



MINUTES

December 20, 2018

DESIGN COMMITTEE
4:30 p.m.
Civic Center Meeting Room 1 & 2
311 Vernon Street
Roseville, California
www.roseville.ca.us

1. CALL TO ORDER

Chair Mendonsa called the meeting to order at 4:30pm.

2. ROLL CALL

Present: Mendonsa, Motroni, Wesp

3. CONSENT CALENDAR

3.1. Minutes of April 19, 2018

Committee Member Wesp notated that the statement "the lack of grass is not a deviation from the current landscaping" in the April 19, 2018 minutes was a concession.

4. REQUESTS/PRESENTATIONS

4.1. Design Review Permit – 1260 Pleasant Grove Blvd. – NWRSP PCL 11A Artis Senior Living Facility – File # PL18-0286

REQUEST

The applicant requests approval of a Design Review Permit to allow the construction of a 37,287-square foot, 72-bed memory care senior living facility, as well as new parking, landscaping, and site lighting, on Parcel 11A in the Northwest Roseville Specific Plan area.

Applicant: Jason Erb, Artis Senior Living, LLC. *Owner:* Peter P. Bollinger Investment Company.

RECOMMENDATION

The Planning Division recommends that the Design Committee take the following actions:

A. Consider the Addendum to the Breton Village Mitigated Negative

Declaration.

- B. Adopt the four (4) findings of fact and approve the Design Review Permit subject to ninety-four (94) conditions of approval.

Associate Planner, Shelby Vockel, presented the staff report.

Chair Mendonsa invited questions from the committee members.

Committee Discussion:

- Addendum to EIR.
- Like the building design.
- What will be in Parcel 11B?
- What about project from prior plans?
- Will this be tied into single family homes?
- Landscaping in front of the building, will there be enough?
- Will there be enough landscaping along Pleasant Grove Blvd.?
- Will the grass in the basin be green all year?
- Will the grass be green all the way down the corridor, near AM/PM?

Chair Mendonsa opened the public hearing and invited comments from the applicant and/or audience.

Joey Daggett, representing Gateway Engineering, stated he had received a copy of the staff report and was in agreement with the staff's recommendations. He confirmed that different types of grass can be used. Additionally, there will be a 50-foot landscape setback.

Rick Bell, representing Artis Senior Living, stated he was excited to bring the project to the City.

Chair Mendonsa opened public comment. Hearing none, Chair Mendonsa closed public comment.

Chair Mendonsa invited questions and comments from the committee members.

Committee Discussion:

- Good project.
- A good use of the corner.
- Like the ability to be flexible with the landscaping.
- Is it possible to have the landscaping more turf-like?

Chair Mendonsa closed the public hearing.

5. BOARD MEMBER / COMMISSIONER / STAFF REPORT

Staff Reports

- There will not be a Design Committee meeting in January of 2019. However, there will be a meeting in February of 2019.
- Jodie Munson, Office Assistant, and Shelby Vockel, Associate Planner, were introduced to the Design Committee.
- Appreciation was extended to Committee Member Mike Motroni for his

years of service on the Design Committee.

Committee Reports

- Committee Member Mike Motroni extended his appreciation for the opportunity to have served on the Design Committee for the past eight years.

6. PUBLIC COMMENTS

Chair Mendonsa opened the Oral Communication period. Hearing none, Chair Mendonsa closed the Oral Communication period.

7. ADJOURNMENT

Motion by Daniel Wesp, seconded by Mike Motroni, to adjourn the meeting. The Motion Passed unanimously at 4:53pm with a voice vote.



DESIGN COMMITTEE COMMUNICATION

Title: meeting heading

Contact:

Meeting Date: 12/20/2018

Item #: 01.



DESIGN COMMITTEE COMMUNICATION

Title: Minutes of April 19, 2018

Contact:

Meeting Date: 12/20/2018

Item #: 3.1.

ATTACHMENTS:

Description

[Minutes of April 19, 2018](#)



Design Committee Meeting April 19, 2018 – 4:30 p.m. Draft Minutes

1. CALL TO ORDER

The meeting was called to order at 4:44 p.m. *Chair Mendonsa waited to begin the meeting until the representative for the Sullivan Administration Building project, File # PL17-0284, could be in attendance.*

2. ROLL CALL – SILENT

Committee Members Present

Tracy Mendonsa, Chair
Michael Motroni, Vice-Chair
Daniel Wesp

Staff Present

Derek Ogden, Senior Planner
Lauren Hocker, Associate Planner
Marc Stout, City Engineer
Michael Christensen, Deputy City Attorney II
Lupe Nelson, Recording Secretary

3. CONSENT CALENDAR

Chair Mendonsa asked if anyone wished to remove any of the items from the Consent Calendar for discussion. Hearing none, Chair Mendonsa asked for a motion to approve the Consent Calendar as listed below:

A. MINUTES OF MARCH 15, 2018

MOTION

Committee Member Wesp made the motion, which was seconded by Chair Mendonsa, to approve the Consent Calendar item as submitted.

The motion passed with the following vote:

Ayes: Wesp, Mendonsa
Noes: None
Abstain: Motroni

4. NEW BUSINESS

A. INFILL PCL 191 – SULLIVAN ADMINISTRATION BUILDING – 125 SUNRISE AVE – FILE # PL17-0284.

Associate Planner, Lauren Hocker, presented the staff report and responded to questions.

Chair Mendonsa opened the public hearing and invited comments from the applicant and/or audience.

Applicant, Mal Montoya, Borges Architectural Group, addressed the Committee stating he had received a copy of the staff report and was in agreement with staff's recommendations.

Lydia Simmonette and Lucy spoke.

Public Comment:

- What is the estimated number of people that will be working at the site?
- Where does the additional acreage for the project come from?

Committee Discussion:

- Approve of the architecture of the building.
- Building architecture is similar to existing buildings.
- Site will be an improvement to Douglas Boulevard.
- Appreciate the increase of green landscaping along Douglas Boulevard.
- The lack of grass is not a deviation from current landscaping.
- The site is visible to visitors entering Roseville.

Chair Mendonsa closed the public hearing and asked for a motion.

