



AGENDA

January 27, 2022

PLANNING COMMISSION MEETING

6:30 p.m.

Council Chambers

311 Vernon Street

Roseville, California

www.roseville.ca.us/CORTV

The meeting may be viewed on Comcast channel 14, Consolidated Communications channel 73, and AT&T U-Verse. Planning Commission meetings are also video streamed live on the City's website at roseville.ca.us/watch and roseville.ca.us/agenda, and the City's YouTube channel at youtube.com/CityofRosevilleCa.

If you need a disability-related modification or accommodation to participate in this meeting, please contact Voice: 916-774-5200, TDD: 916-774-5220. Requests must be made as early as possible.

THE CITY OF ROSEVILLE WELCOMES YOUR PARTICIPATION

If an agenda item is open to public comment, such public comment shall be addressed to the chair of the meeting.

Public Comment - Speakers have three minutes under Public Comment to speak on issues that are not listed on the agenda and are within the City's jurisdiction. The Brown Act does not permit any action or discussion on items not listed on the agenda.

Consent Calendar - If applicable, the Consent Calendar consists of routine items that may be approved by one motion. Any person can remove an item from the Consent Calendar to be discussed separately.

Agenda Items - Speakers have five minutes to address items that are listed on the agenda.

Americans with Disabilities Act - Notify the City Clerk or Secretary at least 72 hours in advance if special assistance is required to participate in a meeting including the need of auxiliary aids or services.

Audio/Visual Presentations - If making a presentation regarding an agenda item, audio/visual materials must be submitted to the City Clerk or Secretary at least 72 hours in advance.

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1. **CALL TO ORDER**
 2. **ROLL CALL**
 3. **PLEDGE OF ALLEGIANCE**
 4. **PUBLIC COMMENTS**
 5. **CONSENT CALENDAR**

5.1. Minutes of December 16, 2021

6. **REQUESTS/PRESENTATIONS**

- 6.1. SVSP PCL KT-20 & KT-30 – Affordable Unit Transfer, 3301 Santucci Bl., File # PL21-0289

REQUEST

The applicant requests approval of a Specific Plan Amendment and Development Agreement Amendment to transfer the obligation for 31 middle-income purchase units from parcel KT-20 to parcel KT-30 within the Sierra Vista Specific Plan area, and re-designate the units as 16 low and 15 very low-income units.

Applicant: Julie Hanson, J.R. Hanson Consulting LLC

Owner: Larry Gualco, Sierra Vista Communities LLC

RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Recommend the City Council approve the Specific Plan Amendment; and,
- B. Recommend the City Council approve the Development Agreement Amendment.

- 6.2. NIPA PCL CO-41 – Ace Hardware, 7890 Painted Desert Dr, File # PL21-0252

REQUEST

The applicant requests approval of a Major Project Permit (MPP) Stage 1 Modification and MPP Stage 2 to allow construction of an approximate 14,000-square-foot retail building for Ace Hardware, which will be located on a 1.79-acre portion of the Campus Oaks Town Center.

Applicant: Tom Towne, Sisler and Sisler Construction

Property Owner: BBC Roseville Oaks, LLC

RECOMMENDATION

The Planning Division recommends the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact and approve the Major Project Permit Stage 1 Modification subject to eight (8) conditions of approval; and,
- B. Adopt the two (2) findings of fact and approve the Major Project Permit Stage 2 subject to seventy-two (72) conditions of approval.

7. **COMMISSIONER / STAFF REPORT**

8. ADJOURNMENT



PLANNING COMMISSION COMMUNICATION

Title: Minutes of December 16, 2021

Contact:

Meeting Date: 1/27/2022

Item #: 5.1.

ATTACHMENTS:

Description

Minutes of December 16, 2021



DRAFT MINUTES

December 16, 2021

SPECIAL PLANNING COMMISSION MEETING

6:30 p.m.

Council Chambers

311 Vernon Street

Roseville, California

www.roseville.ca.us/CORTV

1. CALL TO ORDER

Chair Jensen called the meeting to order at 6:30 p.m.

2. ROLL CALL

Present: Brashears, Caporusso, Haggenjos, Prior, Martin, Jensen

Absent: Covington

3. PLEDGE OF ALLEGIANCE

Vice-Chair Martin led those in attendance in the Pledge of Allegiance.

4. PUBLIC COMMENTS

Chair Jensen opened the Public Comment period. Hearing none, Chair Jensen closed the Public Comment period.

5. CONSENT CALENDAR

5.1. Minutes of November 18, 2021

Motion by Vice-Chair Martin, seconded by Commissioner Prior, to approve the Consent Calendar.

Roll call vote:

Ayes: Haggenjos, Caporusso, Prior, Martin, Brashears, Jensen

Noes: None

The Motion passed.

6. REQUESTS/PRESENTATIONS

6.1. Sierra View Subdivision Map Project (File # PL21-0162) and SVSP PCL WB-41 Rezone Project (File # PL21-0161)

Item 6.1a: General Plan Amendment, Rezone, Tentative Subdivision Map, Tree Permit – 360 Diamond Oaks Road – INFILL PCL 3 & 100 – Sierra View Subdivision Map – File # PL21-0162

The project will allow the construction of 75 single-family homes on Infill Planning Parcels 3 and 100, located to the east of the Sierra View Country Club. The entitlements include a General Plan Amendment to change the land use designation of Parcel 100 from Medium Density Residential (MDR) to Low Density Residential (LDR) and a Rezone from Multi-Family Housing (R3) to Small Lot Residential (RS). Infill Planning Parcel 3 will be rezoned from Single-Family Residential (R1) to RS. A Tentative Subdivision Map is requested to subdivide the parcels into 75 single-family lots. Lastly, a Tree Permit is requested to remove native oak trees on the site in order to facilitate development of the lots. The remaining 93 units allocated to Infill Parcel 100 will be transferred to Sierra Vista Specific Plan (SVSP) Parcels WB-41 (+63 units) and WB-31 (+30 units).

Item 6.1b: General Plan Amendment, Specific Plan Amendment, Rezone, Development Agreement Amendment, and Tentative Subdivision Map – 3301 Pleasant Grove Boulevard – SVSP PCL WB-41 – Rezone – File # PL21-0161

The proposed project will allow the construction of 63 single-family homes on SVSP Parcel WB-41 and an additional 30 units on SVSP Parcel WB-31. The project entitlements include a General Plan Amendment and Specific Plan Amendment to change the land use designation of Parcel WB-41 from Community Commercial (CC) to MDR and a Rezone from CC to Small Lot Residential/Development Standards (RS/DS). The SVSP will be amended to reflect the 30 additional units transferred to High Density Residential Parcel WB-31 from Infill Parcel 100. A Second Amendment of the Westbrook Development Agreement will be made to reflect the proposed land use changes, unit transfers, and to include dedication of a portion of West Roseville Specific Plan Parcel W-60B to the City. Lastly, a Tentative Subdivision Map is included to subdivide Parcel WB-41 into 63 medium density residential lots.

Associate Planner, Kinarik Shallow, presented the staff report.

Chair Jensen opened the public hearing and invited comments from the applicant and/or audience.

Commissioner Discussion

- A Commissioner asked about the projected loss of trees with the Sierra View subdivision project. Staff directed to the Commission to the Arborist report regarding

the number of trees proposed for removal and the estimated in-lieu fee that would be collected to compensate for the loss of trees.

- A Commissioner asked for clarification of how the in-lieu payment into the City's tree mitigation fund is used. Staff responded that the funds within the Oak Tree Preservation fund are used by the Parks Department to implement tree planting programs throughout the City.
- A Commissioner asked what the current land use designation is. Staff responded that the current land use designation is Medium Density Residential.
- A Commissioner acknowledged and appreciated the public outreach conducted for the projects.
- A Commissioner expressed concern with the land use change on Parcel WB-41, from commercial property to residential property.
- A Commissioner asked for an explanation of the state's "no net loss" housing law. Staff explained that the land use change proposed for the Sierra View subdivision would decrease the potential number of units that could be developed on the property. State housing law requires that this potential "loss" of units be made up for, somewhere in the City. By transferring units to the Sierra View parcel to WB-31 and WB-41, there would be no citywide "loss" of units and the combined projects would be consistent with state housing law. A Commissioner acknowledge that the transfer of units allows for more flexibility.

Applicant representative Marcus Lo Duca, Law Offices of Marcus Lo Duca, stated he had received a copy of the staff report and was in agreement with staff's recommendation. He responded to Commissioners' questions and provided a rebuttal to the written public comments that were provided in the staff report.

Chair Jensen opened the public comment period.

Public Comment

Jane Maccione and Zach Siviglia spoke in opposition to the projects.

- Ms. Maccione provided the Commission with photos of a truck and backhoe on the Sierra View Subdivision project site. She stated that the backhoe dug into the area of and/or surrounding the tree-sheltered wetlands, seasonal lakes, seasonal streambeds, and vernal pools, with the intent of destroying them by draining them of all or part of their water supply.
- Ms. Maccione urged the Commission to conduct its own environmental studies for the Sierra View proposed project.
- The Initial Study / Mitigated Negative Declaration for the Sierra View was questioned.
- Mr. Siviglia questioned the Vehicle Miles Traveled (VMT) analysis of the project and stated that it should not have been looked at as a comparison against the original zoning of the project

Gray Allen spoke in support of the project.

- Mr. Allen indicated that he thought the proposed Sierra View Subdivision project will add to the neighborhood.

Applicant representative Marcus Lo Duca, Law Offices of Marcus Lo Duca, provided a rebuttal to the public testimony. Mr. Lo Duca stated that the backhoe, seen on the property was digging test holes for soil analysis in order to support the environmental review. He stated that there has been no disturbance of the wetlands, or drainage areas on the property. Mr. Lo Duca disagreed with the public comments regarding the VMT analysis. The only logical baseline to use for VMT comparisons is the existing land use designation.

Staff responded to the comments regarding VMT. Staff reminded the Commission that revised citywide traffic model, including a VMT analysis was completed and adopted with the General Plan update in summer of 2020. The baseline VMT for the Sierra View property was included in that analysis. The project specific VMT analysis prepared for the Sierra View project compared the 2020 baseline information with the proposed project. This analysis was conducted appropriately.

Chair Jensen closed the public comment period and Public Hearing.

Commissioner Discussion

- A Commissioner expressed concern with setting a precedent by transferring units. Staff responded that this is a unique situation. It would be rare for staff to support a residential land use change from a higher density land use to a lower density land use. The Sierra View project includes a combination of factors, such as native oak trees, seasonal wetlands and community concern regarding density, that support the land use change from medium to low density.
- A Commissioner expressed appreciation for the unique solution to the situation.
- A Commissioner could not support Ms. Maccione's proposed finding shown in the picture. It was impossible to tell if the backhoe was adjacent to any drainage areas.

Motion by Vice-Chair Martin, seconded by Commissioner Haggenjos to:

- Adopt the Sierra View Country Club and Sierra Vista Specific Plan Redesignation and Rezone Initial Study/Mitigated Negative Declaration (IS/MND) and Mitigation Monitoring & Reporting Program and Consider the 6th Addendum to the Sierra Vista Specific Plan Environmental Impact Report (EIR).

For the Sierra View Subdivision Map Project, as described above (File # PL21-0162):

- A. Recommend the City Council approve the General Plan Amendment (Land Use Map);
- B. Recommend the City Council approve the Rezone;
- C. Adopt the three (3) findings of fact and approve the Tentative Subdivision Map subject to sixty-five (65) conditions of approval; and,
- D. Adopt the two (2) findings of fact and approve the Tree Permit subject to twenty (20) conditions of approval.

For the SVSP PCL WB-41 Rezone Project, as described above (File # PL21-0161):

- A. Recommend the City Council approve the General Plan Amendment (Land Use Map);
- B. Recommend the City Council approve the Specific Plan Amendment (Text & Land Use Map);
- C. Recommend the City Council approve the Rezone;
- D. Recommend the City Council approve the Second Amendment of the Westbrook Development Agreement; and,
- E. Adopt the three (3) findings of fact and approve the Tentative Subdivision Map subject to fifty-six (56) conditions of approval.

7. BOARD MEMBER / COMMISSIONER / STAFF REPORT

7.1. SENATE BILL 9 - Informational Item

REQUEST

This is an informational item. Staff requests that the Planning Commission receive an informational presentation regarding the adoption of Senate Bill 9 (SB 9). SB 9 changes the number of units allowed on parcels within single family residential zones, and requires amendments to the City's Zoning Ordinance and Subdivision Ordinance.

Senior Planner, Lauren Hocker, presented the staff report.

Staff Reports

- There will not be a January 13, 2021 Planning Commission meeting.
- There will be a January 27, 2021 Planning Commission meeting.

Commissioner Reports

- A Commissioner requested that a bus tour be scheduled for March, April or May to review current and proposed projects.
- The Commission wished staff a Merry Christmas.

8. ADJOURNMENT

Motion by Commissioner Brashears, seconded by Commissioner Caporusso, to adjourn the meeting. The Motion Passed unanimously at 8:08 p.m. with a voice vote.



PLANNING COMMISSION COMMUNICATION

Title: SVSP PCL KT-20 & KT-30 – Affordable Unit Transfer, 3301 Santucci Bl., File #
PL21-0289

Contact: Shelby Maples, smaples@roseville.ca.us, (916) 746-1347

Meeting Date: 1/27/2022

Item #: 6.1.

ATTACHMENTS:

Description

Staff Report

Exhibit A Specific Plan Redline Change Pages

Exhibit B Specific Plan Clean Change Pages

Exhibit C Development Agreement Amendment



***Planning Division Staff Report
Planning Commission Meeting***

January 27, 2022

Prepared by: Shelby Maples, Associate Planner

ITEM 6.1: Specific Plan Amendment And Development Agreement Amendment – 3301 Santucci Bl. – SVSP PCL KT-20 & KT-30 – Affordable Unit Transfer – PL21-0289

REQUEST

The applicant requests approval of a Specific Plan Amendment and Development Agreement Amendment to transfer the obligation for 31 middle-income purchase units from parcel KT-20 to parcel KT-30 within the Sierra Vista Specific Plan area, and re-designate the units as 16 low and 15 very low-income units.

Applicant— Julie Hanson, J.R. Hanson Consulting LLC
Owner – Larry Gualco, Sierra Vista Communities LLC

SUMMARY RECOMMENDATION

The Planning Division recommends that the Planning Commission take the following actions:

- A. Recommend the City Council approve the Specific Plan Amendment; and
- B. Recommend the City Council approve the Development Agreement Amendment.

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues associated with this request.

BACKGROUND

The subject large lot parcels, KT-20 and KT-30, are located in the Sierra Vista Specific Plan area (SVSP), specifically, that portion of the SVSP associated with the Baseline P&R Development Agreement. On December 10, 2015, the Planning Commission approved a Tentative Subdivision Map (SVSP KT Properties Tentative Subdivision Map, File No. PL13-0096) within the SVSP to allow the creation of 1,163 single-family lots, one (1) High Density Residential lot, one (1) school lot, two (2) park lots, 53 landscape lots, and eight (8) open space lots, and an Administrative Permit to reallocate residential units between villages. Additionally, PL13-0096 reduced the overall number of units within the SVSP by 21 units, and modified the development standards for SVSP Medium Density Residential Villages KT-20, KT-21A, and KT-21B.

In January 2018, the City administratively approved an Extension of the Tentative Subdivision Map (PL13-0096) and an Administrative Permit for Unit Transfers, granting a six (6) year extension of the tentative map and allowing the transfer of 21 Medium Density Residential (MDR) units to parcel KT-30 (File No. PL17-0305). This resulted in total of 171 allocated units to parcel KT-30, which is the current allocation.

The current request would transfer the obligation to provide 31 affordable units on parcel KT-20 to parcel KT-30 within the SVSP. With the transfer, the units will be redesignated, converting the 31 middle-income purchase units to 16 low and 15 very low-income rental units. Parcel KT-30 has a land use designation of High Density Residential (HDR) with a total unit allocation of 171 units. With the proposed amendment, the total affordable unit allocation for parcel KT-30 will be 155 units, with 78 units for low-income rental units and 77 units for very low-income rental units. As the request modifies the Affordable Housing section of the SVSP as well as the obligations in the Sierra Vista Communities LLC Development Agreement, both a Specific Plan Amendment and Development Agreement Amendment are required.

EVALUATION

As described in the Background section of this report, the proposed project will transfer the affordable unit obligation from parcel KT-20 to KT-30 within the SVSP. This requires an amendment to the Affordable Housing section of the SVSP, as well as an amendment of the Development Agreement. Specific Plan Amendments (SPA) are analyzed for consistency with the goals and policies of the affected plan. Development Agreement Amendments (DAAs) are subject to the criteria outlined in Section 19.84.040 of the Zoning Ordinance.

Specific Plan Amendment

The SVSP includes a table (Table 5-3) and map (Figure 5-1) to identify the Specific Plan parcels with an affordable housing unit allocation in the Plan area. The proposed amendment would modify these pages to remove parcel KT-20, a medium density parcel, from the listed parcels. The table will also be updated to reflect the current number of units allocated to parcel KT-30 (171, rather than 155), and show the updated affordable allocation of 155 units, with 77 very low income rental units and 78 low income rental units. Additionally, table footnote no. 4 will be updated to include the current project file number and a brief description of the unit transfer. The map in Figure 5-1 will be updated to reflect the proposed changes.

While the location of the allocated units will change if the project is approved, the total number of units within the SVSP and the number of affordable units allocated within the SVSP will remain the same. As proposed, the modification is consistent with the goals and policies of the SVSP.

Development Agreement Amendment

Section 19.84.040 of the City of Roseville Zoning Ordinance specifies that recommendations for approval or denial of a Development Agreement (DA), including Amendments, shall include consideration of the following:

- 1. Consistency with the objectives, policies, general land uses and programs specified in the General Plan and the Sierra Vista Specific Plan;***
- 2. Consistency with the provisions of the City of Roseville Zoning Ordinance;***
- 3. Conformity with the public health, safety, and general welfare;***
- 4. The effect on the orderly development of the property or the preservation of property values; and***
- 5. Whether the provisions of the Agreement shall provide sufficient benefit to the City to justify entering into the Agreement.***

DAs are binding contracts that set the terms, rules, conditions, regulations, entitlements, responsibilities, and other provisions relating to the development of the covered properties. The project includes the First Amendment of the Baseline P&R, LLC DA. The DA will be amended to reflect the transfer of the affordable obligation from parcel KT-20 to parcel KT-30.

The proposal is beneficial to the City in that more units will be allocated to the low and very low income rental housing inventory. According to the Housing Element, adopted by the City Council on August 18, 2021, the City of Roseville has a deficit of approximately 1,791 low and very low income housing units in comparison to the City's Regional Housing Needs Allocation (RHNA). The City's RHNA is assigned by the State and the Sacramento Area Council of Governments (SACOG), based on a fair-share

assessment of housing demand in the region divided into a range of income categories. While moderate income purchase housing is also an important component of the City's housing portfolio, the Housing Element shows that the City currently has a surplus of approximately 3,006 units in that category. Therefore, if approved, the change will reduce the deficit in the low and very low income category while maintaining a surplus of moderate income housing units, contributing to the City's affordable housing goals. No other changes to the DA are proposed.

City staff has found the proposed DAA to be consistent with the General Plan, SVSP, and the Zoning Ordinance. The DAA is in conformance with the public health, safety, and welfare, and will not adversely affect the orderly development of the property or the preservation of property values. Therefore, the proposed DAA is consistent with items 1-5 above.

PUBLIC OUTREACH

The proposed project was distributed to the various agencies and departments which have requested notice of City applications, and all comments were considered and incorporated into the Conditions of Approval, as appropriate. Notice of the application was also distributed to the Roseville Coalition of Neighborhood Associations. No comments were received. A public notice of the Planning Commission hearing was published on January 14, 2022, and was distributed to all property owners within 300 feet of the project site. To date, no comments have been received.

CONCLUSION

The proposed project is consistent with the General Plan, SVSP, and Zoning Ordinance, and the required findings for a DAA can be made.

ENVIRONMENTAL DETERMINATION

The Sierra Vista Specific Plan EIR, which evaluated the potential for significant environmental impacts to the project area, was certified by the City Council on May 2, 2010 (SCH#2008032115). The project involves the transfer of an affordable unit development obligation from one parcel to another; however, it does not change the number of units that will be developed on each large lot parcel. No changes to the adopted land use plan or the project footprint are proposed. As the project is consistent with the SVSP, the project is exempt from the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15182 as a residential project pursuant to a Specific Plan for which an EIR was certified. No new effects are expected to occur and all applicable mitigation measures will be applied. No additional environmental documentation is required.

RECOMMENDATION

The Planning Division recommends the Planning Commission take the following actions:

- A. Recommend the City Council approve the Specific Plan Amendment; and
- B. Recommend the City Council approve the Development Agreement Amendment.

Exhibits

- A. Sierra Vista Specific Plan Text and Figure Change Pages (redline)
- B. Sierra Vista Specific Plan Text and Figure Change Pages (clean)
- C. Draft First Amendment of the Development Agreement by and between the City of Roseville and Sierra Vista Communities, LLC Relative to the Sierra Vista Specific Plan

Note to Applicant and/or Developer: Please contact the Planning Division staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you

may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.

Table 5-2: Affordable Housing Goal

Income Category	Units Required to Meet Goal
40% Very-Low-Income	347 du
40% Low-Income	347 du
20% Middle-Income	174 du
Total Affordable Housing Need	868 du (10% of 8,679 du)

Allocation of Affordable Housing Goal

The affordable housing units within the SVSP have been allocated to specific MDR and HDR parcels as identified in Table 5-3, with designated parcels reflected on Figure 5-1. The intent is to distribute affordable units throughout the Plan Area. In addition, through implementation of the Affordable Housing Plan, the City should work with property owners to define alternative solutions, such as carriage units or granny flats in LDR and MDR areas, which also meet the intent of the Program.

Table 5-3: Affordable Housing Allocation

Parcel	Land Use	Total Units in Parcel	Total Affordable Allocation	Very Low Income Rental	Low Income Rental	Middle ¹ Income Purchase
CG-20	MDR	44	20			20
CO-20	MDR	84	34			34
DF-20 ⁴	MDR	113	4 23	9	9	4 5
KT-20	MDR	202	31			31
CG-31	HDR	420	80	40	40	
FD-32	HDR	178	43			43
FD-34	HDR	172	172	86	86	
KT-30 ⁵	HDR	171 150	155 124	77 62	78 62	
JM-30 ³	HDR	176	176	88	88	
WB-30	HDR	237	237 ²	68	169 ²	
WB-32	HDR	128	128 ²	92	36 ²	
Total			1,049²	451	497²	101

~~1. Carriage units are intended to fulfill the very low and low income obligation~~

1. Middle-income purchase unit obligations may also be fulfilled via additional low-income rental units. 41 middle-income units were converted to low-income units via the Westbrook SPA approved in 2016.

2. Includes 162 units transferred to Westbrook from WRSP Parcel W-16.

3. Parcel JM-30 includes 8 units (4 Very-Low and 4 Low) transferred from NRSP Parcel M-31 (File #PL17-0204), 5 units transferred from SVSP Parcel JM-40 (File #PL20-0103), and 12 units transferred from SVSP Parcel JM-21 (File #PL20-0191).

4. File # PL20-0098 for Parcel DF-20 eliminated the carriage unit language in the Development Agreement and transferred 9 low and 9 very low income units to the Infill area of the City. Middle income purchase units were reduced from 5 to 4 units.

