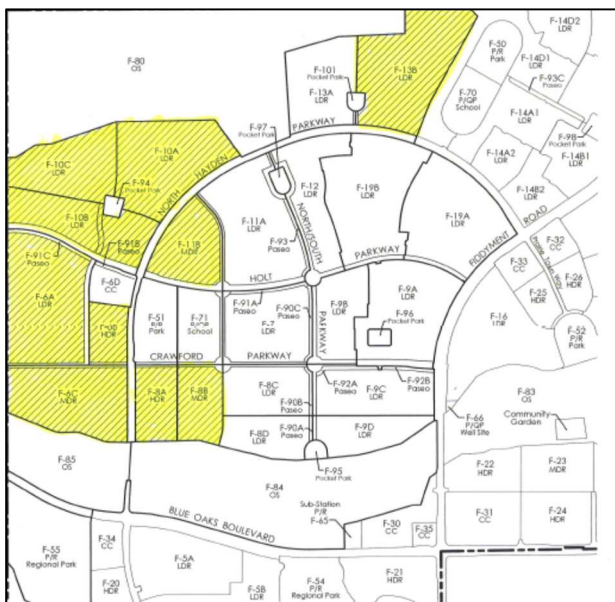
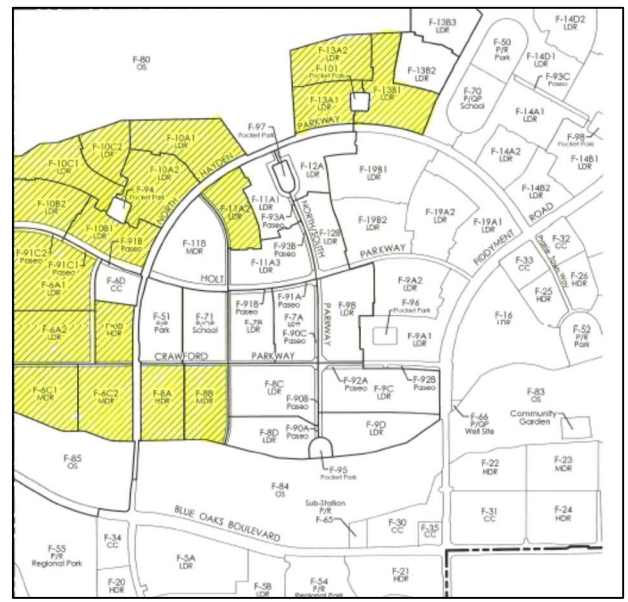


Figure 2 – Proposed Downtown Benefit Fee Parcels



## **CONCLUSION**

The proposed DAA does not change the number of dwelling units subject to the Downtown Development Fee obligation, nor the Downtown Development Fee amount. As discussed above, the proposed Amendment will solely modify the sequence of residential lots subject to the Fee. The Fee will continue to be applicable to the final 1,661 dwelling units within Fiddymment Ranch Phases 2 & 3. The proposed Amendment has been reviewed by all affected departments and the changes have been found to be acceptable to all parties and are consistent with the required findings.

Chapter 19.84 of the Zoning Ordinance requires the Planning Commission to make a recommendation to City Council on the Development Agreement Amendment following consideration of five findings. The required findings are listed below in ***bold italics***. As discussed above, staff finds that all five findings can be made and supports approval of the proposed DAA.

- 1. The Development Agreement is consistent with the objectives, policies, programs and land use designations of the City of Roseville General Plan and West Roseville Specific Plan;***
- 2. The Development Agreement is consistent with the provisions of the City of Roseville Zoning Ordinance;***
- 3. The Development Agreement is in conformance with the public health, safety and welfare;***
- 4. The Development Agreement will not adversely affect the orderly development of the property or the preservation of property values; and***
- 5. The provisions of the Development Agreement will provide sufficient benefit to the City to justify entering into the Agreement.***

## **ENVIRONMENTAL DETERMINATION**

The project is exempt from environmental review pursuant to Section 15061(b) (3) (General Rule) of the California Environmental Quality Act (CEQA) and Section 305 of the City of Roseville CEQA Implementing Procedures.

## **RECOMMENDATION**

The Planning Department recommends that the Planning Commission take the following actions:

Recommend that the City Council adopt the five findings of fact and approve the **DEVELOPMENT AGREEMENT AMENDMENT – WEST ROSEVILLE SPECIFIC PLAN (WRSP) FIDDYMENT RANCH DA AMENDMENT #7 – 4270 CRAWFORD PW – FILE# PL16-0442**

## **ATTACHMENTS**

- Existing Downtown Benefit Fee Parcels – DAA #5
- Proposed Downtown Benefit Fee Parcels – DAA #7

## **EXHIBIT**

- A. Seventh Amendment of Development Agreement by and Between the City of Roseville and Roseville Fiddymment Land Venture, LLC, Relative to the West Roseville Specific Plan

**Note to Applicant and/or Developer:** Please contact the Planning & Redevelopment Department staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning & Redevelopment Director at, or prior to, the public hearing.