MOTION

Committee Member Motroni made the motion, which was seconded by Committee Member Wesp, to adopt the four (4) findings of fact and approve the Design Review Permit subject to seventy-six (76) conditions of approval; and, adopt the four (4) findings of fact and approve the Lot Line Adjustment subject to twelve (12) conditions of approval.

The motion passed with the following vote:

Ayes: Motroni, Wesp, Mendonsa

Noes: None

Abstain: None

5. REPORTS/COMMISSION/STAFF

Staff Reports

- Charity Gold, Associate Planner, was introduced to the Committee.

Committee Reports

- Water Efficient Landscaping Ordinance discussion.
- Is it possible to add turf to medium strips?
- An effort should be made that similar buildings have similar landscaping.
- Is it possible to use recycled water in older areas of Roseville?
- Does the City sell recycled water?
- Although WELO allows for grass, we are seeing an elimination of grass.

6. ORAL COMMUNICATIONS

Chair Mendonsa opened the Oral Communication period. Hearing none, Chair Mendonsa closed the Oral Communication period.

7. ADJOURNMENT

Chair Mendonsa asked for a motion to adjourn the meeting.

MOTION

Committee member Wesp made the motion, which was seconded by Committee member Motroni, to adjourn the meeting.

The motion passed unanimously at 5:06 p.m.



DESIGN COMMITTEE COMMUNICATION

Title:	Design Review Permit – 1260 Pleasant Grove Blvd. – NWRSP PCL 11A Artis Senior Living Facility – File # PL18-0286
Contact:	Shelby Vockel svockel@roseville.ca.us (916) 746-1347

Meeting Date: 12/20/2018
Item #: 4.1.

ATTACHMENTS:

Description

[Staff Report](#)

[Attachment 1 Addendum to Parcel 11 Breton Village Mitigated Negative Declaration](#)

[Attachment 2 Mitigation Monitoring and Reporting Program for Breton Village](#)

[Attachment 3 Artis Senior Living - Development Proposal](#)

[Exhibit A Architectural Site Plan](#)

[Exhibit B First Floor Plan](#)

[Exhibit C Building Color Elevations](#)

[Exhibit D Roof Plan and Details](#)

[Exhibit E Dumpster and Generator Enclosure Elevations](#)

[Exhibit F Dimension Control Plan](#)

[Exhibit G Engineering Cover Sheet](#)

[Exhibit H Stormwater Management Plan](#)

[Exhibit I Erosion Control and Construction Details](#)

[Exhibit J Grading Plan](#)

[Exhibit K Utility Plan](#)

[Exhibit L Fire Truck Turn Radius](#)

[Exhibit M Life Safety Plans and Building Data](#)

[Exhibit N Irrigation Plans](#)

[Exhibit O Preliminary Landscape Plans](#)



***Planning Division Staff Report
Design Committee Meeting***

December 20, 2018

Prepared by: Shelby Vockel, Associate Planner

ITEM 4-A: Design Review Permit – 1260 Pleasant Grove Blvd – NWRSP PCL 11A Artis Senior Living Facility – File #PL18-0286

REQUEST

The applicant requests approval of a Design Review Permit to allow the construction of a 37,287-square foot, 72-bed memory care senior living facility, as well as new parking, landscaping, and site lighting, on Parcel 11A in the Northwest Roseville Specific Plan area.

Applicant – Jason Erb, Artis Senior Living, LLC
Owner – Peter P. Bollinger Investment Company

SUMMARY RECOMMENDATION

The Planning Division recommends that the Design Committee take the following actions:

- A. Consider the Addendum to the Breton Village Mitigated Negative Declaration.
- B. Adopt the four (4) findings of fact and approve the Design Review Permit subject to ninety-four (94) conditions of approval.

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with the recommended conditions of approval.

BACKGROUND

The project site is located on the northwest corner of Foothills Boulevard and Pleasant Grove Boulevard in the Northwest Roseville Specific Plan (NWRSP) area. The vacant site has an area of approximately 3.93 acres and is identified as Parcel 11A in the NWRSP.

The subject parcel, as well as adjacent Parcel 11B, has several previously approved Design Review Permits which are now expired. On May 26, 2005, the Planning Commission approved a request for two Design Review Permits (DRP 04-41 and DRP 04-42) and a Tentative Subdivision Map (SUB04-19) for Parcels 11A and 11B. DRP 04-41 and SUB 04-19 approved development standards and allowed for the subdivision of 53 single-family residential lots on the interior parcel, 11B. DRP 04-42 allowed development of two commercial buildings on the subject parcel (11A) totaling 30,140 square feet, with landscaping, lighting, and parking. The two projects were designed to complement each other, including pedestrian pathways from the residential portion of Breton Village leading to a plaza in the commercial development, as well as interior drive aisles connecting the two sites. However, due to market conditions, construction was delayed. On May 11, 2007, the applicant requested a one-year extension of time for DRP 04-41, 04-42, and SUB 04-19. The extension request was approved on June 20, 2007, and no further extension was permitted by the Zoning Ordinance.

In November of 2008, following the expiration of the extension, the applicant reapplied for all entitlements required to develop the 53-unit single-family residential development and the commercial development. This request was approved by the Planning Commission on February 26, 2009; however, neither development was ever constructed and the Design Review entitlements for both portions expired. The

subdivision map for the residential portion of the project was extended through several legislative actions, and a final map is currently in review with the City's Engineering Division.

To date, site improvements including underground utilities, curb, sidewalk, and gutter have been constructed for the residential subdivision on Parcel 11B, and the commercial site (Parcel 11A) has been rough graded. The current request is only for the development of Parcel 11A.

The project proposes the construction of a 37,287-square foot senior living facility on 3.93 acres in the CC/SA-NW (Commercial) zone. Under the City of Roseville Zoning Ordinance, the use is classified as a Long Term Care Facility. The facility contains 72-memory care units, held within four separate wings or "neighborhoods". Each neighborhood provides separate communal facilities for 16-20 residents. The project also proposes a parking area with 55 spaces, accessible via two driveway entries (one from Pleasant Grove Boulevard and one from Foothills Boulevard). Additionally, along the Foothills Boulevard side of the project, a trash and generator enclosure is proposed. Landscaping, pedestrian paths, and site lighting are proposed throughout the plan area.