5. Parcel KT-30 includes 31 units transferred from SVSP Parcel KT-20 (File #PL21-0289).

NOTE: SVSP Section 5.4 allows for the transfer of affordable units. Check with the Housing Division to confirm current affordable housing obligations.

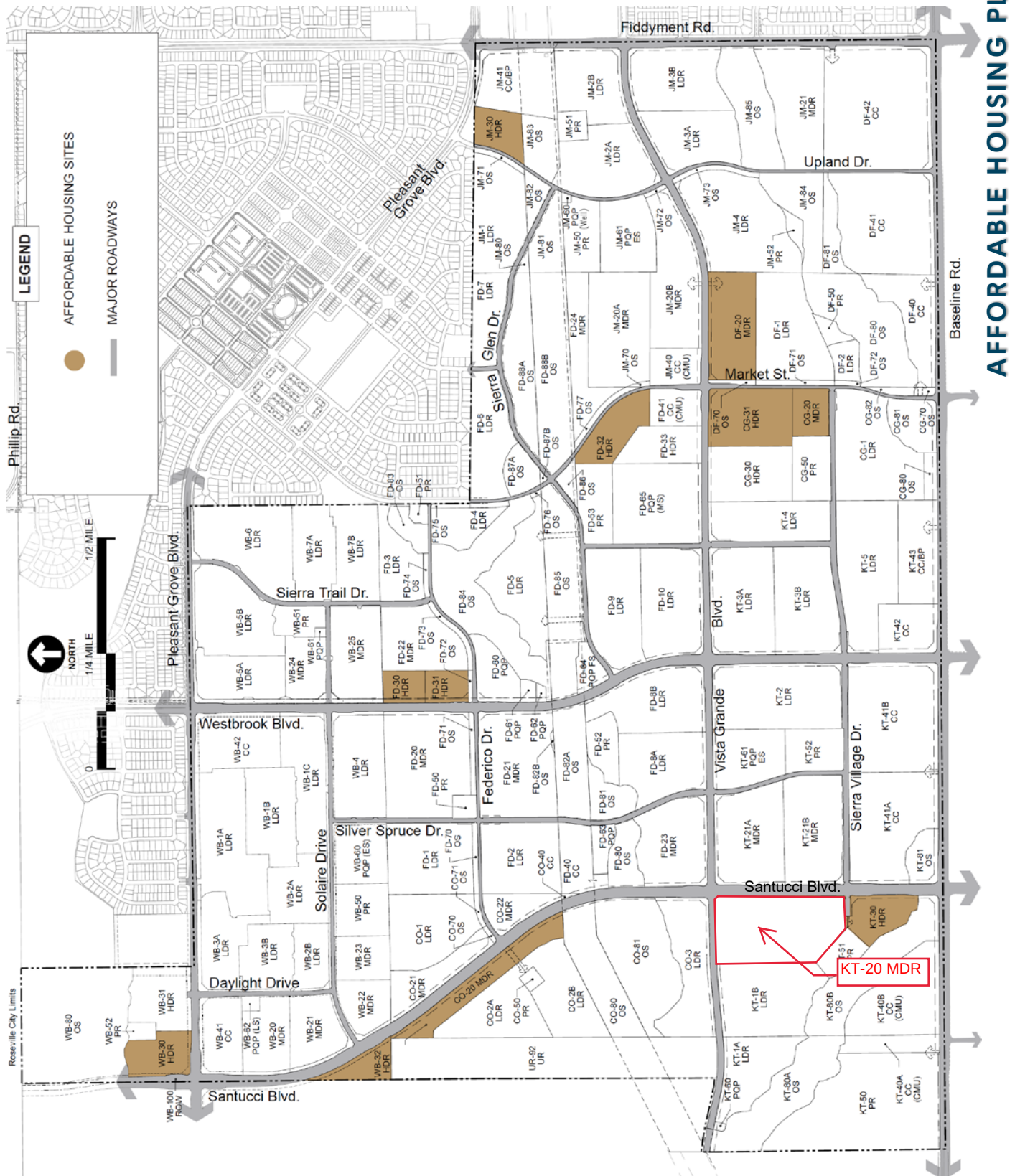


Figure 5-1: Affordable Housing Sites (refer to Table 5-3 for most current allocations)

Table 5-2: Affordable Housing Goal

Income Category	Units Required to Meet Goal
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40% Low-Income	347 du
20% Middle-Income	174 du
Total Affordable Housing Need	868 du (10% of 8,679 du)

Allocation of Affordable Housing Goal

The affordable housing units within the SVSP have been allocated to specific MDR and HDR parcels as identified in Table 5-3, with designated parcels reflected on Figure 5-1. The intent is to distribute affordable units throughout the Plan Area. In addition, through implementation of the Affordable Housing Plan, the City should work with property owners to define alternative solutions, such as carriage units or granny flats in LDR and MDR areas, which also meet the intent of the Program.

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Parcel	Land Use	Total Units in Parcel	Total Affordable Allocation	Very Low Income Rental	Low Income Rental	Middle ¹ Income Purchase
CG-20	MDR	44	20			20
CO-20	MDR	84	34			34
DF-20 ⁴	MDR	113	4			4
CG-31	HDR	420	80	40	40	
FD-32	HDR	178	43			43
FD-34	HDR	172	172	86	86	
KT-30 ⁵	HDR	171	155	77	78	
JM-30 ³	HDR	176	176	88	88	
WB-30	HDR	237	237 ²	68	169 ²	
WB-32	HDR	128	128 ²	92	36 ²	
Total			1,049²	451	497²	101

1. Middle-income purchase unit obligations may also be fulfilled via additional low-income rental units. 41 middle-income units were converted to low-income units via the Westbrook SPA approved in 2016.

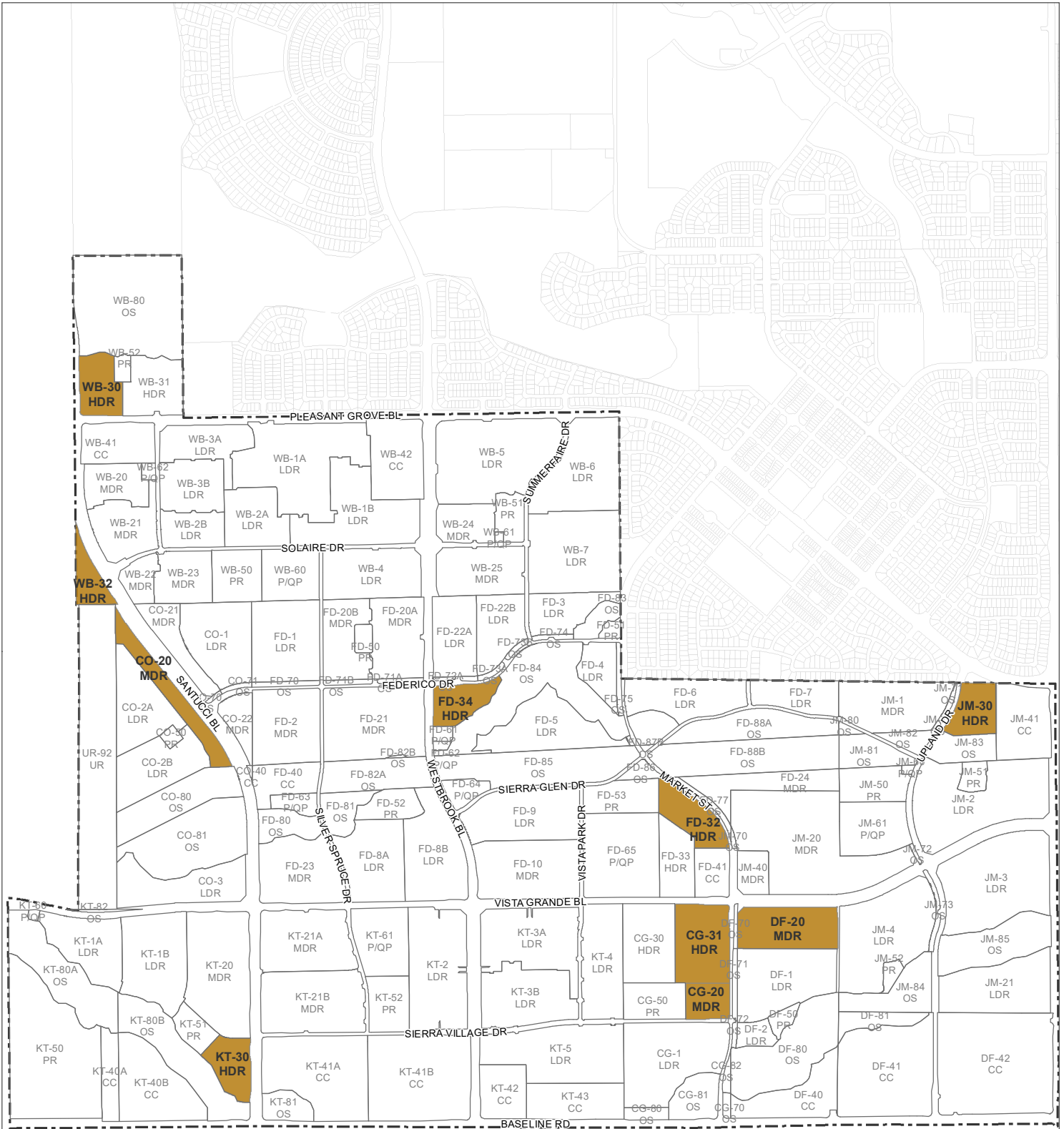
2. Includes 162 units transferred to Westbrook from WRSP Parcel W-16.

3. Parcel JM-30 includes 8 units (4 Very-Low and 4 Low) transferred from NRSP Parcel M-31 (File #PL17-0204), 5 units transferred from SVSP Parcel JM-40 (File #PL20-0103), and 12 units transferred from SVSP Parcel JM-21 (File #PL20-0191).

4. File # PL20-00098 for Parcel DF-20 eliminated the carriage unit language in the Development Agreement and transferred 9 low and 9 very low income units to the Infill area of the City. Middle income purchase units were reduced from 5 to 4.

5. Parcel KT-30 includes 31 units transferred from SVSP Parcel KT-20 (File #PL21-0289).

NOTE: SVSP Section 5.4 allows for the transfer of affordable units. Check with the Housing Division to confirm current affordable housing obligations.



0 0.25 0.5
Miles

 Affordable Housing Sites

OFFICIAL BUSINESS

Document entitled to free recording
Government Code Section 27383

RECORDING REQUESTED BY
AND WHEN RECORDED MAIL TO:

City Clerk
City of Roseville
311 Vernon Street
Roseville, CA 95678

(SPACE ABOVE THIS LINE RESERVED FOR RECORDER'S USE)

**FIRST AMENDMENT OF DEVELOPMENT AGREEMENT
BY AND BETWEEN
THE CITY OF ROSEVILLE AND SIERRA VISTA COMMUNITIES, LLC
RELATIVE TO THE SIERRA VISTA SPECIFIC PLAN**

This First Amendment of Development Agreement is entered into this ____ day of _____, 2021, by and between the CITY OF ROSEVILLE, a municipal corporation ("City"), and SIERRA VISTA COMMUNITIES, LLC, a California limited liability company ("SVC") pursuant to Sections 65864 through 65869.5 of the Government Code of California.

RECITALS

A. Baseline P&R, LLC ("Baseline") and City entered into a Development Agreement (the "Development Agreement") which was approved by the City Council of City on May 19, 2010, and recorded on June 18, 2010, in the Official Records of Placer County as Document No. 2010-0045892-00.

B. Baseline and City entered into the Development Agreement relative to development within a portion of the Sierra Vista Specific Plan Area, as such is more precisely defined in Exhibit "A" and depicted in Exhibit "B" of the Development Agreement (the "Property"). Except as otherwise defined herein, all capitalized terms used herein shall have the meanings ascribed thereto in the Development Agreement.

C. Baseline assigned a portion of its interest in the Development Agreement to SVC pursuant to that certain "Assignment and Assumption Agreement of the Development Agreement By and Between the City of Roseville and Baseline P&R, LLC Relative to the Sierra Vista Specific Plan (Baseline P&R)" dated as of September 4, 2018, and recorded September 4, 2018, as Document No. 2018-0063961-00, in the Official Records of Placer County, California.

D. This First Amendment to the Development Agreement (the “First Amendment”) affects certain portions of the Property owned by SVC (the “First Amendment Property”) and is more precisely defined in Exhibit “A” and depicted in Exhibit “B” attached hereto. SVC and City intend for this First Amendment to eliminate SVC’s obligation to reserve thirty-one (31) units as detached and/or attached single-family residential units affordable to middle-income purchasers within KT-20 and replace the same with an obligation to reserve an additional thirty-one (31) units for rental to very low and low income households within KT-30 as further set forth below.

E. This First Amendment is authorized by Section 1.4 of the Development Agreement.

NOW THEREFORE, THE PARTIES MUTUALLY AGREE AS FOLLOWS:

1. AMENDMENT OF DEVELOPMENT AGREEMENT. The following sections and exhibits of the Development Agreement are hereby amended as follows:

a. REVISED SECTION 2.2. The land use designations, approximate acreages, and unit counts in Section 2.2 of the Development Agreement (“Vested Entitlements”) for the First Amendment Property for “High Density Residential” are hereby revised as follows:

“High Density Residential 171 units on 7.5 Net Acres”

b. DELETED SECTION 2.6.1. Section 2.6.1 of the Development Agreement for the First Amendment Property is hereby deleted.

c. REVISED SECTION 2.6.2.1. Section 2.6.2.1 of the Development Agreement for the First Amendment Property is hereby amended and revised in its entirety to read as follows:

“2.6.2.1 Affordable Obligation. Landowner agrees that one hundred fifty-five (155) affordable rental units will be reserved within the Property, including seventy-seven (77) units for rental to very low income households and seventy-eight (78) units for rental to low income households as follows:

Parcel	Total Units In Parcel	Total Affordable Unit Allocation	Very Low Income Units	Low Income Rental Units
KT-30	171	155	77	78

- d. REVISED EXHIBITS. The following exhibits attached to the Development Agreement are proposed to be deleted and replaced by new exhibits attached to this First Amendment as follows:

Exhibit “F” --- “Affordable Housing Sites”, attached to this First Amendment as Exhibit “C”, is added to the list of exhibits and replaces the existing Exhibit “F” for the First Amendment Property.

2. CONSISTENCY WITH GENERAL PLAN. The City Council has found and determined that this First Amendment is consistent with the General Plan and the Sierra Vista Specific Plan.

AMENDMENT LIMITED TO FIRST AMENDMENT PROPERTY. This First Amendment is limited to and applies only to development of the First Amendment Property and does not affect or apply in any manner with respect to the development of any other property within the Sierra Vista Specific Plan Area, including without limitation, any other portion of the Property.

4. AMENDMENT. This First Amendment amends, but does not replace or supersede, the Development Agreement, except as specified herein. As amended hereby with respect to the First Amendment Property, the Development Agreement remains in full force and effect.

5. FORM OF AMENDMENT. This First Amendment is executed in two duplicate originals, each of which is deemed to be an original.

[Remainder of Page Intentionally Left Blank – Signature Blocks on Following Page]

IN WITNESS WHEREOF, the City of Roseville, a municipal corporation, has authorized the execution of this First Amendment in duplicate by its City Manager and attested to by its City Clerk under the authority of Ordinance No. _____, adopted by the Council of the City of Roseville on the ____ day of _____, 2021.

CITY OF ROSEVILLE,
a municipal corporation

SIERRA VISTA COMMUNITIES, LLC,
a California limited liability company

By: _____
Dominick Casey
City Manager

By: _____
Name: _____
Its: _____

ATTEST:

By: _____
Sonia Orozco
City Clerk

APPROVED AS TO FORM;

By: _____
Michelle Sheidenberger
City Attorney

APPROVED AS TO SUBSTANCE:

By: _____
Mike Isom
Development Services Director

EXHIBIT "A"

DESCRIPTION OF SIERRA VISTA SPECIFIC PLAN KT-30 SITE

All that real property situated within the south one-half of Section 35, Township 11 North, Range 5 East, Mount Diablo Meridian, City of Roseville, County of Placer, State of California and further described as follows:

Being all of Lot 8 shown and so designated on that certain Final Map entitled "SIERRA VISTA – KT PROPERTIES PHASE 2 LARGE LOT SUBDIVISION – SUBDIVISION NUMBER PL15-0192" filed for record on October 01, 2020 in Book FF of Maps, at Page 18, Placer County Records and further described as follows:

Containing 7.51 acres of land, more or less.

See Exhibit "B", Plat to accompany description, attached hereto and made a part hereof.

This legal description was prepared by me or under my supervision pursuant to Section 8729 (2) of the Professional Land Surveyors Act.

Craig E. Spiess, PLS 7944
License Expiration Date: 12-31-21

Date: 08/24/2021



Description prepared by:
R.E.Y. ENGINEERS, INC.
905 Sutter Street, Suite 200, Folsom, CA 95630

S:\7310\020 - Sierra Vista\10 - CAD Drawings\Plats\KT-30\7310.024-SV P2-KT-30-PLAT.docx

REFERENCES:

(1) FF MAPS 18

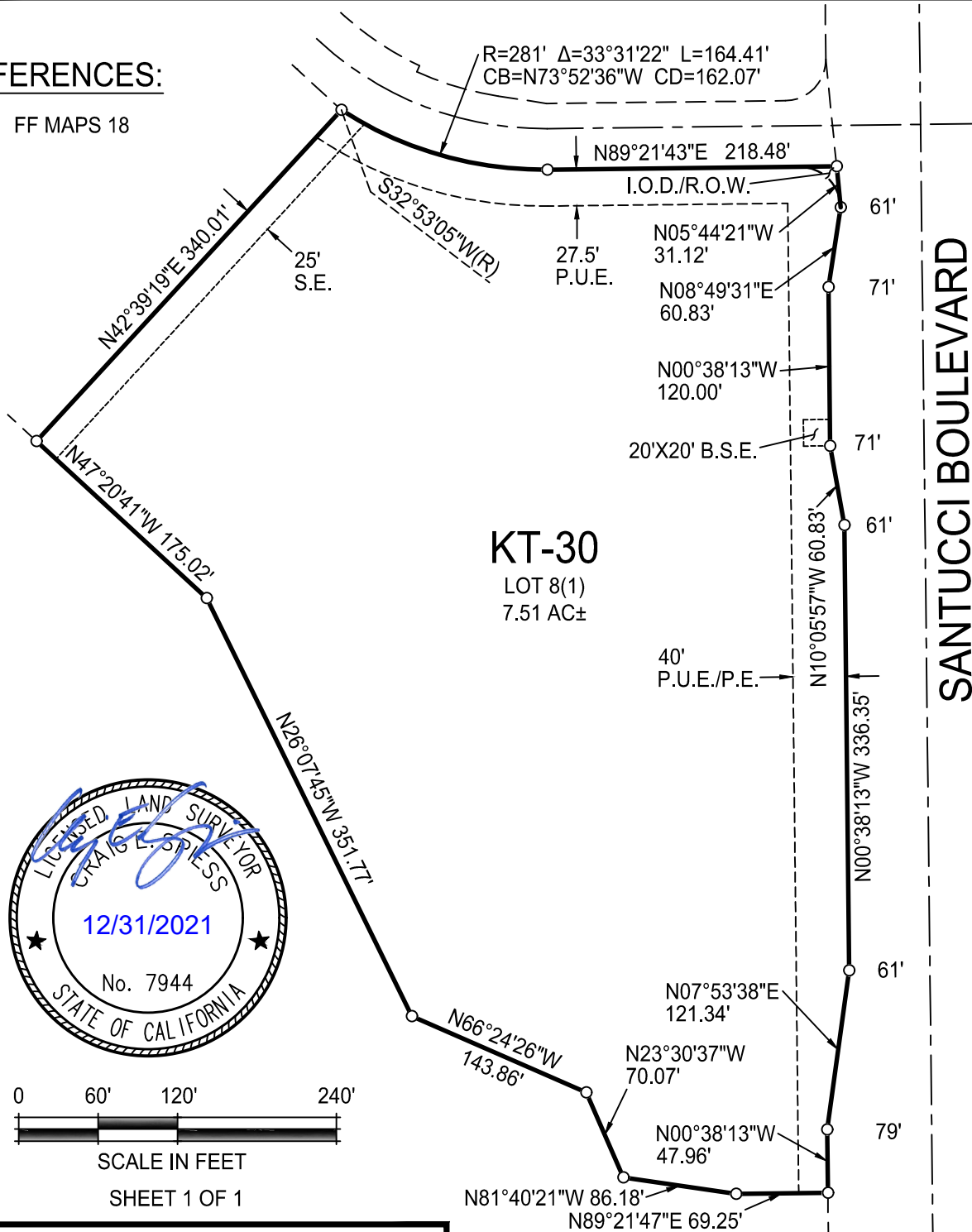


EXHIBIT "B"

KT-30

SIERRA VISTA SPECIFIC PLAN

SOUTH 1/2 OF SECTION 35, T. 11 N. R. 5 E., M.D.M.
CITY OF ROSEVILLE
COUNTY OF PLACER STATE OF CALIFORNIA

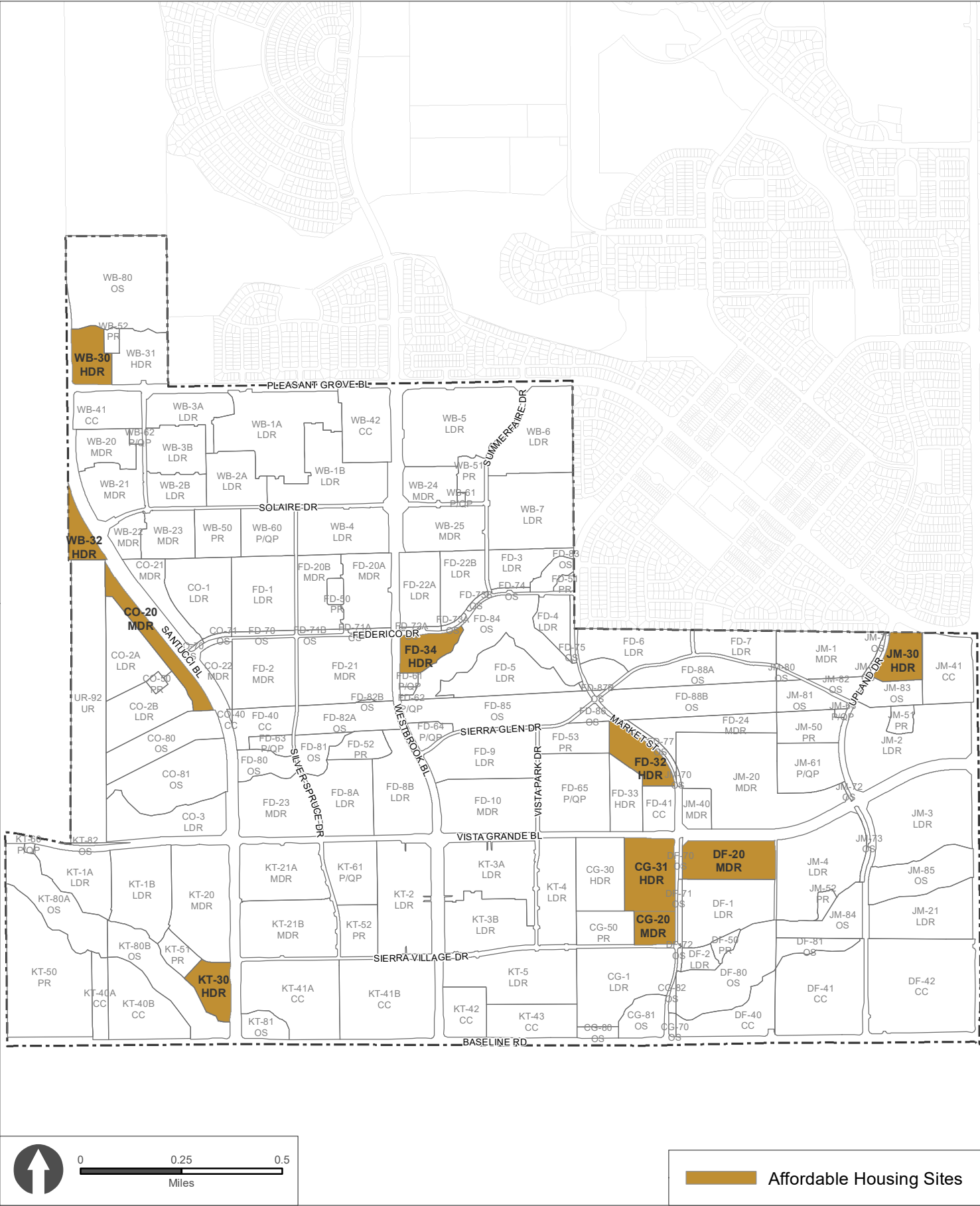
R. E. Y. ENGINEERS, Inc.
Civil Engineers / Land Surveyors
905 Sutter St. Ste 200 Folsom CA 95630
(916) 366-3040 Fax (916) 366-3303

LEGEND

B.S.E.	BUS SHELTER EASEMENT
I.O.D./R.O.W.	IRREVOCABLE OFFER OF DEDICATION RIGHT-OF-WAY
P.E.	PEDESTRIAN EASEMENT
P.U.E.	PUBLIC UTILITY EASEMENT
S.S.E.	SANITARY SEWER EASEMENT

IF A DISCREPANCY EXISTS BETWEEN THIS EXHIBIT AND THE ASSOCIATED DESCRIPTION,
THE DESCRIPTION HOLDS. THIS EXHIBIT IS FOR GRAPHIC PURPOSES ONLY.