SITE INFORMATION

Location: 1260 Pleasant Grove Boulevard

Total Size: 3.93 acres

Topography and Setting: The project site is currently vacant and is bordered by Parcel 11B to the north and west. At present, Parcel 11B has been developed with roadways, underground utilities, curb, gutter, and sidewalk, though no residences have been constructed. The subject parcel is undeveloped with the exception of two constructed driveways, one on Pleasant Grove Boulevard and one on Foothills Boulevard. The site is otherwise characterized by dirt and some non-native annual grasses. There are no natural resources present onsite such as oak trees, vernal pools, or seasonal wetlands.



EVALUATION

Section 19.78.060 of the City of Roseville Zoning Ordinance requires that three findings be made in order to approve or conditionally approve a Design Review Permit. The three findings are listed below in ***italicized, bold*** text and are followed by an evaluation of the map in relation to each finding.

- 1. The project as approved preserves and accentuates the natural features of the property, such as open space, topography, trees, wetlands, and water courses, provides adequate drainage for the project, and allows beneficial use to be made of the site for development.***

The project site is currently undeveloped; however, there are no natural features present on site. The property is devoid of trees, vernal pools, or other water features. The site shows evidence of previous disking, and is primarily populated by non-native annual grasses and dirt. The proposed project has been reviewed by the City's Engineering Division, and improvement plans are required to ensure that adequate drainage and Stormwater quality facilities are constructed. The proposed project is an infill project that will develop an underutilized corner of the intersection, and the use will provide a service to the community.

2. The project site design as approved provides open space; access; vehicle parking; vehicle, pedestrian, and bicycle circulation; pedestrian walks and links to alternative modes of transportation; loading areas; landscaping, irrigation, and lighting which results in a safe, efficient, and harmonious development; and which is consistent with the applicable goals, policies, and objectives set forth in the General Plan, the Community Design Guidelines, and the applicable Specific Plan and/or applicable design guidelines.

Parking and Vehicular Circulation: The Zoning Ordinance establishes minimum parking requirements based on use type in Section 19.26.030. For long term care facilities, the minimum requirement is one parking space per three employees for the largest shift, plus one parking space per every three beds. According to the applicant, the largest shift upon full occupancy will be comprised of 26 employees, between the hours of 7 a.m. and 3 p.m. (Attachment 1). There are a total of 72 beds for residents within the proposed facility. Therefore, nine employee parking spaces and 24 additional parking spaces are required. The proposed site plan includes a total of 55 parking spaces, which exceeds the minimum requirement of 33 spaces. The project complies with the Zoning Ordinance parking requirement.

The project as proposed will utilize two existing driveways that have already been constructed on the site. The primary entrance to the project site is the access along Pleasant Grove Boulevard, with a secondary driveway accessed from Foothills Boulevard. Both driveways have been constructed to comply with City standards, and with Community Design Guideline policy CC-31. The drive aisle connecting the Foothills Boulevard driveway to the internal parking area is curved, and consistent with policy CC-28, will minimize speeding within the project area by design. Additionally, it is noted that the current proposal eliminates two internal access points to the parcel that were approved with the former Breton Village application; however, these access points are no longer desirable due to the requested change in use. New landscaping will be installed adjacent to areas that would have been connected to existing pavement on Parcel 11B. Vehicular circulation within the project site is consistent with the standards outlined in the Community Design Guidelines for commercial development.

Pedestrian Circulation: Due to the nature of the use, pedestrian circulation is intentionally restricted within the project. The proposed senior living facility will serve memory care patients, who may be suffering from dementia or related diseases. For the safety of these residents, security is an essential element of project design. The perimeter of the project site will be fenced and locked for the security and safety of the residents, and pedestrian access will be controlled through the front doors of the facility. Within the fenced area of the facility, walking paths are designed for the use of the residents and their visitors. There are also two controlled courtyard areas with additional walking paths and seating areas. The public sidewalk is the only pedestrian connection on the exterior of the facility. Therefore, the use meets the intent of Community Design Guidelines regarding pedestrian circulation, despite a lack of connectivity between the project and the surrounding neighborhood.

Landscaping, Open Space, and Site Lighting: The Northwest Roseville Specific Plan contains Landscape Design Guidelines for species and planting within NWRSP area. The Landscape Design Guidelines provide standards for both Foothills Boulevard and Pleasant Grove Boulevard adjacent to the project site, requiring a landscape easement of 50 feet on both street sides. The Guidelines also require specific street trees along Parcel 11, including Red Oak along Foothills Boulevard and Interior Live Oak on

Pleasant Grove Boulevard. The project plans reflect these requirements. It is noted that both Foothills Boulevard and Pleasant Grove Boulevard require an eight-foot-wide, meandering bicycle and pedestrian path; however, the sidewalk along both roadways has already been installed and the existing condition will be maintained by the proposed development. The preliminary landscape plans provided are generally consistent with the Landscape Design Guidelines for the NWRSP.

The project site is designed to provide secure, usable open spaces for the residents of the facility. As discussed in the Pedestrian Circulation section of this report, the site plan includes landscaped walking paths along the north, east, and west sides of the facility, connecting to the main building through the main activity areas of each “neighborhood”. Access is restricted by secured gates to the facility’s parking area. Additionally, two interior courtyards also provide outdoor access to the residents, with benches, maintained paths, and pedestrian-scale lighting bollards provided for their use. The project proposes an eight-foot tall, solid fence, for the safety and security of the residents.

Despite the commercial nature of the facility, the design replicates a residential environment for the comfort of the residents. Path lighting along the north, east, and western sides of the facility will be provided by 33-inch tall bollards, consistent with Community Design Guidelines policies CC-80 and CC-85 for pedestrian-scale lighting. Additionally, pole lights with a maximum height of 7.5 feet are shown on the site plan to provide illumination throughout the site. Lighting for pedestrian paths should maintain minimum illumination levels of 0.5 footcandles at the walking surface for pedestrian safety (CC-91). The pedestrian-scale lighting within the site also minimizes the potential for compatibility conflicts with the surrounding residential uses. Although single-family residences abut the property to the north, west, and east, the pole lights internal to the site will be shorter than the proposed exterior fencing, which is shown as eight feet in height.