CES	1"= 120'	08/24/2021	7310.024
DRAWN BY	SCALE	DATE	JOB NO.





PLANNING COMMISSION COMMUNICATION

Title: NIPA PCL CO-41 – Ace Hardware, 7890 Painted Desert Dr, File # PL21-0252

Contact: Kinarik Shallow, kshallow@roseville.ca.us, (916) 746-1309

Meeting Date: 1/27/2022

Item #: 6.2.

ATTACHMENTS:

Description

Staff Report

Exhibit A Plans

ITEM 6.2: **Major Project Permit Stage 1 Modification and Major Project Permit Stage 2 – 7890 Painted Desert Drive – NIPA PCL CO-41 – Acre Hardware – File #PL21-0252**

REQUEST

The applicant requests approval of a Major Project Permit (MPP) Stage 1 Modification and MPP Stage 2 to allow construction of an approximate 14,000-square-foot retail building for Ace Hardware, which will be located on a 1.79-acre portion of the Campus Oaks Town Center.

Applicant – Tom Towne, Sisler and Sisler Construction
Property Owner – BBC Roseville Oaks, LLC

SUMMARY RECOMMENDATION

The Planning Division recommends the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact and approve the Major Project Permit Stage 1 Modification subject to eight (8) conditions of approval; and
- B. Adopt the two (2) findings of fact and approve the Major Project Permit Stage 2 subject to seventy-two (72) conditions of approval.

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with all recommended conditions of approval.

BACKGROUND

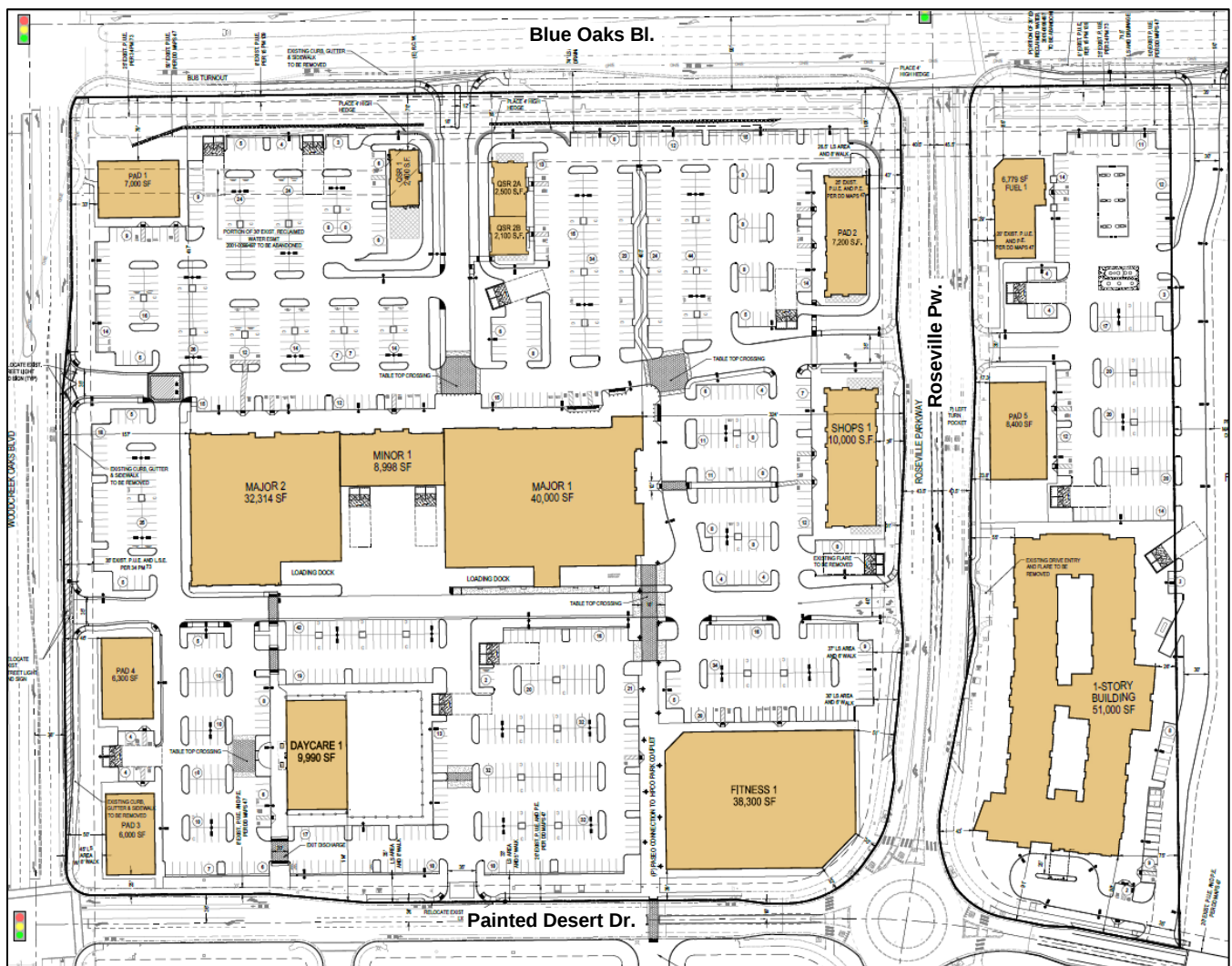
The project site is located at 7890 Painted Desert Drive, on the southern portion of the Campus Oaks Town Center (COTC) development, which is located at the southeastern corner of Blue Oaks Boulevard and Woodcreek Oaks Boulevard (see Figure 1). The site has a zoning and land use designation of Community Commercial, and is part of the Hewlett Packard Campus Oaks (HPCO) Master Plan area, located in the North Industrial Planning Area (NIPA). The HPCO Master Plan redesignated 198 acres of industrial land formerly owned by Hewlett Packard to a mix of land uses, including, Low, Medium, and High Density Residential; Business Professional, Community Commercial, Tech/Business Park – Light Industrial, Parks and Recreation, Open Space, and Public/Quasi-Public. The HPCO Master Plan also established development standards, design



guidelines, permitted uses, and a development plan for the area, and a tentative subdivision map to create large lots based on the land use plan. The project received final approval in August of 2015.

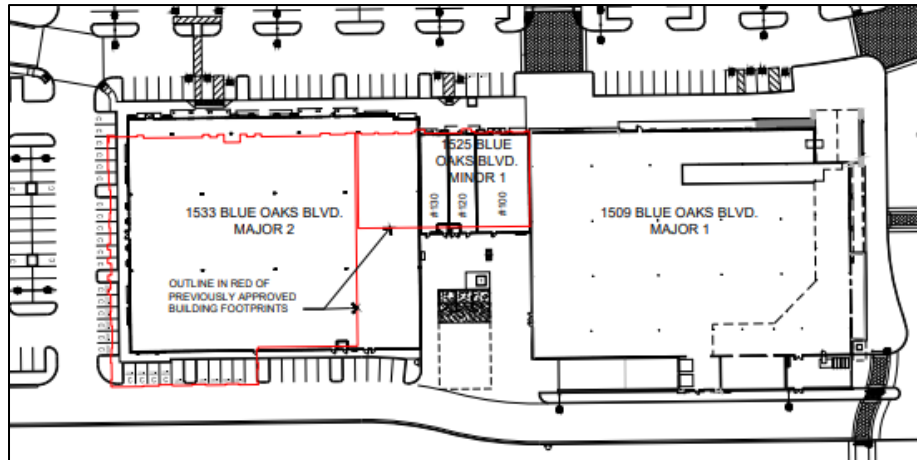
The Campus Oaks Town Center (COTC) development is the commercial shopping center portion of the HPCO Master Plan and consists of approximately 29 acres. The COTC is planned to be developed in phases. The entire HPCO Master Plan project was approved through the Major Project Permit (MPP) process. Therefore, any modifications to the site plan require an MPP Stage 1 modification and any new building elevations require an MPP Stage 2 approval. The building footprints for the COTC were approved by the Planning Commission on October 25, 2018, which include a total of 239,281 square feet of retail/commercial space (file #PL18-0080) (see Figure 2 below). Building elevations were also approved for 9 of the 16 buildings in the center. Some of the buildings in the center are fully constructed and currently in operation, including the Nugget Market (the Major 1 tenant). The southern half of the site and the eastern portion (across Roseville Parkway) is currently vacant.

Figure 2: Approved COTC Site Plan (File #PL18-0080)



In September 2020, the Planning Manager approved a minor modification to the MPP site plan (file #PL20-0026). The use of Major 2 was changed from the originally planned retail use to a fitness use, which resulted in changes in the footprint of the Major 2 and Minor 1 buildings. Figure 3 below shows the approved changes.

Figure 3: Original (Red) vs. Modified Building Footprints



Concurrent with the MPP approval, a tentative subdivision map was approved for the center to subdivide the property into 15 lots based on the locations of the buildings and associated parking areas. The parcel lines of the approved tentative subdivision map for the southern half of the COTC were subsequently modified with the final map through a substantial conformance determination. Figures 4 and 5 show a comparison between the southern half of the tentative subdivision map and the approved final map. The map was modified from four (4) lots to three (3) lots on the southern half of the site. The approved buildings on these lots have not yet been constructed.

Figure 4: Approved Tentative Map (Southern Portion)

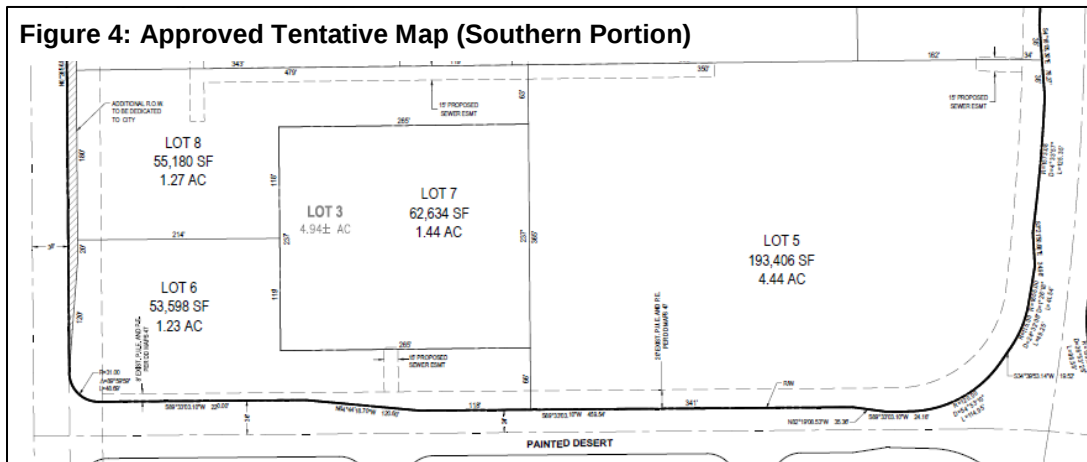
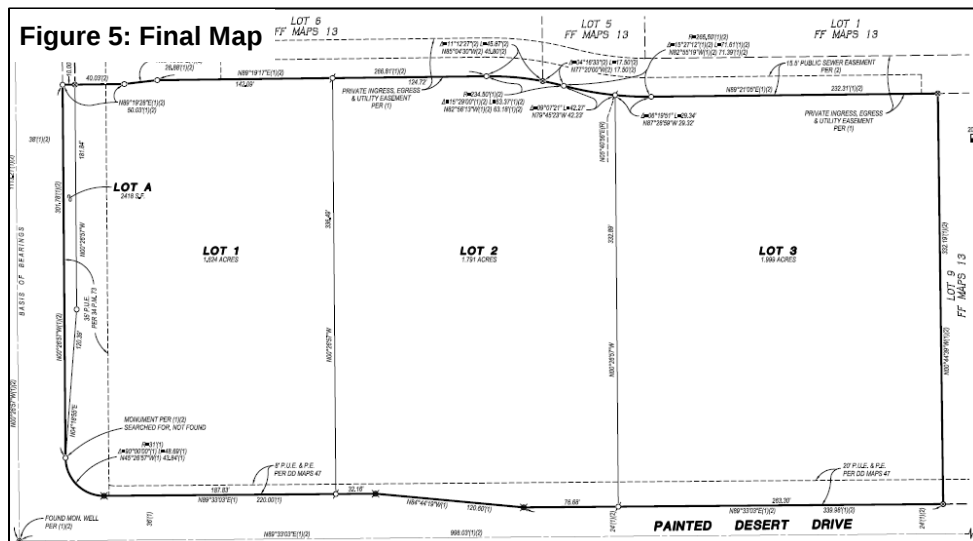


Figure 5: Final Map



EVALUATION

The proposed project is being evaluated through the Major Project Permit (MPP) entitlement process. The intent of the MPP process is to streamline the review of large and diverse projects that could be constructed over a period of several years. The MPP process allows for the resolution of site issues prior to the review of more detailed architectural and landscape issues that may not be finalized at the time the site plan is ready. In accordance with the City's MPP Ordinance, the MPP review process is segregated into three separate stages. The evaluation section of this report includes an analysis of the requested MPP Stage 1 Modification and MPP Stage 2. Each entitlement is analyzed for its consistency with the goals and policies of the applicable regulations, including the General Plan, the Zoning Ordinance, the Community Design Guidelines (CDG), the North Industrial Planning Area (NIPA), and the HPCO Master Plan Design Guidelines (HPCO Design Guidelines).

Section 19.82.040 of the City of Roseville Zoning Ordinance describes the procedures for an amendment to a Major Project Permit. According to Section 19.82.040(C), all amendments that are not considered minor shall be reviewed in the same manner as the initial approval. The proposed request includes modifying the site plan and constructing a new retail building. This modification does not meet the minor modification criteria and; therefore, requires final action by the Planning Commission subject to the findings for a Major Project Permit Stage 1. The required findings are listed below in ***italicized, bold*** text and are followed by an evaluation.

The findings for a MPP Stage 1 (or modification of same) are as follows:

- 1. The Preliminary Development Plan is consistent with the General Plan, applicable Specific Plan, and adopted City Design Guidelines; and***
- 2. The design and installation of the Preliminary Development Plan shall not be detrimental to the public health and safety, or be materially detrimental to the public welfare.***

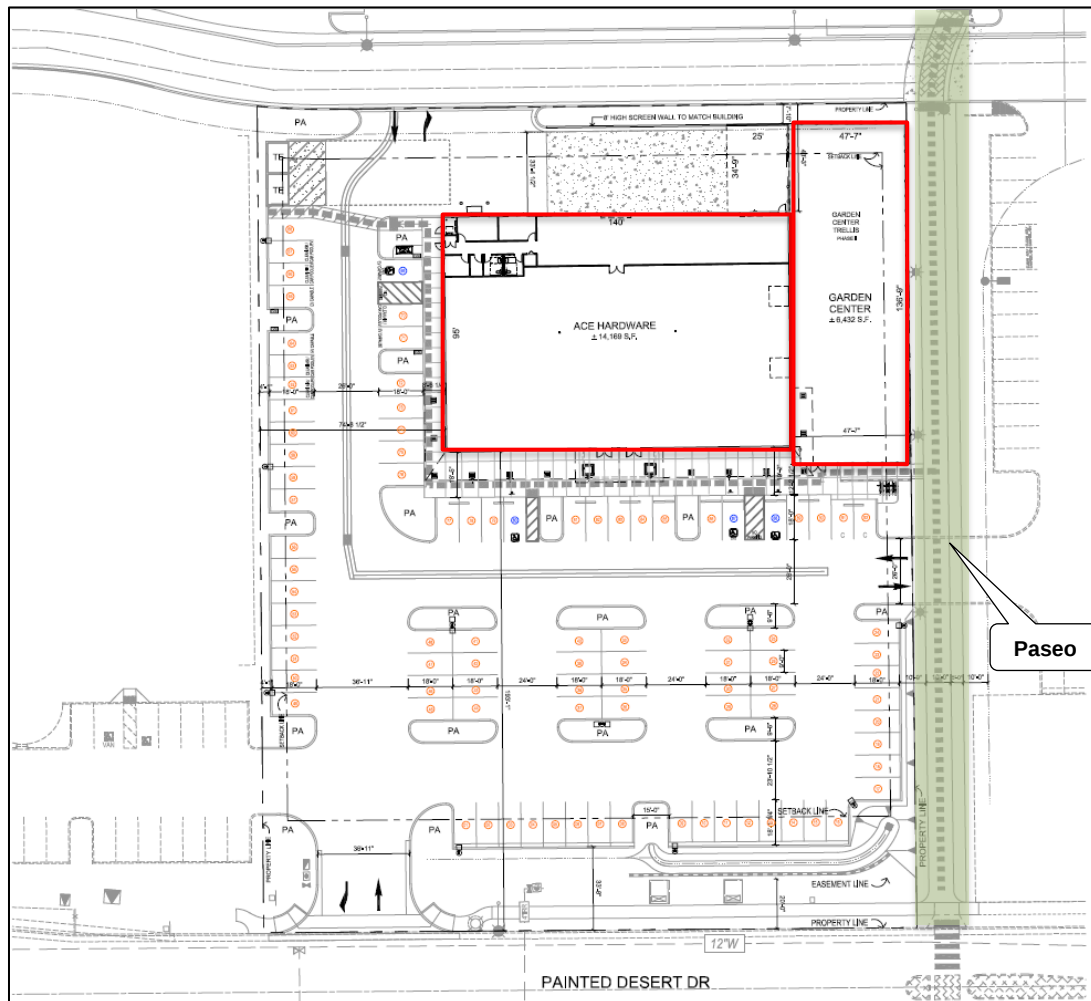
The findings for the MPP Stage 2 are as follows:

- 1. The architecture and landscaping is consistent with the General Plan, applicable Specific Plan, and adopted City Design Guidelines; and Phase 1 approval; and***
- 2. The design and installation of the Preliminary Development Plan shall not be detrimental to the public health and safety, or be materially detrimental to the public welfare.***

These findings are essentially the same, with the MPP Stage 1 Modification findings referring to the preliminary development plan, and the MPP Stage 2 findings referring to the architecture and landscaping, as well as consistency with the Stage 1 project. Therefore, for the purposes of this evaluation, both stages are examined together.

Site Plan and Building Siting: The project will modify the approved site plan by adding a new retail building (Ace Hardware) and reorienting the approved daycare building. The portion of the site plan that is proposed for construction is shown in Figure 7 below. The Ace Hardware building will be approximately 14,169 square feet in size with an approximate 6,432-square-foot outdoor garden area to the east of the building. The building will be located behind the Major 1 building (Nugget Market), separated by an internal drive aisle. The building will be setback approximately 193 feet away from Painted Desert Drive to the south and approximately 43 feet away from the drive aisle to the north. The front of the building will be oriented towards Painted Desert Drive. A loading dock is proposed on the back of the building, which will have a covered receiving area screened with an approximate 18-foot tall stucco wall. The remainder of the loading dock area will be screened with an 8-foot tall masonry wall with a stucco finish, also painted to match the building. The outdoor garden center will be enclosed with an 8'-4" tall black metal fence with a pedestrian entrance provided on the south. A covered outdoor display area will be included along the building frontage that is approximately in 1,280 square feet in size.

Figure 7: Ace Hardware Site Plan



Vehicle Access and Circulation: The changes to the site plan will result in modifications to the access and circulation pattern for the southern portion of the COTC. The project will provide driveways along Painted Desert Drive to the south and along the drive aisle to the north, consistent with the original MPP approval. However, the locations of these driveways will slightly be modified as a result of the reconfigured site plan. Connectivity between the parcels will be maintained, and there will be internal drive aisles that connect the shared parking areas. City Engineering and Fire Department staff have reviewed the project and found it to conform to City design standards and emergency vehicle response standards. The project has adequate vehicle site access, meets design standards, and will not be detrimental to public health and safety.

Pedestrian Access and Circulation: Consistent with the HPCO Design Guidelines, the original MPP site plan includes a paseo extending from the south across Painted Desert Drive and north through the site, ending at the front of the Major 1 building (Nugget Market). Other connecting pedestrian pathways branch off from this central paseo, providing access to other buildings, parking areas, and the sidewalks along the public streets. The paseo also provides a connection to the HPCO park couplet to the south of the site, in the residential portion of the HPCO Master Plan. As it relates to the proposed project, the paseo is located on the adjacent Lot 3 parcel to the east of the proposed building (see Figure 7). Given the proposed modifications will maintain the paseo connection, the project conforms to the HPCO Master Plan Design Guidelines related to pedestrian access and circulation.

Parking: The approved MPP for the site provides a total of 1,275 spaces, which is 48 spaces more than the minimum that was required. Of these spaces, 754 are currently constructed. Pursuant to the

conditions of approval, a reciprocal access and parking agreement is recorded over the site. Since approval of the original MPP, the corresponding Zoning Ordinance parking requirements based on use type have been applied as tenant spaces have been leased out.

Ace Hardware will require a total of 55 spaces. This is based on the Zoning Ordinance parking requirement for retail sales and service uses—one (1) space per 300 square feet of building area and one (1) space per 1,000 square feet of the outdoor display and garden area. The proposed project exceeds this requirement by providing a total of 92 spaces.