Staff finds that the landscaping, open space, and site lighting proposed for the project provide a safe, livable environment for future residents of the Artis Senior Living facility, while maintaining compatibility with future adjacent residential uses.

3. The building design, including the materials, colors, height, bulk, size, and relief, and the arrangement of the structures on the site, as approved, is harmonious with other development and buildings in the vicinity and which is consistent with the applicable goals, policies, and objectives set forth in the General Plan, the Community Design Guidelines, and the applicable Specific Plan and/or applicable design guidelines.

The project site is located on the northwest corner of the intersection of Pleasant Grove Boulevard and Foothills Boulevard, and has a commercial zoning designation (CC/SA-NW). The southeast and southwest corners are also zoned for commercial uses and are developed with a shopping center (southeast corner) and a gas station (southwest corner). Both corners house smaller scale commercial uses, approximately one to two stories in height. The parcel on the northeast corner of the intersection is zoned M1 for industrial uses, and is part of the City’s North Industrial Plan Area. The proposed senior living facility is located immediately adjacent to a high density residential zone (R3) to the north and the west. As discussed above, Parcel 11B is the residential portion of the former Breton Village project with a valid tentative subdivision map for 53 single-family residential lot, although all previously approved Design Review entitlements for Parcel 11B have expired.

Although the subject parcel is within a commercial zoning district (CC/SA-NW) and is classified as a commercial use, the project is intended to feel “residential” in scale and design. The building is a single story and reaches a maximum roof ridge height of approximately 20.5 feet, with variations in roof height and pitch that resemble an American Craftsman-style house. The color scheme uses muted earth tones, including fiber cement siding in shades of grey and brown, naturalistic stone veneer along the base of the building, and a standing seam metal roof in “Colonial Red”. The facility accommodates 72 units, with

the floorplan dividing the residents into four separate “neighborhoods”. Each wing has their own living room, den, residential kitchen, and dining room. The site also includes large open space areas with dense landscaping, minimizing the visual appearance of the building from the roadways and providing a residential-like living environment for the residents of the facility. Given that there is no active Design Review entitlement associated with the nearby Breton Village residential (Parcel 11B), architectural styles cannot be compared. However, with the variety of roof forms, wall planes, texture materials, and landscaping, as well as a massing and scale that is generally consistent with residential development, the project is consistent with the intent of the Community Design Guidelines for architecture.

4. The design of the public services, as approved, including but not limited to, trash enclosures and service equipment, are located so as not to detract from the appearance of the site, and are screened appropriately and effectively using construction materials, colors, and landscaping that are harmonious with the site and the building designs.

The Community Design Guidelines provide standards for the screening and compatibility of service areas within a commercial project site. The proposed project includes a trash enclosure and housing for an emergency generator on the east (Foothills Boulevard) side of the site. Design Guideline Policy CC-37 states that refuse containers shall be placed within a screened storage area that is designed to be consistent with and complimentary to the larger design scheme of the project site. The enclosure is designed to complement the facility’s main building, incorporating the manufactured stone veneer to cover the exterior, and the overall height of the enclosure is approximately eight feet. Neither the refuse containers nor the generator within the enclosure will be visible from the public right-of-way. Additionally, Policy CC-38 states that a perimeter planting area should be a minimum of five feet wide to provide screening. The enclosure is screened from Foothills Boulevard by vegetation, including trees and large shrubs, in a planter that at its narrowest point is approximately 12 feet wide. The trash and generator enclosure is consistent with the Community Design Guidelines standards for service areas.

The mechanical equipment for the main building is roof-mounted, and will be located within a well to screen the equipment from view.

PUBLIC OUTREACH

On October 23, 2018, the applicant team held a neighborhood meeting with the Pleasant Grove Neighborhood Association to share the plans for the proposed project. Approximately 30 members of the public attended the meeting. The applicants responded to a number of questions regarding the operation, including the frequency of food deliveries and waste pick-up, the number of monthly ambulance trips, and cost of residency. Additional questions were asked regarding proposed site lighting and security measures, as well as construction schedule. Planning staff observed a generally positive response to the proposed project, which the applicant presented as a less intensive use than the previously approved commercial and retail development.

In addition to the neighborhood meeting, the proposed project was distributed to the various agencies and departments which have requested notice of City applications, and all comments were considered and incorporated into the Conditions of Approval, as appropriate. Notice of the application was also distributed to the Roseville Coalition of Neighborhood Associations. A public notice of the Design Committee hearing was published on December 7, 2018, and was distributed to all property owners within 300 feet of the project site. To date, no comments have been received.

CONCLUSION

As proposed and conditioned, the project complies with applicable development standards of the City's Zoning Ordinance, the Northwest Roseville Specific Plan, and the Community Design Guidelines; therefore, the above findings can be made.

ENVIRONMENTAL DETERMINATION

An Addendum to the Mitigated Negative Declaration for NWRSP Parcel 11, Breton Village (File #2008PL-072, Project # DRP-000284, DRP-000285, SUB-000132) has been prepared consistent with California Environmental Quality Act Section 15164. No new environmental impacts are anticipated as a result of the proposed project.

RECOMMENDATION

The Planning Division recommends the Design Committee take the following actions:

- A. Consider the Addendum to the Breton Village Mitigated Negative Declaration.
- B. Adopt the findings of fact as stated in the staff report and approve the **DESIGN REVIEW PERMIT – 1260 PLEASANT GROVE BLVD – NWRSP PCL 11A ARTIS SENIOR LIVING FACILITY– File #P18-0276** subject to ninety-four (94) conditions of approval.

CONDITIONS OF APPROVAL FOR THE DESIGN REVIEW PERMIT (PL18-0276)

1. This Design Review Permit approval shall be effectuated within a period of two (2) years from **December 20, 2018** and if not effectuated shall expire on **December 20, 2020**. Prior to said expiration date, the applicant may apply for an extension of time, provided this approval does not extend the expiration beyond **December 20, 2021**. (Planning)
2. The project is approved as shown in Exhibits A-O and as conditioned or modified below. (Planning)
3. The project shall comply with all required environmental mitigation identified in Northwest Roseville Specific Plan EIR and the NWRSP Breton Village Mitigated Negative Declaration and shall include all applicable mitigation measures as notes on the grading plans. (All Departments)
4. A minimum 6-foot high masonry wall shall be provided on the project boundary adjacent to Parcel 11B, consistent with Community Design Guidelines policy CC-12. A mutually agreeable alternative may be negotiated between the project proponent and the City of Roseville Planning Division prior to issuance of building permits. Only high quality, durable fencing materials will be considered as alternatives. No wood or vinyl fencing will be permitted.
5. The project shall be addressed as 1260 Pleasant Grove Blvd. All projects with multi-tenants or buildings must submit a digital Unit Addressing Plan for approval prior to (or concurrent with) initial submittal of building plans for plan review. Email pdf to: smiller@roseville.ca.us. See City of Roseville Addressing Guidelines; use guidelines for Hotel addressing, page 13.
6. The applicant shall pay City's actual costs for providing plan check, mapping, GIS, and inspection services. This may be a combination of staff costs and direct billing for contract professional services. Project billing may occur up to two (2) months after the end of warranty or the Notice of Termination date for the SWPPP, whichever occurs later. (Engineering, Environmental Utilities, Electric, Finance)

7. The design and construction of all improvements shall conform to the Design and Construction Standards of the City of Roseville, or as modified by these conditions of approval, or as directed by the City Engineer. (Engineering)
8. The applicant shall not commence with any on-site improvements or improvements within the right-of-way until such time as grading and/or improvement plans have been submitted for review and are approved and grading and/or encroachment permits are issued by the Department of Development Services – Engineering Division. (Engineering)
9. The approval of this project does not constitute approval of proposed improvements as to size, design, materials, or location, unless specifically addressed in these conditions of approval. The Developer shall submit civil drawings to the Department of Development Services – Engineering Division for review and approval. (Engineering)

PRIOR TO ISSUANCE OF BUILDING PERMITS

10. Parking lot design shall conform to the City's design standards, including the following minimum standards for parking stalls:
 - a) All parking stalls shall be double-striped. Parking stalls adjacent to sidewalks, landscaped areas or light fixtures, and all Accessible stalls shall abut a 6-inch raised curb or concrete bumper. (Planning)
 - b) Standard – 9 feet x 18 feet; Compact – 9 feet x 16 feet; Accessible – 14 feet x 18 feet (a 9-foot-wide parking area plus a 5-foot-wide loading area) and a minimum of one (1) parking space shall be Accessible van accessible – 17 feet x 18 feet (9-foot-wide parking area plus an 8-foot-wide loading area). (Planning)
 - c) An 'exterior routes of travel' site accessibility plan incorporating slope, cross-slope, width, pedestrian ramps, curb ramps, handrails, signage, detectable warnings or speed limit signs or equivalent means shall comprise part of the site improvement plans submitted to City for review, prior to building plan check approvals. This site accessibility plan shall also include:
 - i) Accessible parking stalls shall be dispersed and located closest to accessible entrances. The total number of accessible parking spaces shall be established by Table 11B-208.2 of the CBC.
 - ii) Accessible Parking spaces and crosswalks shall be signed, marked and maintained as required by Chapter 11 of the CBC.
 - iii) Accessible parking and exterior route of travel shall comply with CBC, Sections 11B-206 and 11B-208. (Building)
11. Signs and/or striping shall be provided on-site as required by the Planning Department to control on-site traffic movements. Parking lot striping and signage shall be maintained in a visible and legible manner. (Planning)
12. The plans submitted to the Building Division for permits shall indicate all approved revisions/alterations as approved by the Commission including all conditions of approval. (Planning)
13. The project Landscape Plans shall comply with the following:

- a) The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines; backflow preventers; fire department connections; and public water, sewer, and storm drain facilities. (Planning, Fire, Environmental Utilities, Electric, Public Works)
 - b) The tree plantings in the parking lot shall be designed to provide a minimum of 50% shade coverage after 15 years. (Planning)
 - c) At a minimum, landscaped areas not covered with live material shall be covered with a rock, (3") bark (no shredded bark) or (3") mulch covering. (Planning)
 - d) The landscape plan shall comply with the Landscape Guidelines for Northwest Roseville Specific Plan and the City of Roseville Water Efficient Landscape Ordinance. (Planning, Environmental Utilities)
 - e) Landscaping adjacent to preserve areas shall consist of California native, drought-tolerant groundcover, shrubs, plants, and trees. (Open Space, Planning)
 - f) All landscaping in areas containing electrical service equipment shall conform to the Electric Department's Landscape Requirements and Work Clearances as outlined in Section 10.00 of the Departments "Specification for Commercial Construction." (Electric)
 - g) Slopes within landscape planters shall be no more than 3:1. A two-foot flat bench located at back-of-walk shall be included in the landscape area to slow or allow absorption of nuisance run-off from the planters. (Parks, Recreation, and Libraries)
 - h) All landscaping shall conform to the standards of crime prevention through environmental design with the intent to create natural surveillance, controlling access, and territorial reinforcement to property boundaries. (Police)
14. Any roof-mounted equipment and satellite dishes proposed shall be shown on the building plans. The equipment shall be fully screened from public streets and the surrounding properties. (Planning)
15. A separate Architectural Site Accessibility Plan which details the project's site accessibility information as required by California Title 24, Part 2 shall be submitted as part of the project Building Permit Plans. (Building)
16. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Green Building Standards Code–CGBSC, California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Division for applicable Code editions). (Building)
17. For restaurants, other food services, or commercial swimming pools: The developer shall obtain all required approvals and permits from the Placer County Health Department and the City of Roseville Industrial Waste Division. (Building, Environmental Utilities)

18. Maintenance of copy of building plans: Health and Safety Code section 19850 requires the building department of every city or county to maintain an official copy of the building plans for the life of the building. As such, each individual building shall be submitted as a separate submittal package. Building plan review, permit issuance and archiving is based on each individual building address. (Building)
19. For all work to be performed off-site, permission to enter and construct shall be obtained from the property owner, in the form of a notarized right-of-entry. Said notarized right-of-entry shall be provided to the Department of Development Services – Engineering Division prior to approval of any plans. (Engineering)
20. The Improvement Plans shall include a complete set of Landscape Plans. The Landscape Plans shall be approved with the Improvement Plans. (Planning, Engineering, Fire, Environmental Utilities, Electric)
21. A note shall be added to the grading plans that states:

“Prior to the commencement of grading operations, the contractor shall identify the site where the excess/borrow earthen material shall be imported/deposited. If the borrow/deposit site is within the City of Roseville, the contractor shall produce a report issued by a geotechnical engineer to verify that the exported materials are suitable for the intended fill, and shall show proof of all approved grading plans. Haul routes to be used shall be specified.” (Engineering)
22. The site shall be accessed by the existing driveways located on Foothills Boulevard and Pleasant Grove Boulevard. These driveways shall be restricted to right turn ingress and egress only. (Engineering)
23. The site shall include a designated Dial-a-Ride drop off and pick up area with an accessible path of travel to the main entrance of the building. A covered seating area for our Dial-a-Ride passengers shall be located at the main entrance and it will be visible from the drive aisle of the drop-off and pick-up area. (Alternative Transportation, Planning, and Engineering).
24. The applicant shall dedicate all necessary rights-of-way or Public Utility Easement for the widening of any streets or transfer of public utilities across and over any portion of the property as required with this entitlement. A separate document shall be drafted for approval and acceptance by the City of Roseville, and recorded at the County Recorder’s Office. (Public Works)
25. Bike parking and clean air vehicle spaces shall be provided per the California Green Building Standards. Bike rack/locker design and location shall be approved by Alternative Transportation. (Alternative Transportation, Building).
26. All storm drainage, including roof drains, shall be collected on site and treated with Best Management Practices (BMP’s) per the City’s Stormwater Quality Design Manual. All storm water shall be routed to the nearest existing storm drain system or natural drainage facility. Drain outfalls shall extend down to the receiving water and shall be constructed with adequate velocity attenuation devices. The grading/improvement plans for the site shall be accompanied with a shed map that defines that area tributary to this site and all drainage facilities shall be designed to accommodate the tributary flow. The storm drain system and proposed BMP’s shall be privately owned and maintained by the property owner. Prior to the issuance of any permits, the owner shall provide a plan for the maintenance of the proposed BMP’s. (Engineering)
27. Prior to the issuance of any permits, the property owner shall prepare and submit a Storm Water Pollution Prevention Plan (SWPPP) to the City, as defined by the Regional Water Quality Control Board. The SWPPP shall be submitted in a single three ring binder. Upon approval, the SWPPP will be returned to the property owner during the pre-construction meeting. (Engineering)

28. The developer shall be responsible for any necessary relocation of signal interconnect cables that may require re-location as a result of the construction of turn lanes and/or driveways. (Engineering)
29. The applicant shall remove and reconstruct any existing damaged curb, gutter, and sidewalk along the property frontage. During plan check of the improvement plans and/or during inspection, Public Works will designate the exact areas to be reconstructed. Any existing public facilities damaged during the course of construction shall be repaired by the property owner and at the property owner's expense, to the satisfaction of the City. (Engineering)
30. Prior to the approval of the improvement plans, it will be the project proponent's responsibility to pay the standard City Trench Cut Recovery Fee for any cuts within the City streets that are required for the installation of underground utilities. (Engineering)
31. Prior to the issuance of building permits, the property owner shall pay into the following fee programs: Citywide Drainage Fee, Citywide Traffic Mitigation Fee (TMF), Highway 65 Joint Partners Association (JPA), South Placer Regional Transportation Authority (SPRTA), and City/County Fee. (Public Works)
32. The applicant/developer shall prepare a Transportation Systems Management (TSM) Plan for Artis Senior Living of Roseville to be reviewed and approved by the Transportation Commission. (Alternative Transportation)
33. Prior to the issuance of a grading permit or approval of Improvement Plans, the grading plans shall clearly identify all existing water, sewer and recycled water utilities within the boundaries of the project (including adjoining public right of way). Existing utilities shall be identified in plan-view and in profile-view where grading activities will modify existing site elevations over top of or within 15 feet of the utility. Any utilities that could potentially be impacted by the project shall be clearly identified along with the proposed protection measures. The developer shall be responsible for taking measures and incurring costs associated with protecting the existing water, sewer and recycled water utilities to the satisfaction of the Environmental Utilities Director. (Environmental Utilities)
34. The applicant shall pay all applicable water and sewer fees. (Environmental Utilities)
35. Water and sewer infrastructure shall be designed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards and shall include:
 - a) Utilities or permanent structures shall not be located within the area which would be disturbed by an open trench needed to expose sewer trunk mains deeper than 12 feet unless approved by Environmental Utilities in these conditions. The area needed to construct the trench is a sloped cone above the sewer main. The cone shall have 1:1 side slopes.
 - b) Water, sewer and recycled mains shall not exceed a depth of 12 feet below finished grade, unless authorized in these conditions of approval.
 - c) All sewer manholes shall have all-weather, 10-ton vehicle access unless otherwise authorized by these conditions of approval. (Environmental Utilities)
36. Water easements shall be centered over the water main. If water easement is not centered over water main, the project proponent will be required to adjust the easement to be centered over the main line. No trees are permitted within the water easement. (Environmental Utilities)
37. Trash enclosures, recycling areas, and enclosure approaches shall be designed to current Refuse Division specifications, the materials and colors shall match the building, and the location of such facilities shall be reviewed and approved by the Refuse Division, Planning and the Fire Department.