Architecture: The proposed elevations are consistent with the modern agrarian design concept developed for the COTC as a whole. The modern agrarian style incorporates traditional building forms and materials associated with rural or agricultural settings—such as barn-style building forms and wood or metal cladding or roofs—coupled with modern design styles such as flat parapets, stucco, and modern glass and metal storefronts. Given many of the elevations of buildings in the COTC are already approved, the proposed project will be evaluated based on its consistency with the approved designs, colors, and materials.

The building is rectangular in shape with a variation in wall planes and height to break up the structure and provide visual interest. The building incorporates many of the materials used throughout the COTC, including stucco, wood veneer siding, and metal roofs, as well as a similar paint palette, which includes neutral and earth tones and a red accent color (see Figure 8). The main entry area is defined by the use of stacked stone and wood veneer while the remainder of the building primarily consists of stucco. These contrasting materials have been applied to the building in a cohesive way. The main entry area is further defined by variation in the roofline, forward presentation, and a glass storefront. The outdoor display area will be covered with a metal roof canopy supported by wooden posts with a stacked stone wainscot, and the outdoor garden center will feature a wooden trellis. These elements add further articulation to the façade and a mix of materials. As proposed, the building design is cohesive with the overall design of the COTC, and is consistent with the HPCO Design Guidelines and the CDG.

The north (or back) elevation will consist of a metal roll-up door for the loading dock area. The proposed screen wall and adjacent landscaping will minimize views of the loading dock area and roll-up door, as encouraged by the CDG. The screen wall will have a stucco finish painted to match the building.

Figure 8: Front and Back Elevations



Landscaping: Landscaping for the overall COTC was approved with the original MPP, which included a variety of plants designed to be consistent with the theme established in the HPCO Design Guidelines. The project will maintain the required landscape width for Painted Desert Drive to the south, which is 25 feet wide, and will consist of golden rain trees as required by the HPCO Design Guidelines. A 7.5-foot-wide landscape planter will also be provided adjacent to the loading dock area on the north of the site,

which will consist of London plane trees to help screen views of the loading dock. Landscaping within the parking area will consist of a mix of narrow-leaved ash, tupelo, and red sunset maple trees. The CDG require that 50-percent of the paved parking areas be shaded by trees at 15-year maturity. The landscaping plan indicates that the project site will provide 80-percent parking lot shading, meeting the requirement. Overall, the landscape design is consistent with the landscaping palate used throughout the COTC and is consistent with the CDG.

Lighting: The parking lot lighting will consist of LED pole-mounted lights consistent with the approved parking lighting for the overall COTC, with an overall height of twenty (20) feet. This height complies with CDG Policy CC-90, which requires pole mounted lighting to be no taller than 25 feet. Consistent with CDG Policy CC-86, the lighting sources will have cut off lenses and be located to avoid light spillage and glare on adjacent properties. The lighting is conditioned to comply with the City's minimum lighting level requirements (0.5 foot-candles in pedestrian areas and 1.0 foot-candles in vehicle areas). As such, staff finds the photometric plan is consistent with the CDG.

CONCLUSION

The proposed project is consistent with the City's General Plan, NIPA, Zoning Ordinance, CDG, and the prior Campus Oaks Town Center project approvals. Therefore, staff recommends that the Planning Commission approve the MPP Stage 1 Modification and MPP Stage 2.

PUBLIC OUTREACH

The proposed project was distributed to all internal and external agencies and departments who have requested such notice, and all comments or recommended conditions of approval have been incorporated into the project, as appropriate. Early notification of the project was posted on the Roseville Coalition of Neighborhood Associations (RCONA)'s website. A notice of the public hearing was published in the Roseville Press Tribune on January 14, 2022 and a notice of the hearing was also distributed to all property owners within 300 feet of the site and posted on the RCONA website. No comments have been received as of publication of the staff report.

ENVIRONMENTAL DETERMINATION

An Addendum to the Hewlett Packard Master Plan EIR (SCH #95112022) was prepared for the Campus Oaks Commercial project (file #PL18-0080) consistent with CEQA Section 15164. This Addendum evaluated the impact of development of the Campus Oaks Town Center, which includes the project site. The proposed project is substantially consistent with the previously evaluated project, and no new effects are expected to occur.

RECOMMENDATION

The Planning Division recommends the Planning Commission take the following actions:

- A. Adopt the two (2) findings of fact and approve the **MAJOR PROJECT PERMIT STAGE 1 MODIFICATION – 7890 PAINTED DESERT DRIVE – NIPA PCL CO-41 – ACE HARDWARE – FILE #PL21-0252** subject to eight (8) conditions of approval; and
- B. Adopt the two (2) findings of fact and approve the **MAJOR PROJECT PERMIT STAGE 2 – 7890 PAINTED DESERT DRIVE – NIPA PCL CO-41 – ACE HARDWARE – FILE #PL21-0252** subject to seventy-two (72) conditions of approval.

CONDITIONS OF APPROVAL FOR THE MPP STAGE 1 MODIFICATION – FILE #PL21-0252

1. This Major Project Permit modification approval shall be effectuated within a period of two (2) years from **January 27, 2022** and if not effectuated shall expire on **January 27, 2024**. Prior to said expiration

date, the applicant may apply for an extension of time, provided this approval does not extend the expiration beyond **January 27, 2025**. (Planning)

2. The project is approved as shown in Exhibit A and as conditioned or modified below. (Planning)
3. The project is subject to the previously approved conditions of approval for the Major Project Permit for Campus Oaks Commercial (File #PL18-0080), except as conditioned or modified below. (Planning)
4. Bike parking and clean air vehicle spaces shall be provided per the California Green Building Standards. Bike rack/locker design and location shall be approved by Alternative Transportation. (Alternative Transportation, Building).
5. The applicant/developer shall submit an updated Transportation Systems Management (TSM) Plan to Alternative Transportation for Campus Oaks Town Center to include Ace Hardware. (Alternative Transportation)
6. The applicant shall maintain the drive aisle access to the west near Painted Dessert Drive. The applicant will not be responsible for any later modifications if/when the property to the west develops. (Engineering)
7. All commercial air conditioning units 5 tons or less (<65,000 btu/ h) shall meet the current Consortium for Energy Efficiency ("CEE") Tier I specifications. The SEER/EER ratings will be specified on building plans and Title 24 compliance certificates at the time building permits are requested. The SEER and EER ratings will be verified with appropriate documentation. These requirements shall be utilized in the overall energy compliance calculations required for issuance of any building permit for any commercial building in the Plan Area. Any variances, with the exception of Tier 2 compliance, must be approved by the Electric Department's Retail Energy Services Department. (Electric)
8. The address for this project and the proposed building, shall be 7890 Painted Desert Drive. (Business Services)

CONDITIONS OF APPROVAL FOR THE MPP STAGE 2 – FILE #PL21-0252

1. This Major Project Permit approval shall be effectuated within a period of two (2) years from **January 27, 2022** and if not effectuated shall expire on **January 27, 2024**. Prior to said expiration date, the applicant may apply for an extension of time, provided this approval does not extend the expiration beyond **January 27, 2025**. (Planning)
2. The project is approved as shown in Exhibit A and as conditioned or modified below. (Planning)
3. The project shall comply with all required environmental mitigation identified in the Hewlett-Packard Master Plan Environmental Impact Report and subsequent Hewlett-Packard Campus Oaks Addendums, and shall include all applicable mitigation measures as notes on the grading plans. (All Departments)
4. The project shall be addressed as 7890 Painted Desert Drive. All projects with multi-tenants or buildings must submit a site plan with building footprint(s) to the Development Services Department (Business Services – Addressing) for building/suite addressing. (Business Services)
5. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. (Public Works, Environmental Utilities, Electric, Finance)

6. The design and construction of all improvements shall conform to the Design and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Public Works)
7. The applicant shall not commence with any on-site improvements or improvements within the right-of-way until such time as grading and/or improvement plans are approved and grading and/or encroachment permits are issued by the Department of Public Works. (Public Works)
8. The approval of this project does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. (Public Works)

PRIOR TO ISSUANCE OF BUILDING PERMITS:

9. Parking lot design shall conform to the City's design standards, including the following minimum standards for parking stalls:
 - a. All parking stalls shall be double-striped. Parking stalls adjacent to sidewalks, landscaped areas or light fixtures, and all Accessible stalls shall abut a 6-inch raised curb or concrete bumper. (Planning)
 - b. Standard – 9 feet x 18 feet; Compact – 9 feet x 16 feet; Accessible – 14 feet x 18 feet (a 9-foot-wide parking area plus a 5-foot-wide loading area) and a minimum of one (1) parking space shall be Accessible van accessible – 17 feet x 18 feet (9-foot-wide parking area plus an 8-foot-wide loading area). (Planning)
 - c. An 'exterior routes of travel' site accessibility plan incorporating slope, cross-slope, width, pedestrian ramps, curb ramps, handrails, signage, detectable warnings or speed limit signs or equivalent means shall comprise part of the site improvement plans submitted to City for review, prior to building plan check approvals. This site accessibility plan shall also include:
 - i. Accessible parking stalls shall be dispersed and located closest to accessible entrances. The total number of accessible parking spaces shall be established by Table 11B-208.2 of the CBC.
 - ii. Accessible Parking spaces and crosswalks shall be signed, marked and maintained as required by Chapter 11 of the CBC.
 - iii. Accessible parking and exterior route of travel shall comply with CBC, Sections 11B-206 and 11B-208. (Building)
10. Signs and/or striping shall be provided on-site as required by the Planning Department to control on-site traffic movements. Parking lot striping and signage shall be maintained in a visible and legible manner. (Planning)
11. The plans submitted to the Building Division for permits shall indicate all approved revisions/alterations as approved by the Commission including all conditions of approval. (Planning)
12. The project Landscape Plans shall comply with the following:
 - a. The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines; backflow preventers; fire department connections; and public water, sewer, and storm drain facilities. (Planning, Fire, Environmental Utilities, Electric, Public Works)

- b. The tree plantings in the parking lot shall be designed to provide a minimum of 50% shade coverage after 15 years. (Planning)
 - c. At a minimum, landscaped areas not covered with live material shall be covered with a rock, (3") bark (no shredded bark) or (3") mulch covering. (Planning)
 - d. The landscape plan shall comply with the Landscape Guidelines for the HP Campus Oaks Master Plan and the City of Roseville Water Efficient Landscape Ordinance. (Planning, Environmental Utilities)
 - e. All landscaping in areas containing electrical service equipment shall conform to the Electric Department's Landscape Requirements and Work Clearances as outlined in Section 10.00 of the Departments "Specification for Commercial Construction." (Electric)
 - f. Slopes within landscape planters shall be no more than 3:1. A two-foot flat bench located at back-of-walk shall be included in the landscape area to slow or allow absorption of nuisance run-off from the planters. (Parks, Recreation, and Libraries)
 - g. All landscaping shall conform to the standards of crime prevention through environmental design with the intent to create natural surveillance, controlling access, and territorial reinforcement to property boundaries. (Police)
13. Any roof-mounted equipment and satellite dishes proposed shall be shown on the building plans. The equipment shall be fully screened from public streets and the surrounding properties. (Planning)
14. At the time of building permit application and plan submittal, the project applicant shall submit a proposed plan which shows the proposed suite addressing for individual tenant spaces within the building. The Building Official, or the designee, shall approve said plan prior to building permit approval. Refer to the *City of Roseville Addressing Guidelines*. (Building)
15. A separate Architectural Site Accessibility Plan which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. (Building)
16. For Multiple Building Complexes: As part of the required Architectural Site Accessibility Plan, the developer shall delineate the extent of the site accessibility improvements being installed as part of the initial improvements for the project, and those that are planned to be developed as part of subsequent phases (i.e. around future pad buildings). (Building)
17. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Green Building Standards Code–CGBSC, California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Division for applicable Code editions). (Building)
18. Maintenance of copy of building plans: Health and Safety Code section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address. (Building)

19. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to Public Works prior to approval of any plans. (Public Works)
20. The Improvement Plans shall include a complete set of Landscape Plans. The Landscape Plans shall be approved with the Improvement Plans. (Planning, Public Works, Fire, Environmental Utilities, Electric)
21. A note shall be added to the grading plans that states:

*“Prior to the commencement of grading operations, the contractor shall identify the site where the **excess/borrow** earthen material shall be imported/deposited. If the **borrow/deposit** site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified.”* (Public Works)
22. The applicant shall dedicate all necessary rights-of-way or Public Utility Easement for the widening of any streets or transfer of public utilities across and over any portion of the property as required with this entitlement. A separate document shall be drafted for approval and acceptance by the City of Roseville, and recorded at the County Recorder’s Office. (Public Works)
23. Bike parking and clean air vehicle spaces shall be provided per the California Green Building Standards. Bike rack/locker design and location shall be approved by Alternative Transportation. (Alternative Transportation, Building).
24. All storm drainage, including roof drains, shall be collected on site and treated with Best Management Practices (BMP’s) per the City’s Stormwater Quality Design Manual. All storm water shall be routed to the nearest existing storm drain system or natural drainage facility. Drain outfalls shall extend down to the receiving water and shall be constructed with adequate velocity attenuation devices. The grading/improvement plans for the site shall be accompanied with a shed map that defines that area tributary to this site and all drainage facilities shall be designed to accommodate the tributary flow. The storm drain system and proposed BMP’s shall be privately owned and maintained by the property owner. Prior to the issuance of any permits, the owner shall provide a plan for the maintenance of the proposed BMP’s. (Public Works)
25. Prior to the approval of the Improvement Plans, the project proponent shall provide proof of preparation and submittal of a Storm Water Pollution Prevention Plan (SWPPP) to the Regional Water Quality Control Board (RWQCB). Proof shall be in the form of the Waste Discharge Identification Number (WDID#), provided to the applicant from RWQCB, placed on the coversheet of the improvement plans. Upon approval of the improvement plans, a copy of the SWPPP shall be required onsite and available for viewing by City inspection staff upon request. (Engineering)
26. The developer shall be responsible for any necessary relocation of signal interconnect cables that may require re-location as a result of the construction of turn lanes and/or driveways. (Public Works)
27. To ensure that the design for any necessary widening, construction, or modifications of Public Streets does not conflict with existing dry utilities generally located behind the curb and gutter, and prior to the submittal of design drawings for those frontage improvements, the project proponent shall have the existing dry utilities pot holed for verification of location and depth. (Public Works)
28. Sight distances for all driveways shall be clearly shown on the improvement plans to verify that minimum standards are achieved. It will be the responsibility of the project proponent to provide appropriate landscaping and improvement plans, and to relocate and/or modify existing facilities as needed to meet these design objectives. (Public Works)

29. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During plan check of the improvement plans and/or during inspection, Public Works will designate the exact areas to be reconstructed. Any existing public facilities damaged during the course of construction shall be repaired by the property owner and at the property owner's expense, to
30. Prior to the approval of the improvement plans, it will be the project proponent's responsibility to pay the standard City Trench Cut Recovery Fee for any cuts within the City streets that are required for the installation of underground utilities. (Public Works)
31. Prior to the issuance of building permits, the property owner shall pay into the following fee programs: Citywide Drainage Fee, Citywide Traffic Mitigation Fee (TMF), Highway 65 Joint Partners Association (JPA), South Placer Regional Transportation Authority (SPRTA), and City/County Fee. (Public Works)
32. The applicant/developer shall submit an updated Transportation Systems Management (TSM) Plan to Alternative Transportation for Campus Oaks Town Center to include Ace Hardware. (Alternative Transportation)
33. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan-view and in profile-view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
34. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)
35. Water and sewer infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards and shall include:
 - a. Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12 feet unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes.
 - b. Water, sewer and recycled mains shall not exceed a depth of 12 feet below finished grade, unless authorized in these conditions of approval.
 - c. All sewer manholes shall have all-weather, 10-ton vehicle access unless otherwise authorized by these conditions of approval. (Environmental Utilities)
36. Recycled water infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. The applicant shall pay all applicable recycled water fees. Easements shall be provided as necessary for recycled water infrastructure. (Environmental Utilities)
37. Trash enclosures, recycling areas, and enclosure approaches shall be designed to current Refuse Division specifications, the materials and colors shall match the building, and the location of such facilities shall be reviewed and approved by the Refuse Division, Planning and the Fire Department. The enclosure must have inside dimensions of 12 feet wide and 9 feet deep and be built to the specifications of the Solid Waste Department's Enclosure Description. (Refuse, Planning, Fire)

38. Access to trash enclosures shall have an inside turning radius of 25 feet and an outside turning radius of 45 feet must be maintained to allow the refuse truck access to and from the enclosure. Enclosures must have a clear approach of 65 feet in front of the enclosure to allow servicing bins. (Refuse)
39. A trash enclosure and recycling enclosure is required for each building and each tenant, otherwise, the building owner is responsible for the trash service. (Refuse)
40. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
41. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting. (Fire)
42. The Electric Department requires the submittal of the following information in order to complete the final electric design for the project:
 - a. one (1) set of improvement plans
 - b. load calculations
 - c. electrical panel one-line drawings
43. All on-site external lighting shall be installed and directed to have no off-site glare. Lighting within the parking areas and pedestrian walkways shall provide a maintained minimum of one (1) foot-candle, and 0.5 foot-candle of light, respectively. The overall height of parking lot light fixtures shall be no more than 20 feet measured from the bottom of the base. All exterior light fixtures shall be vandal resistant. (Planning, Police)
44. The parking lot shall have properly posted signs that state the use of the parking area is for the exclusive use of employees and customers of this project. (See California Vehicle Code Sections 22507.8, 22511.5, 22511.8, 22658(a), and the City of Roseville Municipal Code Section 11.20.110). The location of the signs shall be shown on the approved site plan. (Planning, Police)
45. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS:

46. Any backflow preventers visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventers shall be screened with landscaping and shall comply with the following criteria:
 - a. There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventer to the landscaping.
 - b. For maintenance purposes, the landscaping shall only be installed on three sides and the plant material shall not have thorns.
 - c. The control valves and the water meter shall be physically unobstructed.
 - d. The backflow preventer shall be covered with a green cover that will provide insulation. (Planning, Environmental Utilities)
47. The following easements shall be provided by separate instrument and shown on the site plan, unless otherwise provided for in these conditions:

- a. Water, sewer, and reclaimed water easements.
 - b. Additional internal easements will be required to cover primary electrical facilities to the project when the final electrical design is completed. (Electric)
48. Easement widths shall comply with the City's Improvement Standards and Construction Standards. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. All existing public utility, electric, water, sewer and reclaimed water easements shall be maintained unless otherwise authorized by these conditions of approval. (Public Works, Environmental Utilities, Electric)
49. Inspection of the potable water supply system on new commercial/industrial/office projects shall be as follows:
- a. The Environmental Utilities Inspector will inspect all potable water supply up to the downstream side of the backflow preventer.
 - b. The property owner/applicant shall be responsible for that portion of the water supply system from the backflow preventer to the building. The builder/contractor shall engage a qualified inspector to approve the installation of this portion of the water supply. The Building Division will require from the builder/contractor, a written document certifying that this portion of the potable water supply has been installed per improvement plans and in accordance with the Uniform Plumbing Code. This certificate of compliance shall be submitted to the Building Division before a temporary occupancy or a building final is approved.
 - c. The building inspectors will exclusively inspect all potable water supply systems for the building from the shutoff valve at the building and downstream within the building. (Building, Environmental Utilities)
50. All improvements being constructed in accordance with the approved grading and improvement plans shall be accepted as complete by the City. (Public Works)
51. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Public Works)
52. Water, sewer and reclaimed water shall be constructed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. (Environmental Utilities)
53. All water backflow devices shall be tested and approved by the Environmental Utilities Department. (Environmental Utilities)
54. All Electric Department facilities, including streetlights where applicable, shall be designed and built to the "City of Roseville Specifications for Commercial Construction." (Electric)
55. The City of Roseville Electric Department has electrical construction charges which are to be paid by the developer and which are explained in the City of Roseville "Specification for Commercial Construction." These charges will be determined upon completion of the final electrical design. (Electric)
56. Any relocation, rearrangement, or change of existing electric facilities due to this development shall be at the developer's expense. (Electric)
57. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes,

but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)

58. All electric metering shall be directly outside accessible. This can be accomplished in any of the following ways:

- a. Locate the metered service panel on the outside of the building.
- b. Locate the metered service panel in a service room with a door that opens directly to the outside. The developer will be required to provide a key to the door for placement in a lock box to be installed on the outside of the door. Any doors leading from the service room to other areas of the building shall be secured to prohibit unauthorized entry. (Electric)

59. One ¾-inch conduit with a 2-pair phone line shall be installed from the building's telephone service panel to the meter section of the customer's electrical switchgear or panel. (Electric)

60. It is the responsibility of the developer to ensure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)

OTHER CONDITIONS OF APPROVAL:

61. Signs shown on the elevations are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)

62. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed-free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)

63. The City reserves the right to restrict vehicle turning movements within the public right-of-way in the future if deemed necessary by the City Engineer. (Public Works)

64. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)

65. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)

66. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor or person responsible for the building permit must notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. (Fire)

67. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)

68. All commercial air conditioning units 5 tons or less (<65,000 btu/ h) shall meet the current Consortium for Energy Efficiency ("CEE") Tier I specifications. The SEER/EER ratings will be specified on building plans and Title 24 compliance certificates at the time building permits are requested. The SEER and

EER ratings will be verified with appropriate documentation. These requirements shall be utilized in the overall energy compliance calculations required for issuance of any building permit for any commercial building in the Plan Area. Any variances, with the exception of Tier 2 compliance, must be approved by the Electric Department's Retail Energy Services Department. (Electric)

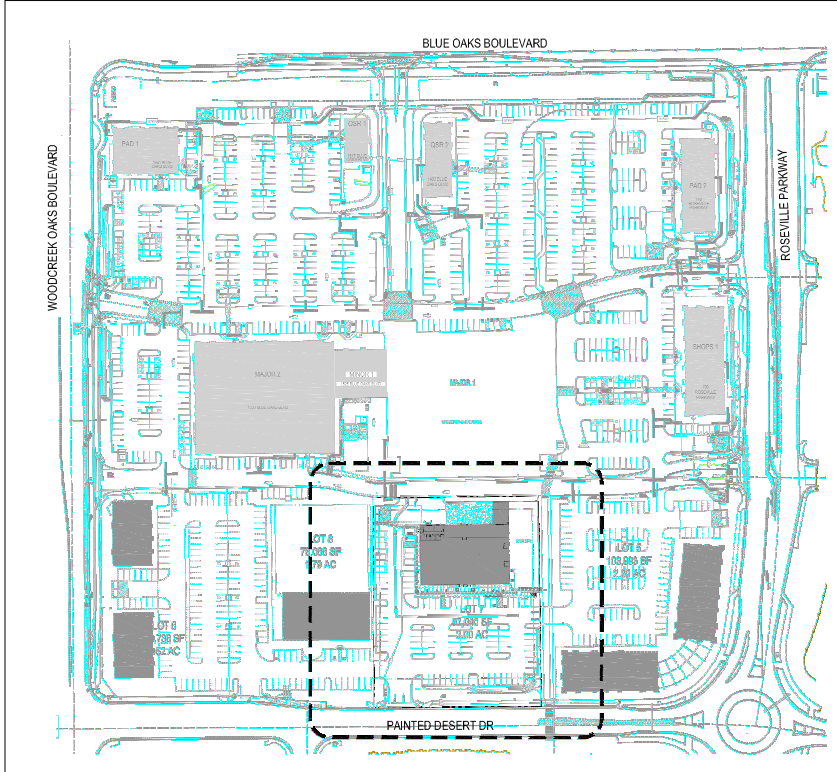
69. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance, project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday, provided that all construction equipment shall be fitted with factory installed muffling devices and be maintained in good working order. (Building)
70. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Division Field Inspector at the time of or prior to the foundation inspection. (Building)
71. Prior to Certificate of Occupancy, the applicant may apply for a Temporary Certificate of Occupancy (TCO) of the building. If a TCO is desired, the applicant must submit a written request to the Building Division a minimum of thirty (30) days prior to the expected temporary occupancy date and shall include a schedule for occupancy and a description of the purpose for the Temporary Certificate of Occupancy. (Building)
72. Concurrent with submittal for plan check and prior to a request for final building inspection, the applicant may request City approval of an occupancy phasing plan to allow individual or multiple building occupancies. This request shall be made in writing to the Building Division and shall include 10 copies of the following:
 - a. A description of measures that will be undertaken to minimize conflict between residents/building occupants and construction traffic (e.g. fencing, etc.);
 - b. A phasing plan showing the proposed buildings, internal roads and access routes, landscaping, trash enclosure locations, and any other improvements planned for each phase; and
 - c. An estimated time frame for each phase and a specific date for the first phase. (Planning, Building)

EXHIBIT

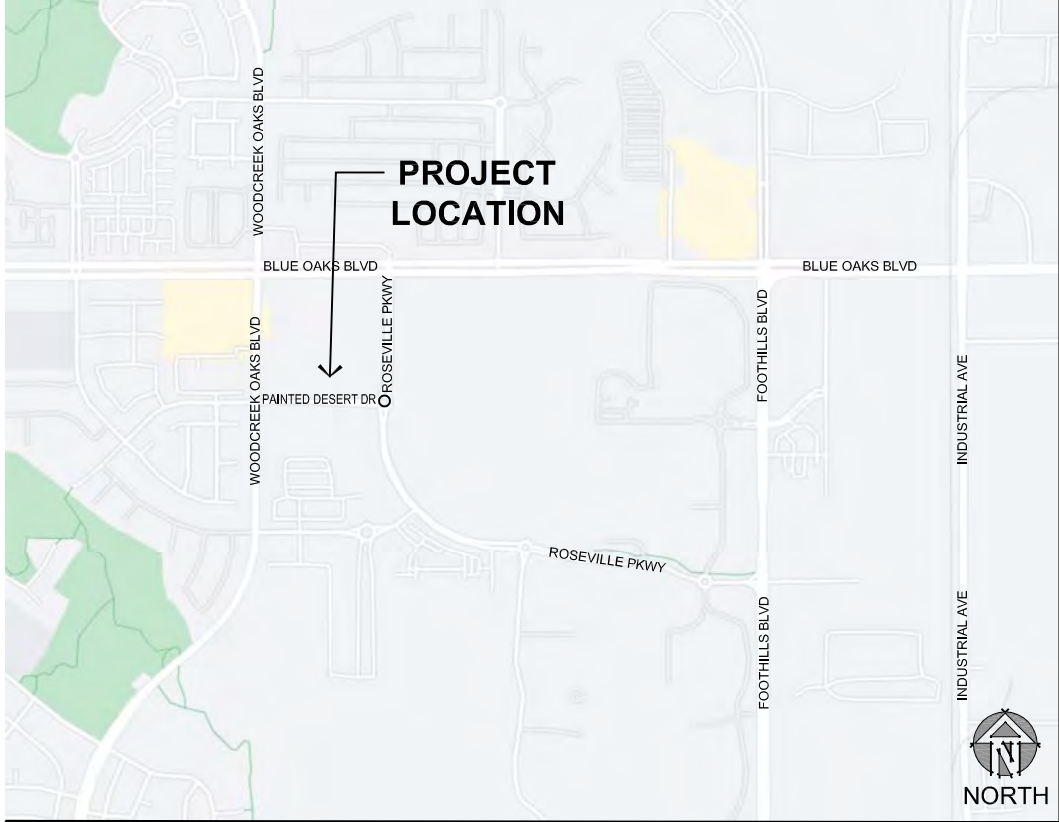
A. Plans

<u>Note to Applicant and/or Developer:</u> Please contact Planning Division staff at (916) 774-5276 prior to the Commission meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Commission in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.
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KEYPLAN



VINICITY MAP



DRAWING INDEX

SA-0.1	COVER SHEET & SITE PLAN
SA-0.2	SITE DETAILS
PG01	PRELIMINARY GRADING PLAN
UT01	PRELIMINARY UTILITY PLAN
SHED01	PRELIMINARY SHED PLAN & WATER QUALITY EXHIBIT
SA-1.1	FLOOR PLAN
SA-1.2	ROOF PLAN
SA-2.1	EXTERIOR ELEVATIONS
SA-3.1	BUILDING SECTIONS
SA-4.1	PERSPECTIVES
L1.0	PRELIMINARY LANDSCAPE PLAN
SA-5.1	MATERIAL BOARD

PROJECT DATA

ACCESSOR'S PARCEL No:	481-260-042-000
ZONING:	COMMUNITY COMMERCIAL (CC)
SUBJECT LOT AREA:	+/- 2.00 AC (+/- 87,040 SF)
TYPE OF CONSTRUCTION:	V-B
FIRE SPRINKLER:	YES
OCCUPANCY TYPE:	M
BUILDING HEIGHT:	37'-0" (60'-0" ALLOWED, CBC TABLE 504.3)
STORIES:	1 (2 STORIES ALLOWED, CBC TABLE 504.4)
GROSS FLOOR AREA:	+/- 14,169 S.F. (36,000 SF ALLOWED, CBC TABLE 506.2)
FIRE SEPARATION DISTANCES:	NORTH: 43'-3" - 0-RATING REQUIRED
	WEST: 74'-8 1/2" - 0-RATING REQUIRED
	SOUTH: 193'-1" - 0-RATING REQUIRED
	EAST: 47'-7" - 0-RATING REQUIRED

ALLOWABLE EXTERIOR WALL OPENINGS AT FOUR SIDES: NO LIMIT
(CBC TABLE 705.8)

PARKING CALCULATION:

REQUIRED:	
14,169 S.F. / 300 =	47.23 STALLS
6,432 S.F. / 1000 =	6.42 STALLS
	= 53.66 STALLS ~ 54 STALLS

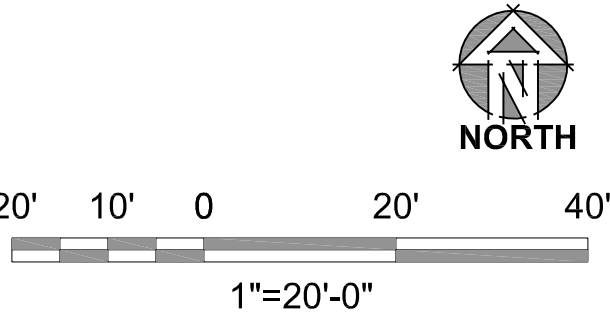
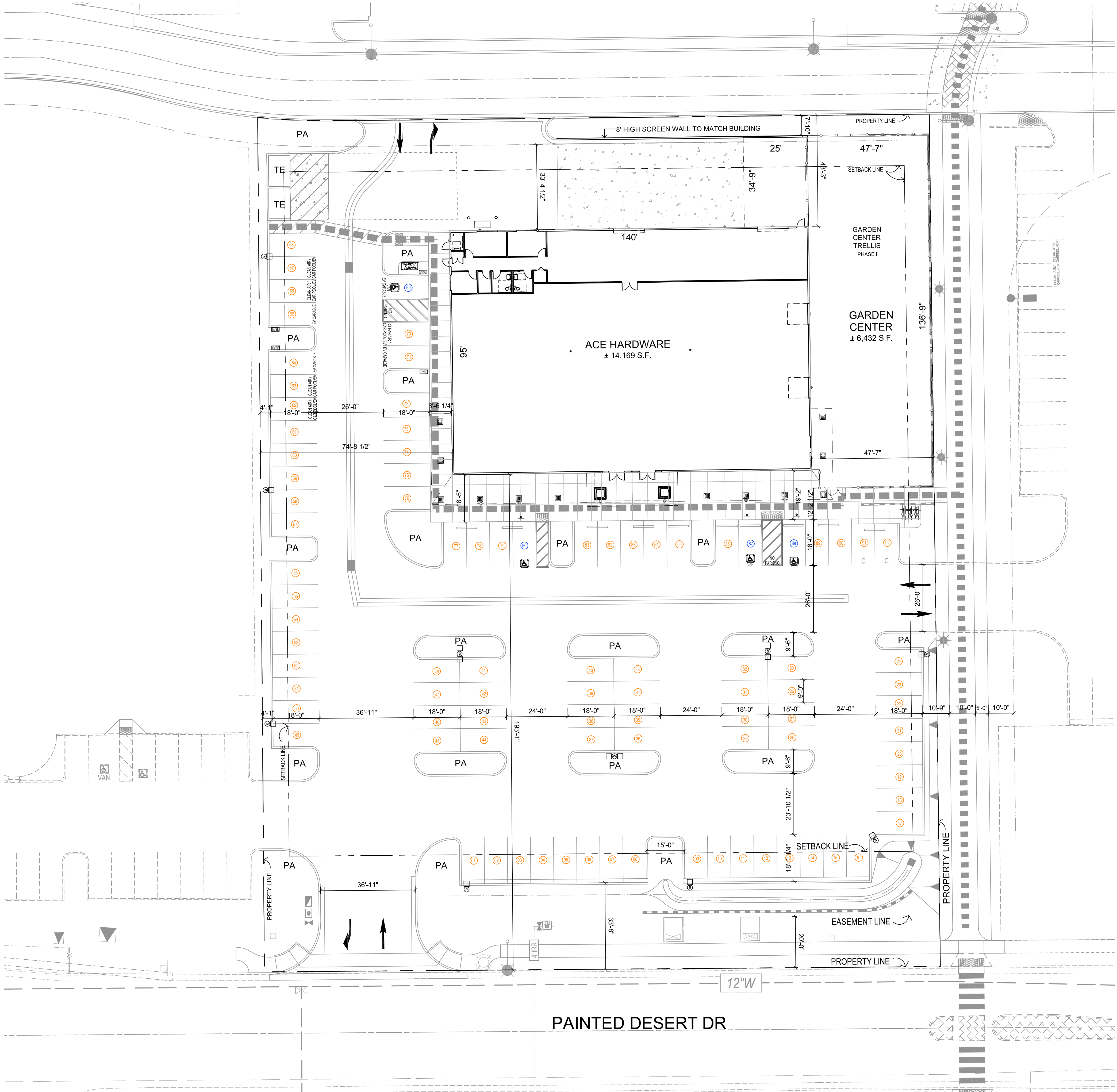
ACCESSIBLE PARKING:	4 STALLS
CLEAN AIR/CAR POOL/EV:	6 STALLS
EV CAPABLE (EVSE):	4 STALLS
SHORT TERM BIKE RACK:	4 BIKES
LONG-TERM BIKE RACK:	4 BIKES

PROVIDED: 92 STALLS

STANDARD PARKING:	86 STALLS
ACCESSIBLE PARKING:	4 STALLS
COMPACT PARKING:	2 STALLS
CLEAN AIR/CAR POOL/EV:	6 STALLS
EV CAPABLE (EVSE):	4 STALLS
SHORT TERM BIKE RACK:	4 BIKES
LONG-TERM BIKE RACK:	4 BIKES

OWNER / CONSULTANT INDEX

OWNER'S REP: WERNER PROPERTIES, LLC 8665 AUBURN-FOLSOM ROAD GRANITE BAY, CA 95746 BRETT WERNER email: brett423@yahoo.com	CIVIL ENGINEER: MORTON & PITALO, INC. 600 COOLIDGE DRIVE, SUITE #140 FOLSOM, CA 95630 SCOTT PEDERSEN email: spedersen@mpengr.com TEL: (916) 984-7621
ARCHITECT: BORGES ARCHITECTURAL GROUP 1478 STONE POINT DR., STE. 350 ROSEVILLE, CA 95661 ADAM G. LEHNER email: adam@borgesarch.com TEL: (916) 782-7200	LANDSCAPE ARCHITECT: YAMASAKI LANDSCAPE ARCHITECTURE 1223 HIGH STREET AUBURN, CA 95603 THERESA ZARO, P.L.A. email: theresa@yamasaki-ha.com TEL: (530) 885-0040



ACE HARDWARE SITE PLAN

7890 PAINTED DESERT DRIVE, ROSEVILLE, CA 95747 19036-1

10/27/2021

1478 STONE POINT DRIVE SUITE 350 ROSEVILLE, CA 95661 T | 916 782 7200 borgesarch.com

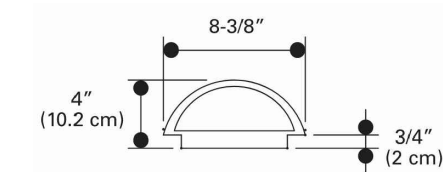
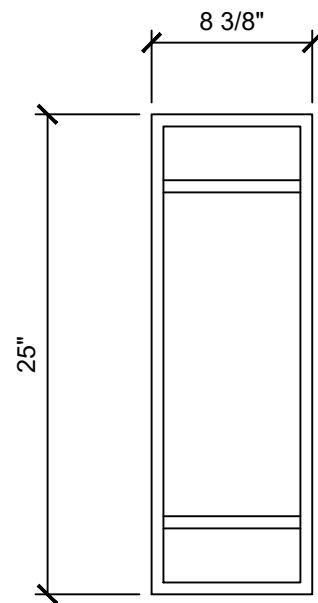
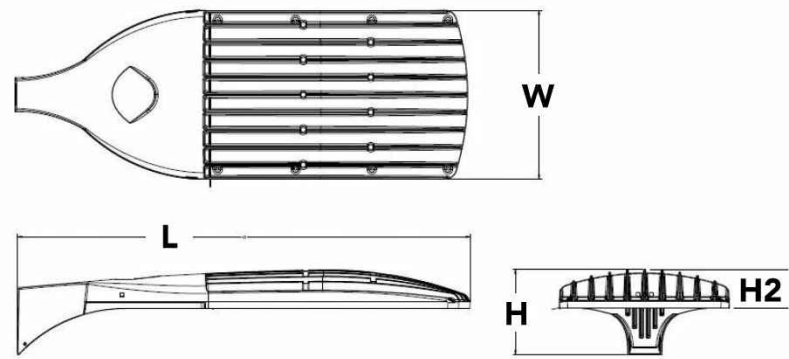
SA-0.1

Borges



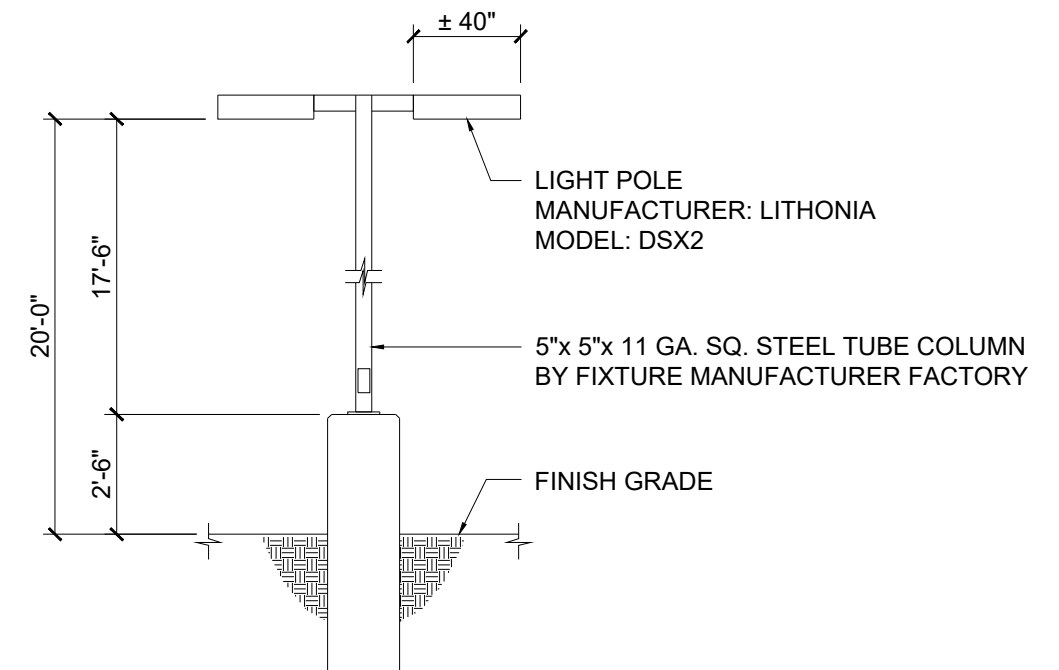
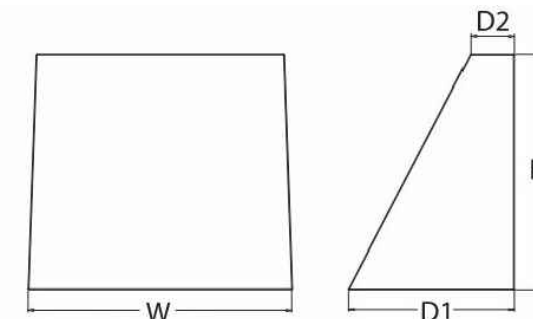
Specifications

EPA: 1.1 ft²
(0.10 m²)
Length: 40"
(101.6 cm)
Width: 15"
(38.1 cm)
Height 1: 7-1/4"
(18.4 cm)
Height 2: 3.5"
(max.)
Weight: 36lbs



Specifications

Depth (D1): 5.5"
Depth (D2): 1.5"
Height: 8"
Width: 9"
Weight: 9 lbs
(without options)



SITE LIGHT FIXTURE

SCALE: NTS

WALL SCNCE FIXTURE

SCALE: NTS

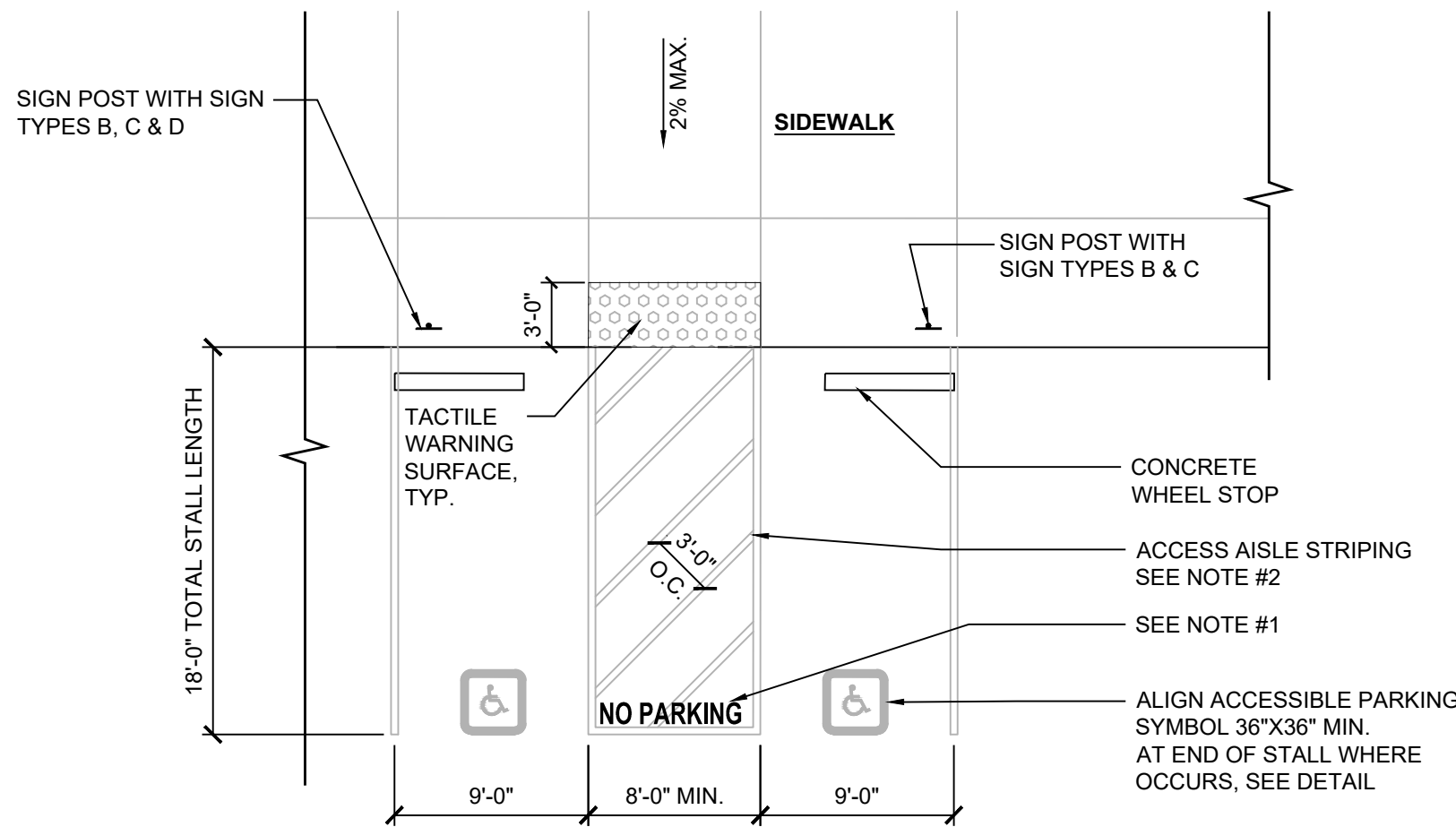
WALL SCNCE FIXTURE

SCALE: NTS

LIGHT POLE FIXTURE ELEVATION

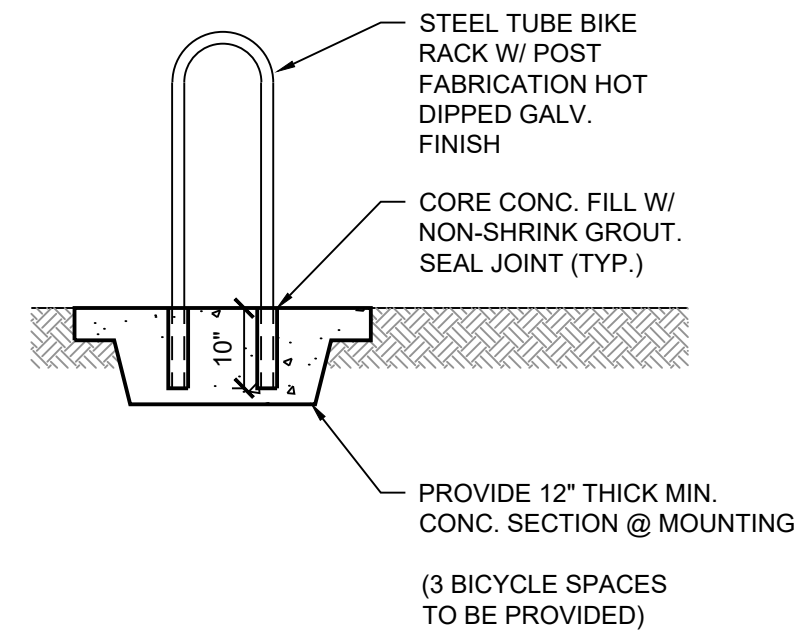
SCALE: 1/4"=1'-0"

- NOTES:
1. PROVIDE THE WORDS "NO PARKING" IN 12" HIGH WHITE LETTERS. THE LETTERING SHALL BE PLACED ACROSS THE ACCESSIBLE ACCESS AISLE NEAR THE END OF THE PARKING STALL ADJACENT TO THE DRIVEWAY OR STREET SO THAT IT IS VISIBLE TO TRAFFIC ENFORCEMENT OFFICERS.
 2. THE ACCESS AISLE SHALL BE PAINTED WITH A 4" WIDE BLUE BORDER. WITHIN THE BLUE BORDER 4" WIDE HATCHED LINES @ 36" O.C. SHALL BE PAINTED WITH A COLOR THAT CONTRASTS WITH THE PARKING SURFACE - PREFERABLY BLUE OR WHITE.