The enclosure must have inside dimensions of 12 feet wide and 9 feet deep and be built to the specifications of the Solid Waste Department's Enclosure Description. (Refuse, Planning, Fire)

38. Access to trash enclosures shall have an inside turning radius of 25 feet and an outside turning radius of 45 feet must be maintained to allow the refuse truck access to and from the enclosure. Enclosures must have a clear approach of 65 feet in front of the enclosure to allow servicing bins. (Refuse)
39. A trash enclosure and recycling enclosure is required for each building and each tenant, otherwise, the building owner is responsible for the trash service. (Refuse)
40. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
41. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting. (Fire)
42. The fire flow required, at a 50% reduction due to the buildings being sprinklered, will be based on the largest single structure in accordance with the California Fire Code at the time detail plans are submitted to the City of Roseville for review. The maximum fire flow will not exceed 2,500 gpm based on the Appendix III-AA of the California Fire Code. (Fire)
43. The fire department access road shall meet the City's requirements for width and turning radii of 30 and 50 as noted on the fire department standards for access. This shall be enforced at the time plan are submitted for review, Additional information can be found on the City's web site www.roseville.ca.us or contact Patrick Chew, Senior Fire Inspector, at 916-774-5823 or pchew@roseville.ca.us with the Fire Prevention Division for information. (Fire)
44. An **approved** automatic fire extinguishing system shall be provided for all buildings where the total fire area is **3,600** square feet or greater, as required by California Fire Code as adopted by this city for non-single family residential units. All amendments, standards and policies can be found on the City's web site www.roseville.ca.us or contact Patrick Chew, Senior Fire Inspector, at 916-774-5823 or pchew@roseville.ca.us with the Fire and Life Safety Division for information. (Fire)
45. Automatic fire extinguishing system risers, fire alarm system panels and digital alarm communicator system panels shall be located within an approved fire control room and shall be accessible from an adjacent fire apparatus roadway. There shall be only one fire control room per building. Said fire control room shall be a minimum size of thirty-five (35) square feet in size and shall be openable from the exterior via an approved door opening. However, if this project requires the installation of a fire pump, this room will likely be much larger than the minimum stated by ordinance. (Fire)
46. All fire apparatuses, such as fire department connections and post indicating valves, serving identified building shall be designed and installed adjacent to each structure for first responder's operational purposes. (Fire)
47. If added cornice construction is involved, the design shall support the weight of a ladder leaning against the assembly as well as a 330-pound vertical load applied to the **leading edge** of the horizontal projection of the cornice (a 250-pound firefighter carrying 80 pounds of equipment stepping off of a ladder onto the top of the cornice). (Fire)
48. The phasing of this project shall not limit the Fire Department requirements for access and circulation throughout the project as a result of continuous construction in accordance with the California Fire

Code, 2016 with the City of Roseville's Amendments. A separate phasing plan (and permit issued by the Building Department) shall be reviewed and approved by this department. (Fire)

49. Fire breaks within combustible conceal spaces shall meet the maximum allowable void space permissible about our standard of 160 cubic feet provided there are no source of ignition.
50. According to the California Fire Code, all gates/fences/barricades shall obtain a permit for conformance to the City of Roseville's Fire Department Access Standard and the California Fire Code. Plans shall be submitted for approval prior to installation. If applicable, all manual gates shall be secured with a Knox pad lock or daisy chain with such lock. **The owner or there representative shall contact KNOX Company, <http://www.knoxbox.com/> , to order your specific padlock for the City of Roseville. (Fire)**
51. Due to the generator being proposed, a separate fire permit shall be required and submitted to the Fire Department directly. The applicant should contact our Hazardous Materials Division at (916) 774-5800 to initiate the process. Use or storage of hazardous materials, liquids, gases and/or chemicals will be subject to meeting the requirements of the Hazardous Materials Storage Policy set forth by the City of Roseville, the applicable sections of the California Fire Code, the National Fire Codes and Chapter 6.95 of the Health and Safety Code. Submit names and amount of any hazardous materials, if they are to be stored or used, to the Fire and Life Safety Division for review and approval. (Fire)
52. Adequate radio coverage shall be provided within all buildings for public safety agencies, as required by Roseville Municipal Code and the California Fire Code. A field test shall be provided by a person in possession of a current FCC License, or a current technician certification issued by the Associated Public-Safety Communications Officials International (APCO), or the National Association of Business and Educational Radio (NABER). The building owner shall retain all test records on the inspected premises and a copy shall be submitted to the Fire Department officials in accordance with Section 510 of the California Fire Code.

Adequate radio coverage shall include all of the following:
 - a) A minimum signal strength of 95 dBm available in 90% of the area of each floor of the building when transmitted from the closest City of Roseville Radio Communication site.
 - b) A minimum signal strength of 95 dBm received at the closest City of Roseville Communication site when transmitted from 90% of the area of each floor of the building.
 - c) The frequency range that must be supported shall be 821-824 MHz and 866-869 MHz.
 - d) A 100 % reliability factor. (Fire, Police)
53. The Electric Department requires the submittal of the following information in order to complete the final electric design for the project:
 - a) one (1) set of improvement plans
 - b) load calculations
 - c) electrical panel one-line drawings
54. This project shall be annexed into the Northwest LLD for services related to neighborhood park and streetscape maintenance. (Parks, Recreation, and Libraries)

55. All on-site external lighting shall be installed and directed to have no off-site glare. Lighting within the parking areas and pedestrian walkways shall provide a maintained minimum of one (1) foot-candle, and 0.5 foot-candle of light, respectively. All exterior light fixtures shall be vandal resistant. (Planning, Police)
56. The parking lot shall have properly posted signs that state the use of the parking area is for the exclusive use of employees and customers of this project. (See California Vehicle Code Sections 22507.8, 22511.5, 22511.8, 22658(a), and the City of Roseville Municipal Code Section 11.20.110). The location of the signs shall be shown on the approved site plan. (Planning, Police)
57. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)
58. The irrigation plan shall contain the following statement: "*I have complied with the criteria of the Water Efficient Landscape Ordinance and applied such criteria for the efficient use of water in the irrigation design plan*". The plan shall be signed by a licensed landscape architect, certified irrigation designer, irrigation consultant, licensed landscape contractor, or any other person authorized to design and irrigation system. (Environmental Utilities WELO)
59. Overhead irrigation shall not be permitted within 24-inches of any non-permeable surface. (Environmental Utilities WELO)
60. Turf is prohibited in parkways less than 10-feet wide, unless the parkway is adjacent to a parking strip and used to enter and exit vehicles. Any turf in parkways must be irrigated by sub-surface irrigation or by other technology that creates no overspray or runoff. (Environmental Utilities WELO)
61. Turf shall not be permitted on slopes greater than one (1) foot of vertical elevation change for every four (4) feet of horizontal length. (Environmental Utilities WELO)
62. All landscape irrigation audits shall be conducted by a third-party certified landscape irrigation auditor. (Environmental Utilities WELO)
63. An annual irrigation program with monthly irrigation schedules shall be developed and submitted to the City for each of the following:
 - a) The plant establishment period;
 - b) The established landscape; and
 - c) Temporarily irrigated areas. (Environmental Utilities WELO)
64. Any overhead irrigation using potable water shall be scheduled between 8:00 p.m. and 10:00 a.m. (Environmental Utilities WELO)
65. The irrigation plan shall identify flow rate (GPM), application rate (in/hr) and design operating pressure (pressure PSI) for each station. (Environmental Utilities WELO)