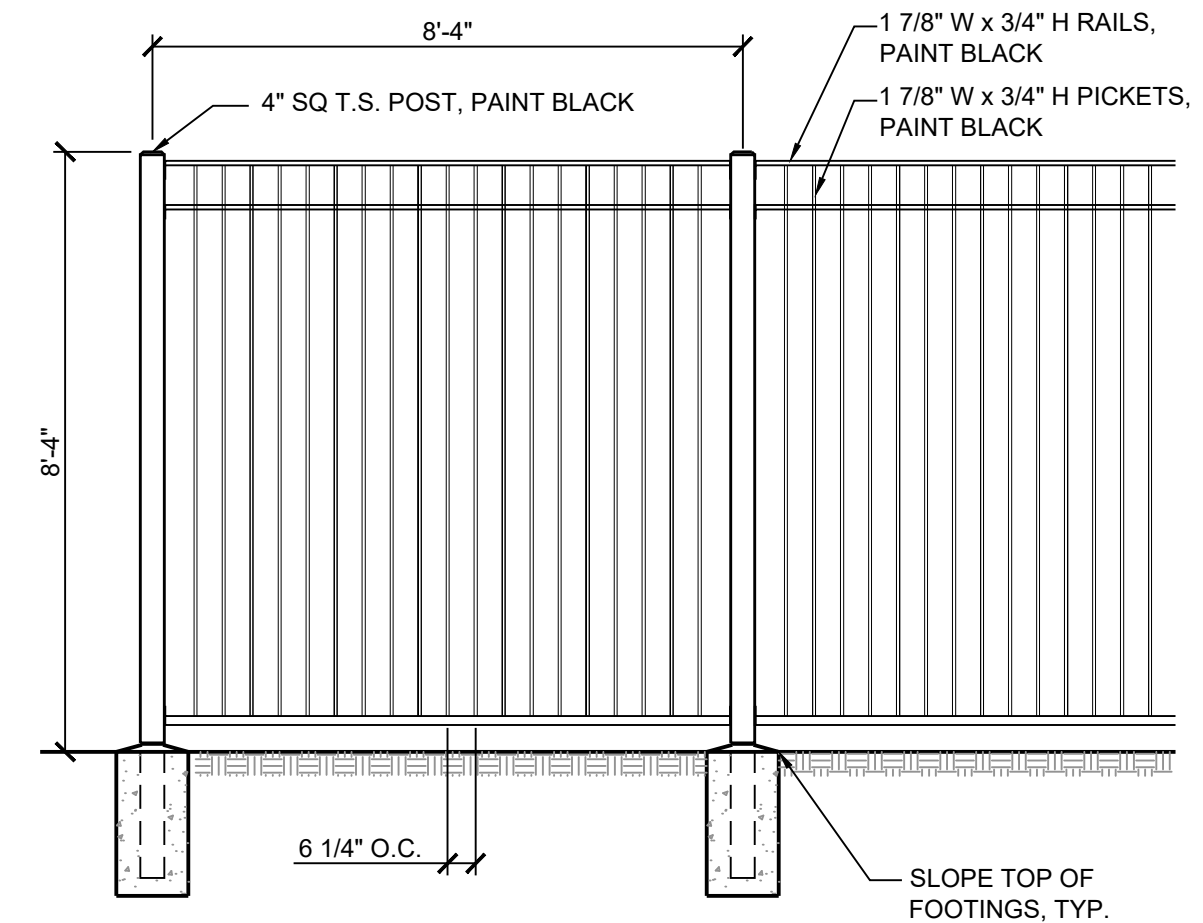
ACCESSIBLE PARKING DUAL STALL PLAN

SCALE 1/8" = 1'-0"



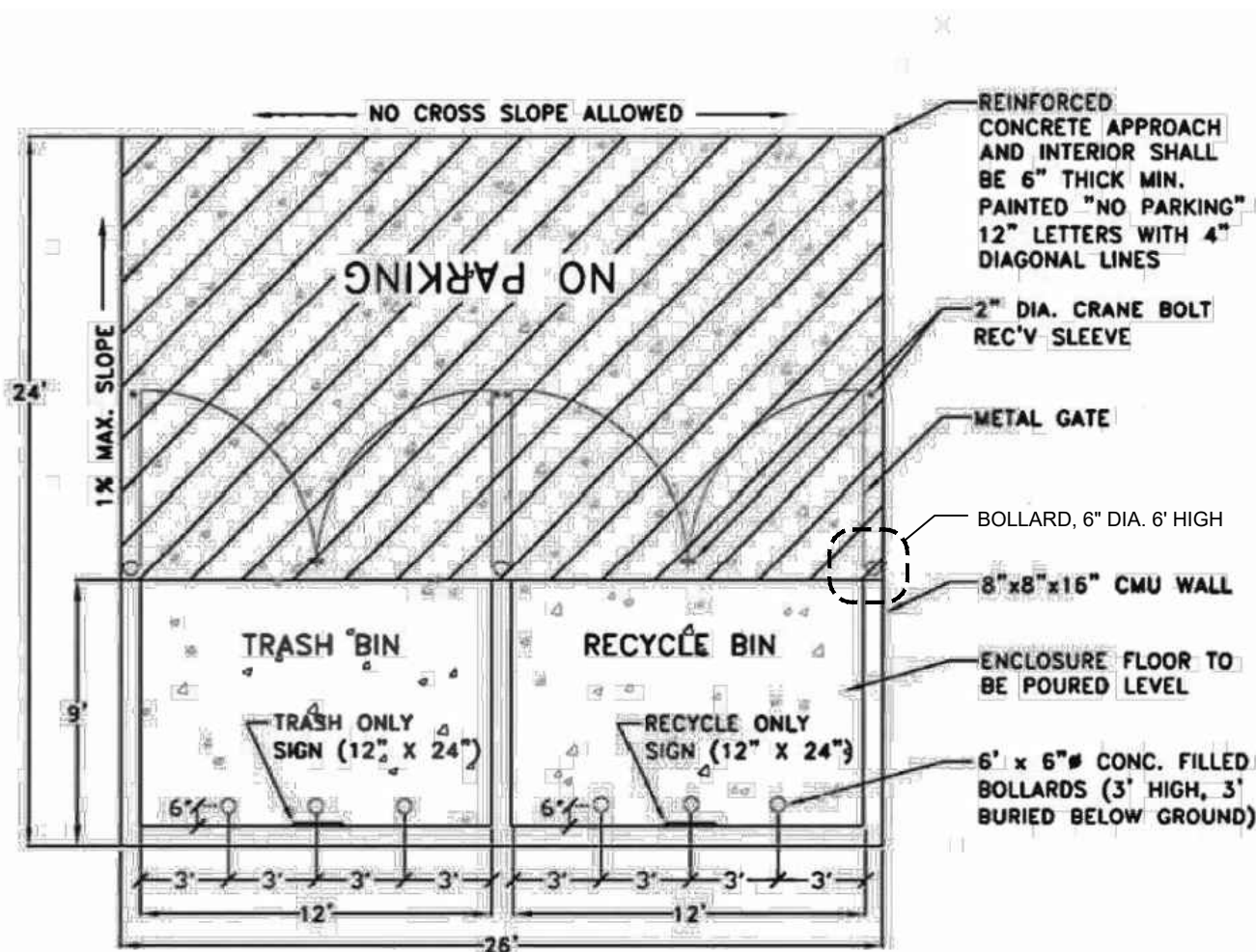
BIKE RACK

SCALE: 1/2"=1'-0"



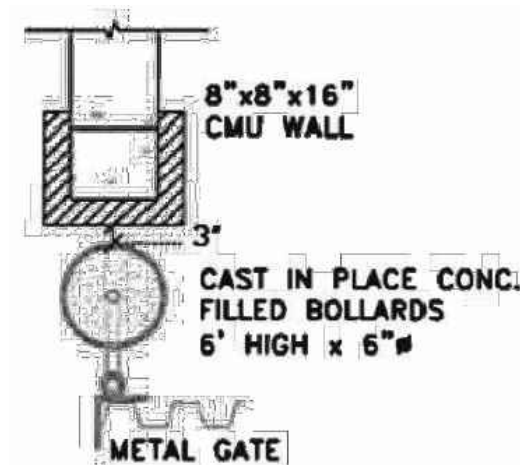
FENCE ELEVATION

SCALE 3/8" = 1'-0"



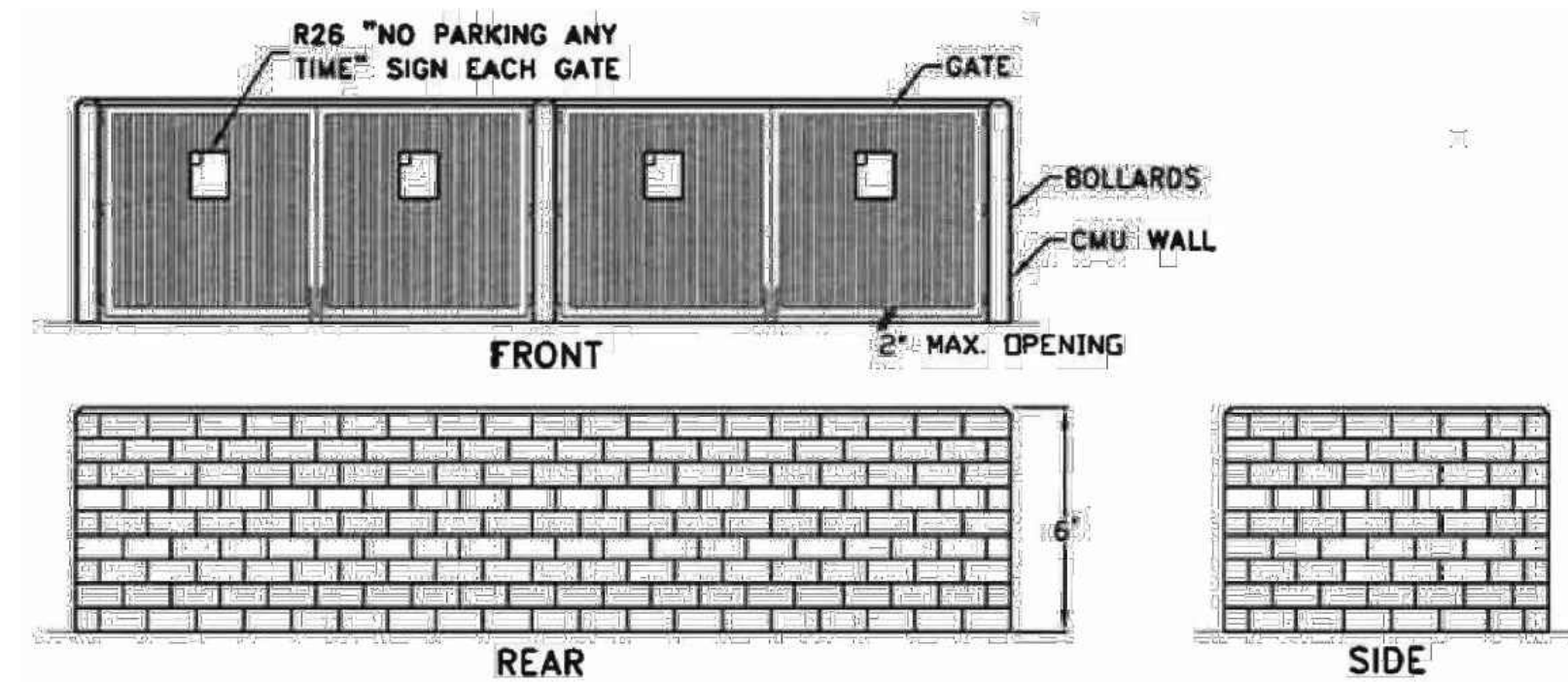
TRASH ENCLOSURE PLAN

SCALE: NTS



BOLLARD DETAIL @ GATE

SCALE: NTS



TRASH ENCLOSURE ELEVATIONS

SCALE: NTS

ACE HARDWARE SITE DETAILS

SA-0.2

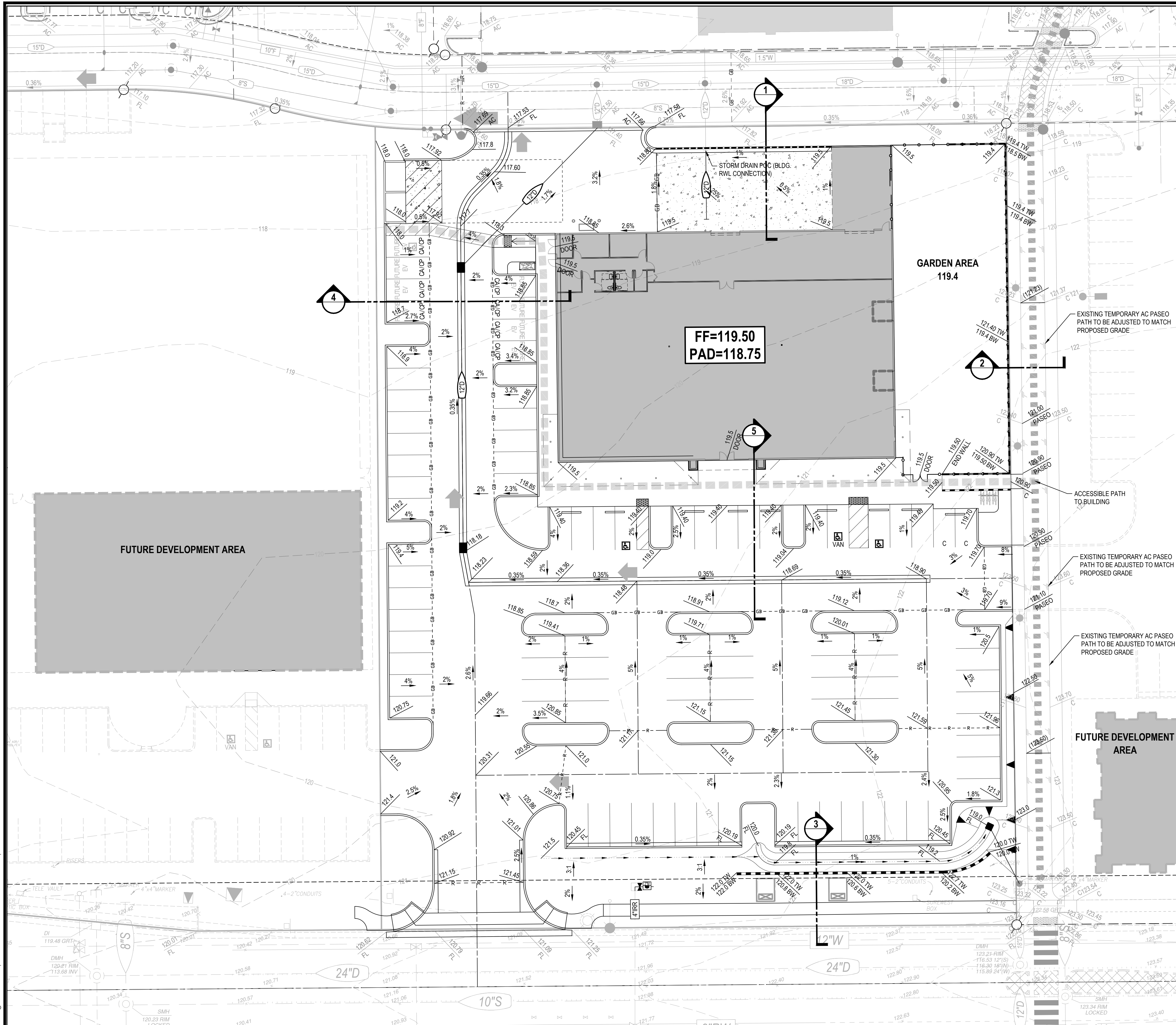
Borges

7890 PAINTED DESERT DRIVE, ROSEVILLE, CA 95747 19036-1

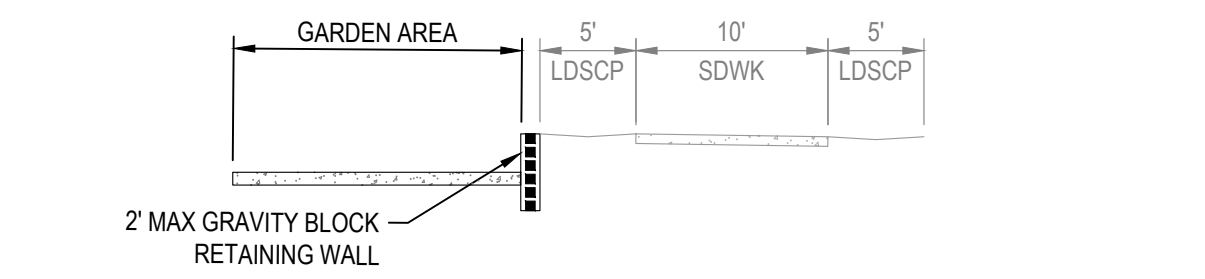
9/24/2021

1478 STONE POINT DRIVE SUITE 350 ROSEVILLE, CA 95661 T | 916 782 7200 borgesarch.com

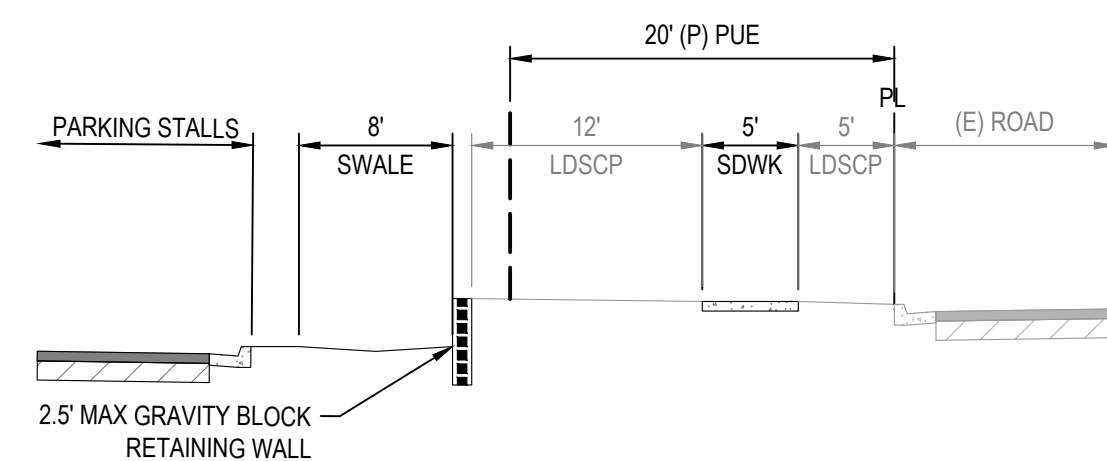
Dwg Y:\2017\17-0015-04\ACE HARDWARE @ COTC\ROSEVILLE\DWG\GRADING\ANV\WORKING\17011514-4-PRD\17011514-4-PRD.DWG | Sheet: 11-30-21 08:17am TIGRIS



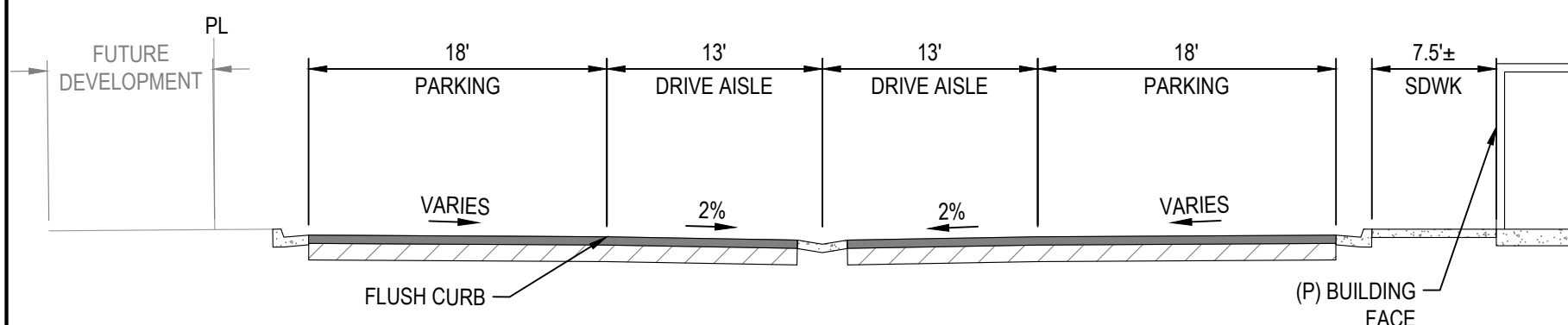
1 NORTH BOUNDARY SECTION



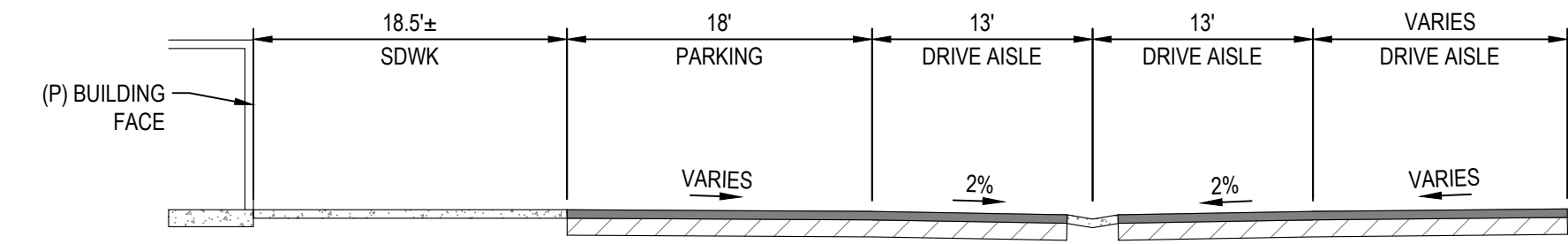
2 EAST BOUNDARY SECTION



3 SOUTH BOUNDARY SECTION

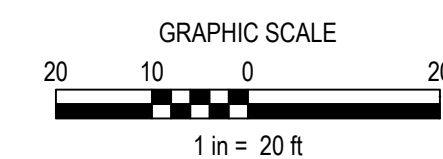


4 WEST BOUNDARY SECTION



5 BUILDING FRONT ENTRY SECTION

- NOTES:**
- NO TREES / HERITAGE TREES TO BE REMOVED WITH THIS PROJECT.
 - GRADES SHOWN ARE AC PAVEMENT UNLESS OTHERWISE NOTED.
- ➔ OVERLAND DRAINAGE RELEASE PATH



RAW EARTHWORK QUANTITIES:
CUT TO FILL: 200 C.Y.
EXPORT: 3,300 C.Y.

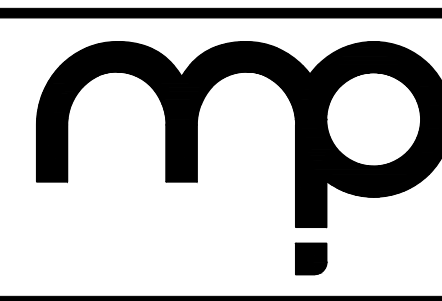
ASSUMED 1' SECTION FOR ALL CONCRETE AND ASPHALT

City of Roseville Approval

REVISIONS	NO.	DESCRIPTION	APPD. ENGR.	DATE	APPD. E.U.	DATE
△						
△						
△						
△						

SCALE:	BENCH MARK
HORIZ. 1" = 20'	
VERT. 1" = N/A	

COMPUTED	MC
DESIGNED	TA
DRAWN	TA
PROJ. ENGR.	SMP



MORTON & PITALO, INC.
CIVIL ENGINEERING • LAND PLANNING • LAND SURVEYING
Folsom • Fresno
600 Coolidge Drive, Suite #140
Folsom, CA 95630
phone: (916) 984-7621
web: www.mpengr.com

ENTITLEMENT EXHIBIT
ACE HARDWARE @ COTC
7890 PAINTED DESERT DRIVE
GRADING PLAN
ROSEVILLE, CALIFORNIA

DATE	NOV 30, 2021
SHEET	3
OF	4

BENCH MARK	

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ENTITLEMENT EXHIBIT
ACE HARDWARE @ COTC
7890 PAINTED DESERT DRIVE
UTILITY PLAN
ROSEVILLE, CALIFORNIA

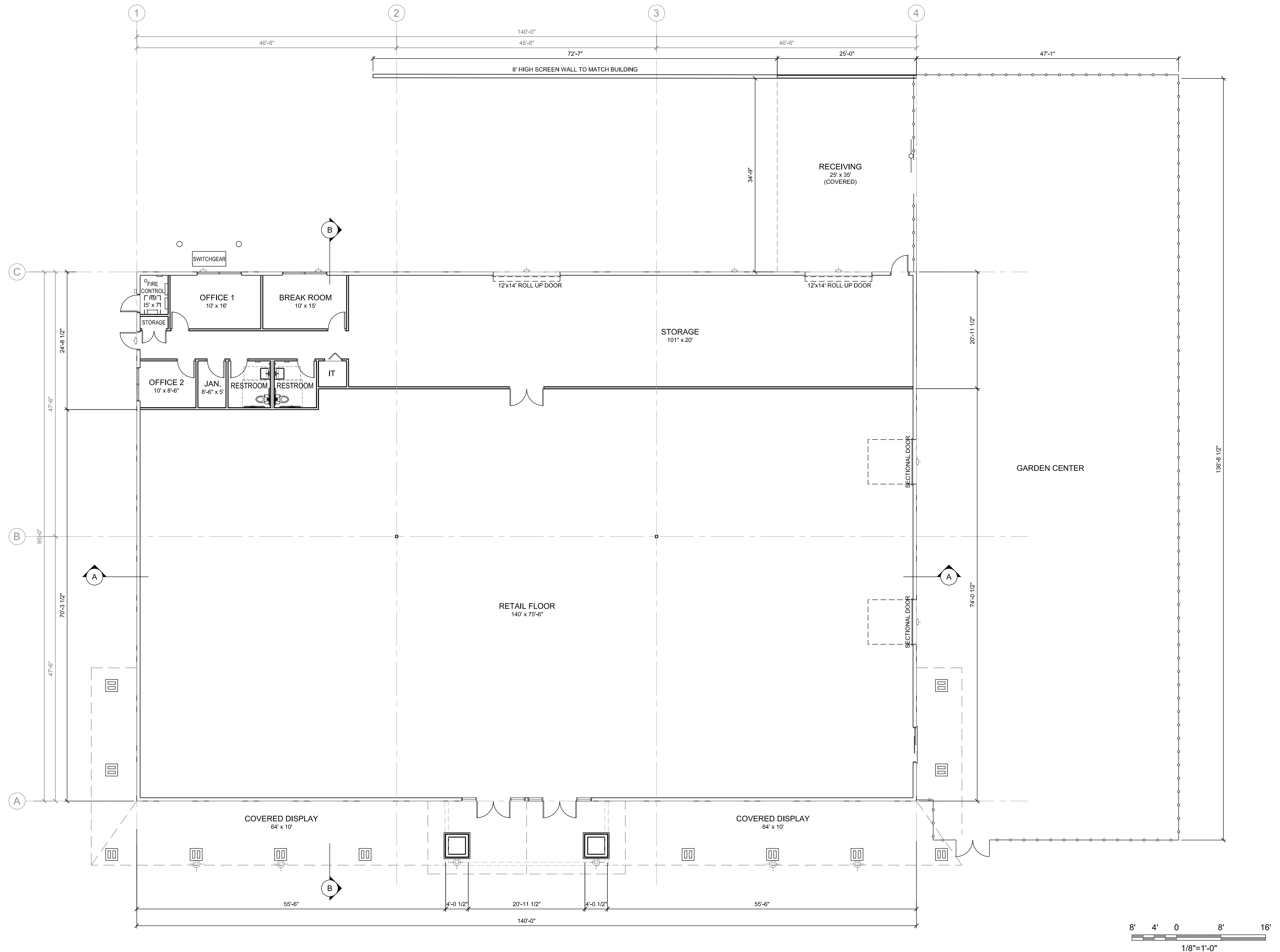
JOB NO. 17-0015-04

1. STORM DRAIN FACILITIES SHOWN FOR REFERENCE ONLY. SEE PRELIMINARY GRADING PLANS (SHEET 3) FOR DETAIL.
2. WATER AND FIRE SERVICE SIZING TO BE VERIFIED WITH BUILDING REQUIREMENTS.

AB	AGGREGATE BASE	LT	LEFT
AC	ASPHALTIC CONCRETE OR ACRÉ	MAX	MAXIMUM
BC	BEGIN HORIZONTAL CURVE	MH	MANHOLE
BLDG	BUILDING	MIN	MINIMUM
BM	BENCH MARK	NTS	NOT TO SCALE
BW	BOTTOM OF WALL	OH	OVERHEAD
BSBL	BUILDING SET BACK LINE	PB	PULL BOX
C	CURB AND GUTTER	PC	POINT OF COMPOUND CURVE
C.G&S	CURB, GUTTER AND SIDEWALK	PI	POINT OF INTERSECTION
CONC	CONCRETE	PL	PROPERTY LINE
CL, ☿	CENTERLINE	PP	POWER POLE
CO	CLEANOUT OR COUNTY	PRC	POINT OF REVERSE CURVE
CONST	CONSTRUCT	PT	POINT OF TANGENCY
COTG	CLEANOUT TO GRADE	PUE	PUBLIC UTILITY EASEMENT
CR	CURB RETURN	PYMT	PAVEMENT
△	INCLUDED ANGLE	R	RADIUS OR RIDGE
D	STORM DRAIN	RAD	RADIAL
DI	DRAIN INLET	RP	REDUCED PRESSURE BACKFLOW PREVENTER
DIA, Ø	DIAMETER	RT	RIGHT
DIP	DUCTILE IRON PIPE	R/W	RIGHT OF WAY
DMH	STORM DRAIN MANHOLE	S	SLOPE OR SEWER
DTL	DETAIL	SD	STORM DRAIN
DWG	DRAWING	SMH	SEWER MANHOLE
DWY	DRIVEWAY	SS	SANITARY SEWER
(E), EXIST	EXISTING	STA	STATION
EC	END HORIZONTAL CURVE	STD	STANDARD
EP	EDGE OF PAVEMENT	SW	SIDEWALK
ESMT	EASEMENT	TB	TOP OF BANK
FL, ☿	FLOWLINE	TC	TOP OF CURB
G	GAS	TEL	TELEPHONE
GB	GRADE BREAK	TEMP	TEMPORARY
GFL	GUTTER FLOWLINE	TMH	TELEPHONE MANHOLE
GR	INLET GRATE	TPH	TELEPHONE POLE
HGL	HYDRAULIC GRADE LINE	TRANS	TRANSITION
INTX	INTERSECTION	TS	TRAFFIC SIGNAL
INV	PIPE INVERT	TW	TOP OF WALL
IRR	IRRIGATION	TYP	TYPICAL
LENGTH	LENGTH	UG	UNDERGROUND
LIP	EDGE OF GUTTER PAN	W	WATER
LSCP	LANDSCAPE	WS	WATER SERVICE

EXISTING	PROPOSED	DESCRIPTION
		STORM DRAIN PIPE & SIZE
		SANITARY SEWER PIPE & SIZE
		DOMESTIC WATER PIPE & SIZE
		FIRE PROTECTION WATER PIPE & SIZE
		RECLAIMED WATER PIPE & SIZE
		CATV, TEL, ELEC, OR JOINT TRENCH
		MANHOLE
		DRAIN INLET
		SANITARY SEWER CLEANOUT
		VALVE
		FIRE HYDRANT
		BLOW OFF VALVE
		BUILDING FIRE SERVICE
		BUILDING WATER SERVICE
		RIDGE OR GRADE BREAK
		FLOWLINE OF SWALE
		FENCE
		4-WAY SIGNALIZED INTERSECTION



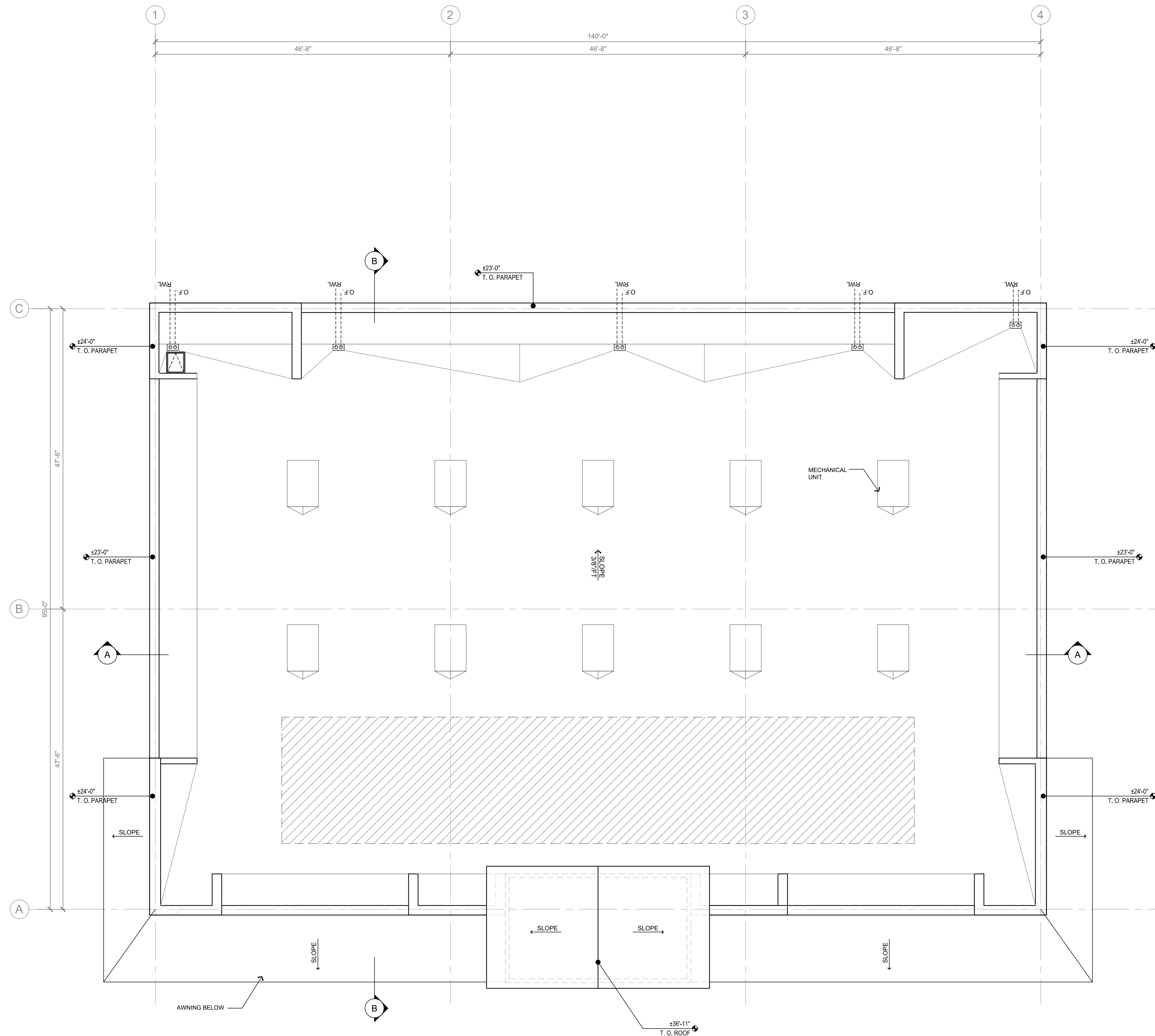


ACE HARDWARE FLOOR PLAN

SA-1.1



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ACE HARDWARE ROOF PLAN

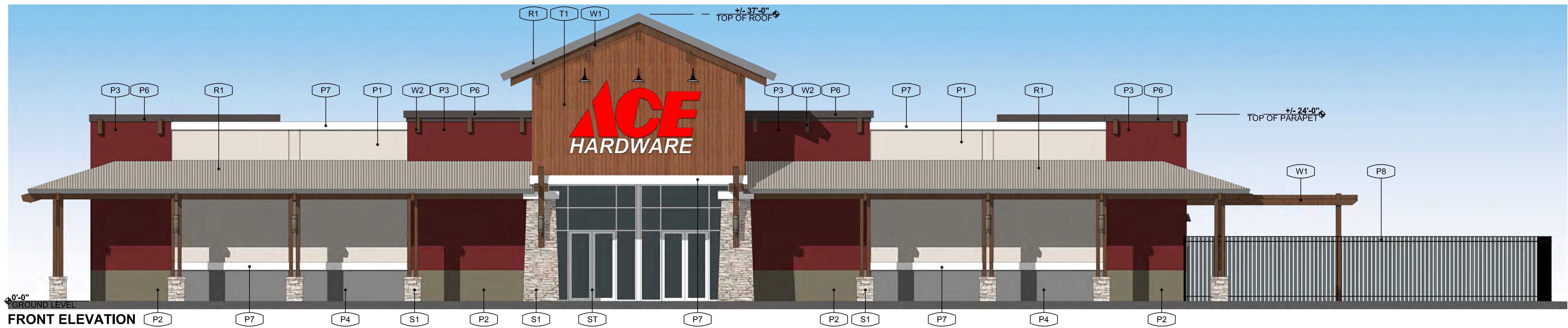
7890 PAINTED DESERT DRIVE, ROSEVILLE, CA 95747 19036-1

9/24/2021

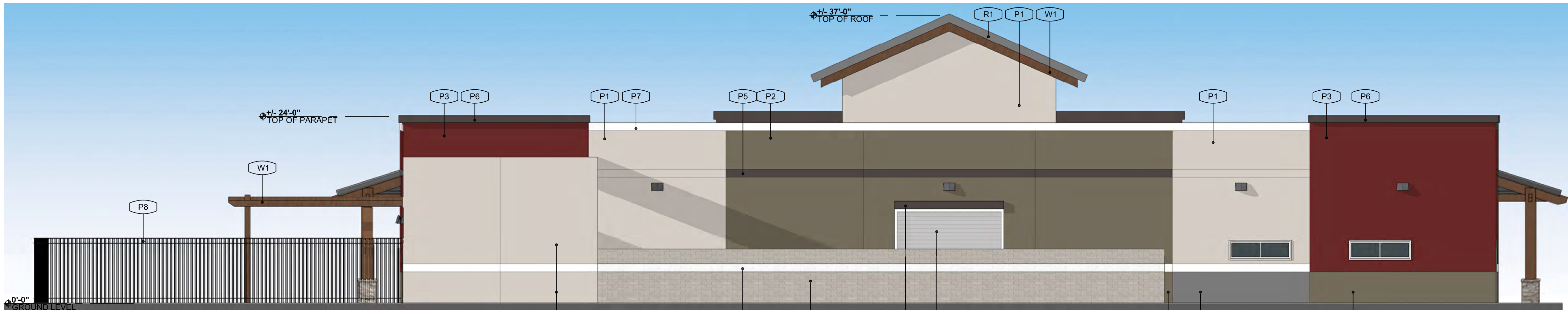
1478 STONE POINT DRIVE SUITE 350 ROSEVILLE, CA 95661 T | 916 782 7200 borgesarch.com

A-102

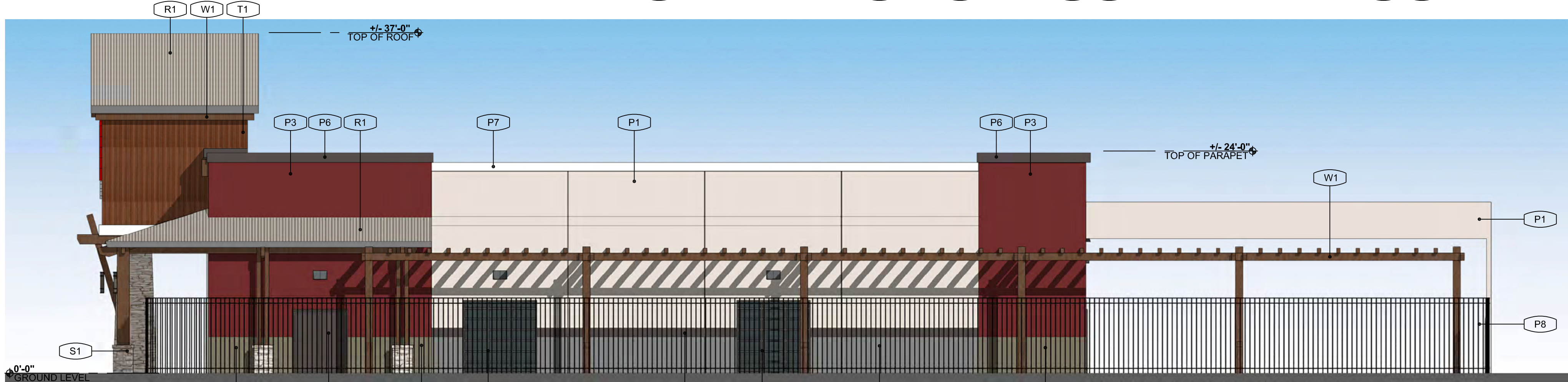
ARCHITECTURAL GROUP
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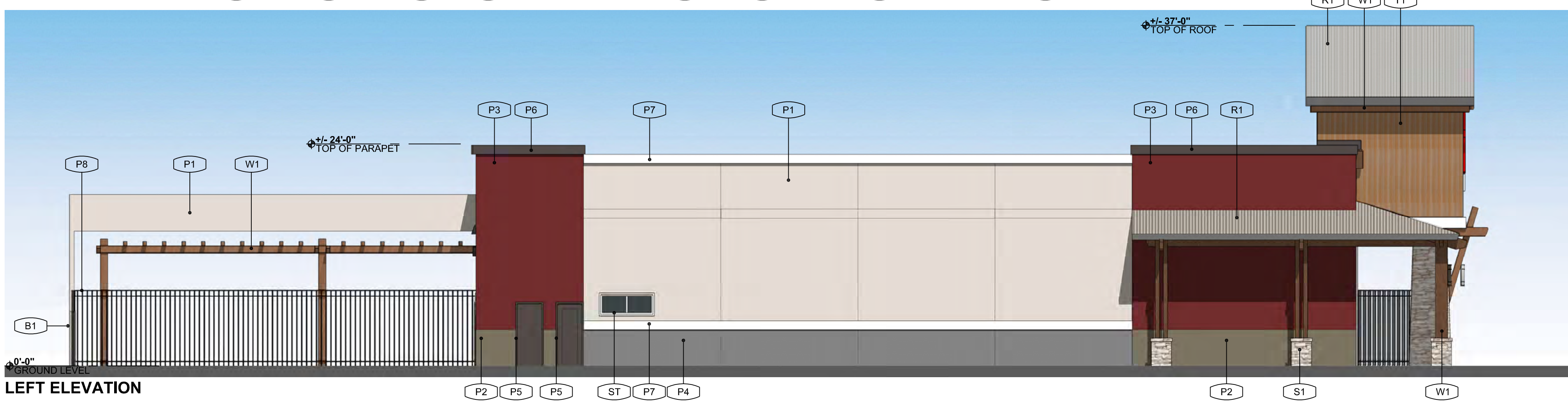
FRONT ELEVATION



BACK ELEVATION



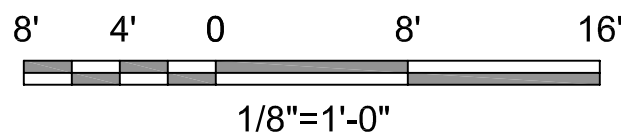
RIGHT ELEVATION



LEFT ELEVATION

MATERIAL LEGEND

	P1	STUCCO & CMU BLOCK DUNN EDWARDS DE 6211 LIGHT BEIGE
	P2	STUCCO DUNN EDWARDS DE 6223 MISSION TRAIL
	P3	STUCCO DUNN EDWARDS DET 425 ROYAL RED FLUSH
	P4	STUCCO DUNN EDWARDS DE 6376 LOOKING GLASS
	P5	STUCCO & SECTIONAL ROLL-UP DOOR FRAME DUNN EDWARDS DE 6392 MINK
	P6	TRIM DUNN EDWARDS DET 680 ESPRESSO MACCHIATO
	P7	STUCCO & SPLIT-FACED CMU BLOCK DUNN EDWARDS DEW 380 WARM WHITE
	P8	METAL FENCE BLACK
	P9	ROLL-UP DOOR SILVER
	T1	VENEER SIDING EMSER ALPINE CAFE, 6"x35" PLANK TILE
	W1	WOOD CLEAR COATED CEDAR
	S1	STACKED STONE WAINSCOT ELDORADO STONE - STACKED STONE, DRY CREEK
	ST	ALUMINUM STOREFRONT - ARCADIA 2" FACE STOREFRONT SYSTEM AG451T ANODIZED, CLEAR, AC-2
	R1	STANDING SEAM METAL ROOF & TRIM METAL SALES, IMAGE II WITH STRIATIONS, 12", OLD ZINC GREY (W29) PVDF



ACE HARDWARE EXTERIOR ELEVATIONS

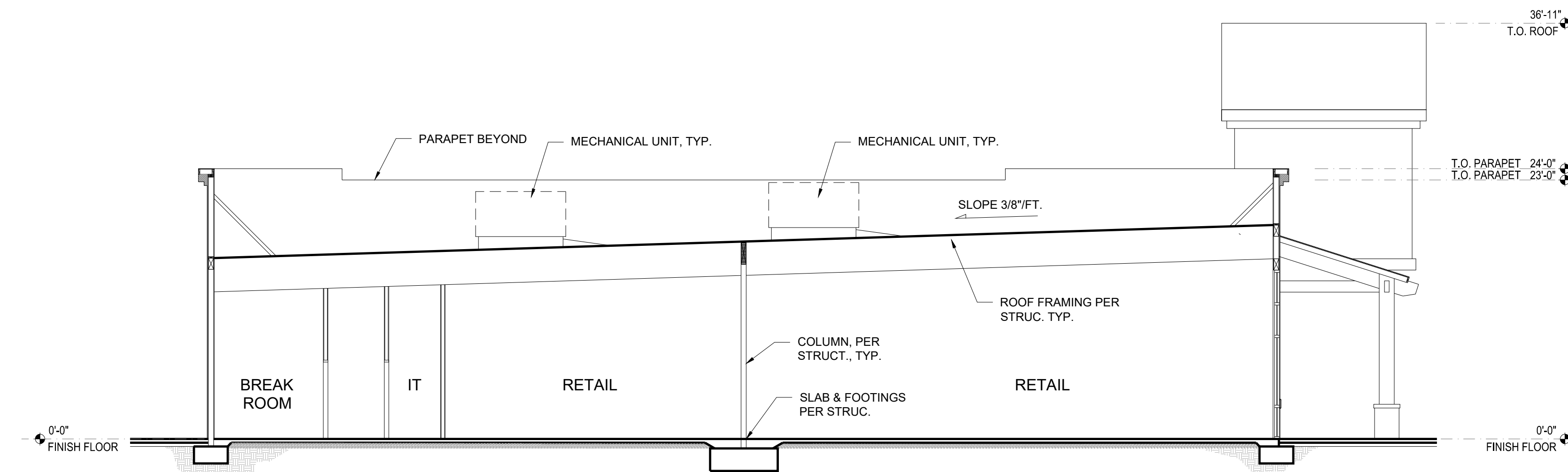
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10/27/2021

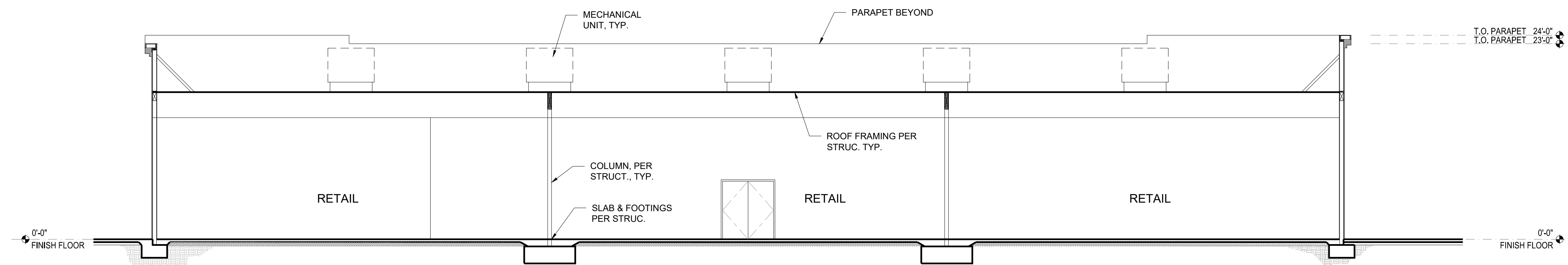
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SA-2.1

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BUILDING SECTION B-B
1/8"=1'-0"



BUILDING SECTION A-A
1/8"=1'-0"



1 EXTERIOR RENDERING 1



2 EXTERIOR RENDERING 2



3 EXTERIOR RENDERING 3



4 EXTERIOR RENDERING 4



5 EXTERIOR RENDERING 5



6 EXTERIOR RENDERING 6



7 EXTERIOR RENDERING 7

ACE HARDWARE PERSPECTIVES

7890 PAINTED DESERT DRIVE, ROSEVILLE, CA 95747 19036-1

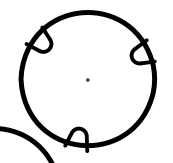
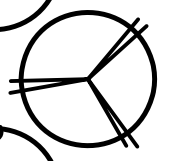
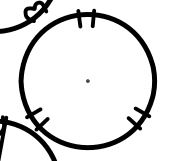
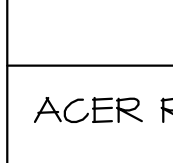
9/24/2021

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TREE SCHEDULE

TREES	CODE	QTY	BOTANICAL / COMMON NAME	SIZE	WUCOLS WATER USE
	ACE FRA	12	Acer rubrum 'Franksred' / Red Sunset Maple	24" box	MEDIUM
	CER OKL	5	Cercis canadensis 'Oklahoma' / Oklahoma Redbud	15 gal	LOW
	FRA RAY	13	Fraxinus angustifolia 'Raywood' / Narrow-leaved Ash	24" box	LOW
	KOE PAN	6	Koelreuteria paniculata / Golden Rain Tree	24" box	MEDIUM
	NYS SYL	13	Nyssa sylvatica / Tupelo	15 gal	MEDIUM
	PLA COL	4	Platanus x acerifolia 'Columbia' / London Plane Tree	24" box	MEDIUM

PARKING LOT SHADE CALCULATIONS - CITY OF ROSEVILLE

TREE	INTERIOR PLANTER 100%	SOUTH, EAST AND WEST 50%	CORNER AND NORTH 25%
ACER RUBRUM 'FRANKSRED'	NA	12 x (481)= 5,772 SF	NA
FRAXINUS ANGUSTIFOLIA 'RAYWOOD'	6 x (962)= 5,772 SF	7 x (481)= 3,367 SF	NA
NYSSA SYLVATICA	NA	11 x (354)= 3,894 SF	1 x (177)= 177 SF
PLATANUS X ACERIFOLIA 'COLUMBIA'	NA	4 x (481)= 1,924 SF	NA
SUBTOTALS:	5,772 SF	14,957 SF	177 SF

AREA OF PAVING SUBJECT TO SHADING REQUIREMENTS:	25,960 SF
AREA REQUIRED TO BE SHADED:	25,960 x 50% = 12,980 SF
TOTAL SHADE PROVIDED:	20,906 SF
SHADE PROVIDED EXCEEDS AMOUNT REQUIRED:	20,906 > 12,980 (80%)

PLANT PALETTE

SHRUBS	SIZE	WUCOLS	H. X W.
Callistemon viminalis 'Little John' / Weeping Bottlebrush	5 gal	LOW	5' X 3'
Cistus x pulverulentus 'Sunset' / Sunset Rockrose	5 gal	LOW	5' X 5'
Dietes vegeta / African Iris	5 gal	LOW	3' X 5'
Escallonia fradesii / Escallonia	5 gal	MEDIUM	3' X 5'
Grevillea x 'Noellii' / Noel Grevillea	5 gal	LOW	2' X 2'
Ilex crenata 'Stokes' / Stokes Japanese Holly	5 gal	LOW	3' X 3'
Olea europaea 'Little Ollie' / Little Ollie Olive	5 gal	LOW	4' X 5'
Prunus laurocerasus 'Otto Luyken' / Otto Luyken English Laurel	5 gal	MEDIUM	4' X 4'
Raphiolepis umbellata 'Minor' / Yedda Hawthorn	5 gal	LOW	4' X 4'
GRASSES	SIZE	WUCOLS	H. X W.
Calamagrostis x acutiflora 'Karl Foerster' / Karl Foerster Feather Reed Grass	1 gal	LOW	5' X 3'
Miscanthus sinensis 'Morning Light' / Eulalia Grass	1 gal	LOW	5' X 5'
Muhlenbergia capillaris 'Pink Cloud' / Pink Muhly Grass	1 gal	LOW	3' X 5'
Muhlenbergia rigens / Deer Grass	1 gal	LOW	3' X 5'
Pennisetum alopecuroides 'Burgundy Bunny' / Burgundy Bunny Dwarf Fountain Grass	1 gal	LOW	2' X 2'
Phormium x 'Amazing Red' / Amazing Red New Zealand Flax	1 gal	MEDIUM	3' X 3'
GROUND COVERS	SIZE	SPACING	WUCOLS
Cotoneaster dammeri 'Lowfast' / Lowfast Bearberry Cotoneaster	1 gal	48" o.c.	LOW
Juniperus conferta 'Compacta' / Shore Juniper	1 gal	36" o.c.	LOW
Water Quality Basin / Biofiltration Sod Blend	sod		

PLANTING STATEMENT

The proposed plant palette has been drawn from the Campus Oaks Town Center Preliminary Landscape Plan and consists of low and medium water use shrubs, groundcovers, trees, and ornamental grasses that are considered low maintenance and hardy. Placement of plants shall be guided by considerations of solar exposure and microclimate conditions of the site.

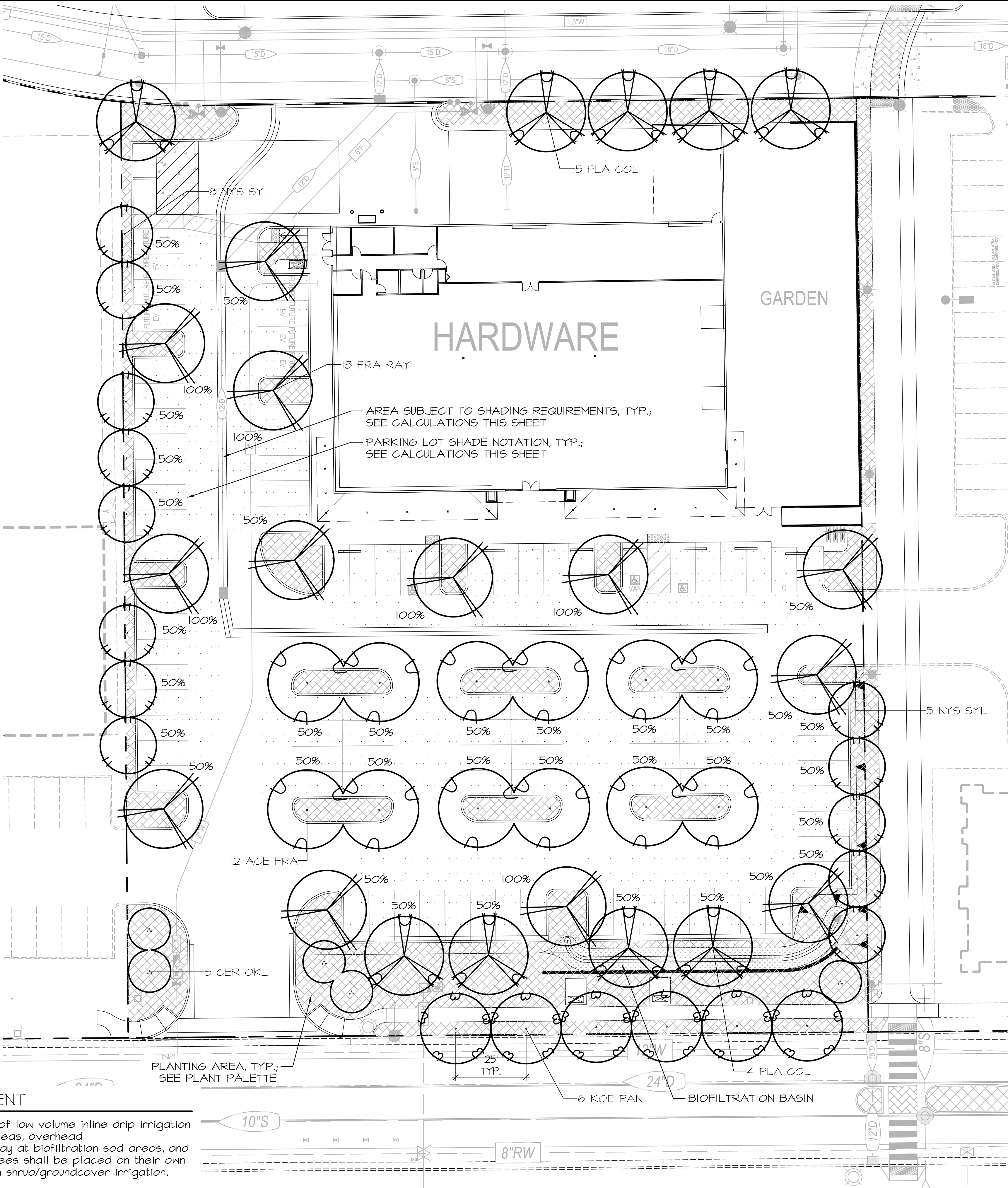
All landscape areas will be top dressed with a 3-inch depth of 'Walk On' bark mulch (no shredded Redwood).

Shrubs and groundcovers will be no less than 1-gallon size. Trees will be no less than 15-gallon size. Plant materials shall be spaced to provide substantial cover, but also to allow adequate room to mature into their natural form and ultimate size without requiring shearing.

IRRIGATION STATEMENT

The irrigation design will consist of low volume inline drip irrigation at all shrubs and groundcover areas, overhead low-precipitation-rate rotary spray at biofiltration sod areas, and surface bubblers at all trees. Trees shall be placed on their own irrigation stations, separate from shrub/groundcover irrigation.

The irrigation system will implement a smart irrigation controller. A weather sensor will be used to automatically adjust duration of application in accordance with recent weather conditions based on evapotranspiration. Maximum water allowance will be determined by State code. The irrigation design shall incorporate hydrozones by locating plants of different water needs into groups for ease of water application.





YAMASAKI
 LANDSCAPE ARCHITECTURE

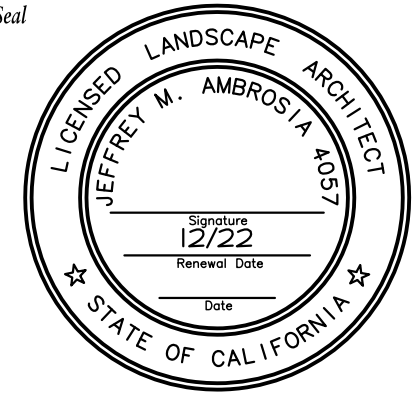
JEFF AMBROSIA, ASLA C4057

1223 HIGH STREET
 AUBURN, CALIFORNIA 95603
 (530) 885-0040
 FAX (530) 885-0042
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ACE HARDWARE - CAMPUS OAKS
 LANDSCAPE DEVELOPMENT PLANS
 7890 PAINTED DESERT DRIVE
 ROSEVILLE, CA 95747

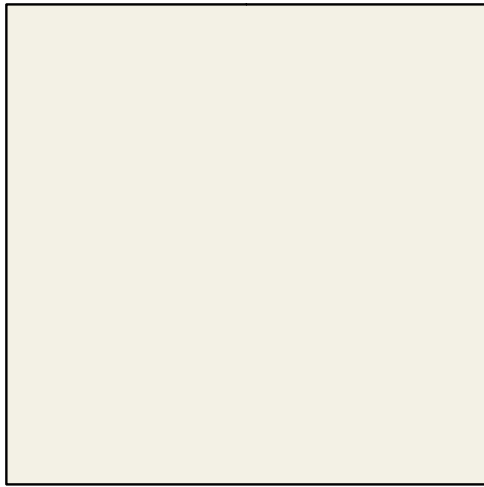
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Sheet Title
**PRELIMINARY
LANDSCAPE PLAN**

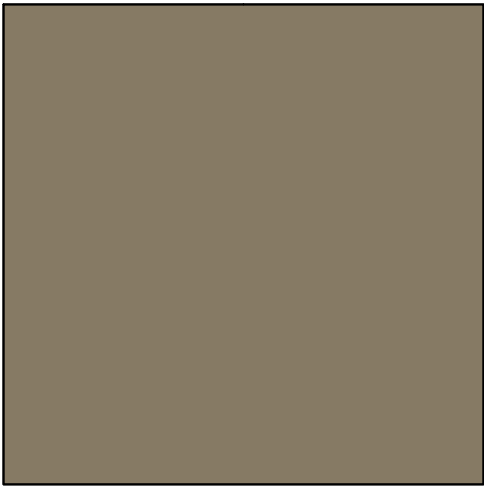


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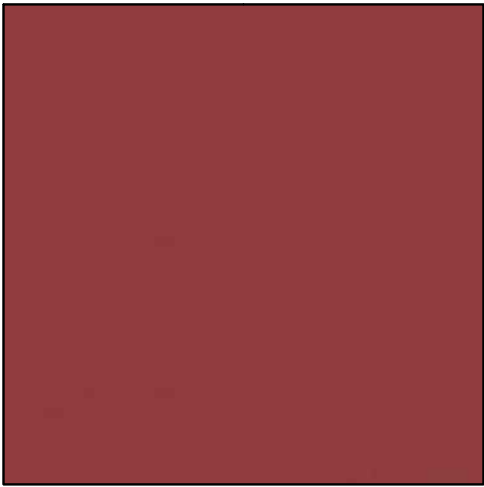
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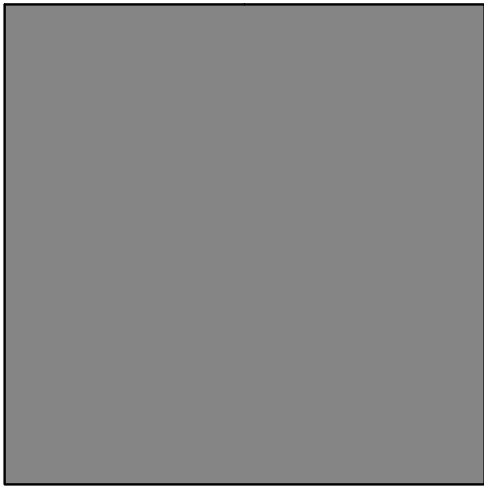
P1 STUCCO, CMU BLOCK
DUNN EDWARDS DE2100 LIGHT BEIGE



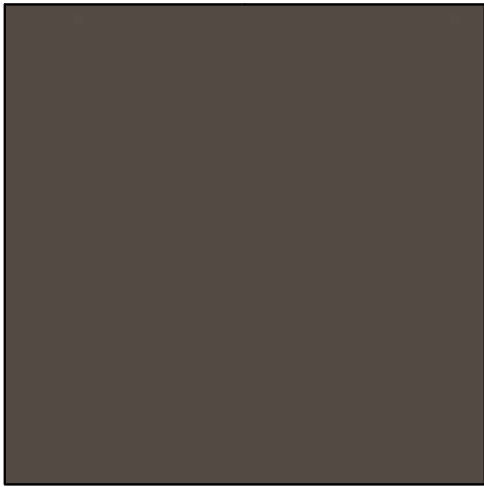
P2 STUCCO
DUNN EDWARDS DE6223 MISSION TRAIL



P3 STUCCO
DUNN EDWARDS DET425 ROYAL RED FLUSH



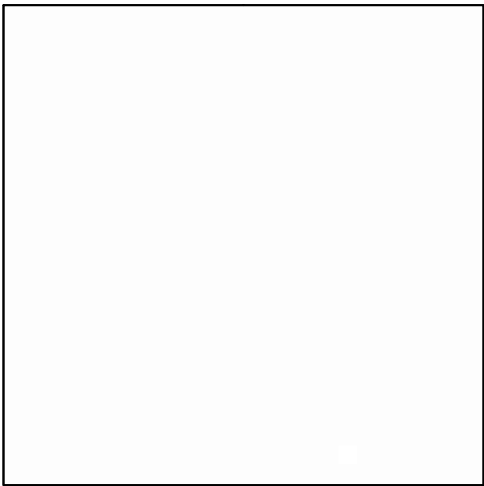
P4 STUCCO
DUNN EDWARDS DE6376 LOOKING GLASS



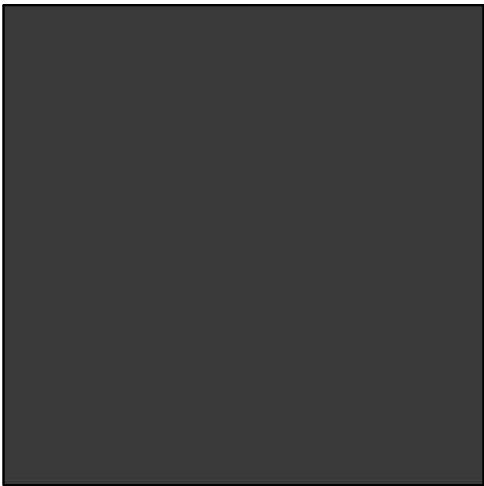
P5 STUCCO, SECTIONAL ROLL-UP DOOR FRAME
DUNN EDWARDS DE6392 MINK



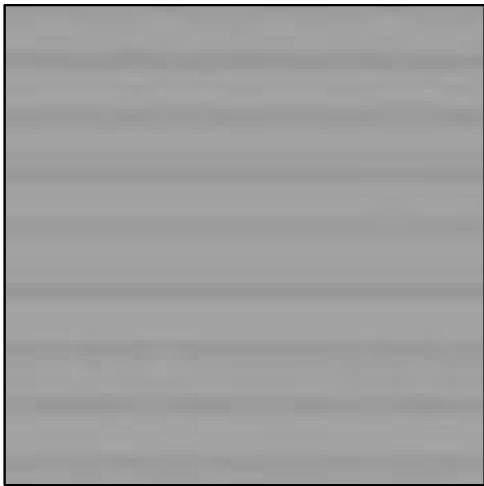
P6 TRIM
DUNN EDWARDS DET680 ESPRESSO
MACCHIATO



P7 STUCCO & SPLIT-FACED CMU WALL
DUNN EDWARDS DEW380 WARM WHITE



P8 METAL FENCE
BLACK



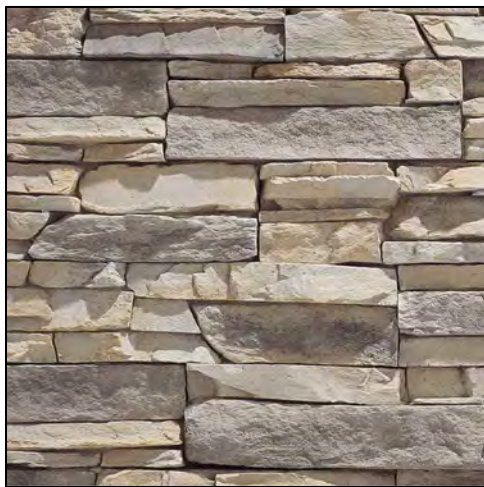
P9 ROLL-UP DOOR
SILVER



T1 VENEER SIDING
EMSER ALPINE CAFE, 6"X35" PLANK TILE
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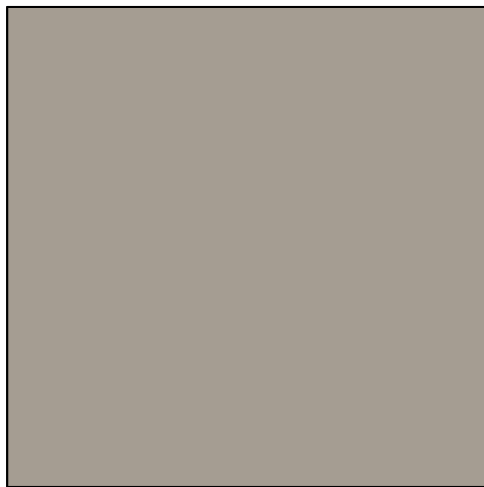
W1 WOOD
CLEAR COATED CEDAR



S1 STACKED STONE WAINSCOT
ELDORADO STONE



ST ALUMINUM STOREFRONT
ARCADIA 2" FACE STOREFRONT SYSTEM



R1 STANDING SEAM METAL ROOF & TRIM
METAL SALES, IMAGE II WITH STRIATIONS,

ACE HARDWARE MATERIAL BOARD