DURING CONSTRUCTION & PRIOR TO ISSUANCE OF OCCUPANCY PERMITS

66. Any backflow preventers visible from the street shall be painted green to blend in with the surrounding landscaping. The backflow preventers shall be screened with landscaping and shall comply with the following criteria:

- a) There shall be a minimum clearance of four feet (4'), on all sides, from the backflow preventer to the landscaping.
- b) For maintenance purposes, the landscaping shall only be installed on three sides and the plant material shall not have thorns.
- c) The control valves and the water meter shall be physically unobstructed.
- d) The backflow preventer shall be covered with a green cover that will provide insulation. (Planning, Environmental Utilities)

67. The following easements shall be provided by separate instrument and shown on the site plan, unless otherwise provided for in these conditions:

- a) A ten (10) -foot-wide public utilities easement along all road frontages.
- b) Water, sewer, and reclaimed water easements.
- c) Additional internal easements will be required to cover primary electrical facilities to the project when the final electrical design is completed. (Electric, Environmental Utilities)

68. Easement widths shall comply with the City's Improvement Standards and Construction Standards. Separate document easements required by the City shall be prepared in accordance with the City's "Policy for Dedication of Easements to the City of Roseville". All legal descriptions shall be prepared by a licensed land Surveyor. All existing public utility, electric, water, sewer and reclaimed water easements shall be maintained unless otherwise authorized by these conditions of approval. (Public Works, Environmental Utilities, Electric)

69. Inspection of the potable water supply system on new commercial/industrial/office projects shall be as follows:

- a) The Environmental Utilities Inspector will inspect all potable water supply up to the downstream side of the backflow preventer.
- b) The property owner/applicant shall be responsible for that portion of the water supply system from the backflow preventer to the building. The builder/contractor shall engage a qualified inspector to approve the installation of this portion of the water supply. The Building Division will require from the builder/contractor, a written document certifying that this portion of the potable water supply has been installed per improvement plans and in accordance with the Uniform Plumbing Code. This certificate of compliance shall be submitted to the Building Division before a temporary occupancy or a building final is approved.
- c) The building inspectors will exclusively inspect all potable water supply systems for the building from the shutoff valve at the building and downstream within the building. (Building, Environmental Utilities)

70. All improvements being constructed in accordance with the approved grading and improvement plans shall be accepted as complete by the City. (Engineering)

71. The words "traffic control appurtenances" shall be included in the list of utilities allowed in public utilities easements (PUE's) located along public roadways. (Engineering)

72. The applicant/developer shall prepare a Transportation Systems Management (TSM) Agreement for Artis Senior Living of Roseville to be reviewed and approved by the City Manager. (Public Works, Alternative Transportation)
73. Water, sewer and reclaimed water shall be constructed pursuant to the adopted City of Roseville Improvement Standards and the City of Roseville Construction Standards. (Environmental Utilities)
74. All water backflow devices shall be tested and approved by the Environmental Utilities Department. (Environmental Utilities)
75. The applicant shall design for installation and/or install an exterior grease interceptor if the proposed business could potentially discharge substances containing fats, oils and grease (FOG) into the sewer system. The grease interceptor shall be adequate to separate and remove FOG contained in the wastewater from FSE's prior to discharge to the public sewer. (Environmental Utilities)
76. In the event an exterior grease interceptor cannot be installed due to space limitation, the developer shall install a grease trap, per City Standards, that will mechanically separate the FOG contained in the wastewater from the FSE prior to discharge to the public sewer. (Environmental Utilities)
77. Pursuant to the Municipal Code, the applicant shall apply for and obtain a FOG waste discharge permit (FOG WDP) from the Environmental Utilities Industrial Waste Division prior to occupancy or prior to discharging waste to the public sewer. The applicant shall submit information required by the Environmental Utilities Department for evaluation, including but not limited to: site plans, floor plans, mechanical and plumbing plans, and details to show all sewers, FOG control device, grease interceptor or other pretreatment equipment and appurtenances by size, location and elevation. Additional information related to the applicant's business operations and potential discharge may be requested to properly evaluate the FOG WDP application. (Environmental Utilities)
78. All Electric Department facilities, including streetlights where applicable, shall be designed and built to the "City of Roseville Specifications for Commercial Construction." (Electric)
79. The City of Roseville Electric Department has electrical construction charges which are to be paid by the developer and which are explained in the City of Roseville "Specification for Commercial Construction." These charges will be determined upon completion of the final electrical design. (Electric)
80. Any relocation, rearrangement, or change of existing electric facilities due to this development shall be at the developer's expense. This includes existing equipment along Pleasant Grove Boulevard. (Electric)
81. Any facilities proposed for placement within public/electric utility easements shall be subject to review and approval by the Electric Department before any work commences in these areas. This includes, but is not limited to, landscaping, lighting, paving, signs, trees, walls, and structures of any type. (Electric)
82. All electric metering shall be directly outside accessible. This can be accomplished in any of the following ways:
 - a) Locate the metered service panel on the outside of the building.
 - b) Locate the metered service panel in a service room with a door that opens directly to the outside. The developer will be required to provide a key to the door for placement in a lock box to be installed on the outside of the door. Any doors leading from the service

room to other areas of the building shall be secured to prohibit unauthorized entry.
(Electric)

83. One ¾-inch conduit with a 2-pair phone line shall be installed from the building's telephone service panel to the meter section of the customer's electrical switchgear or panel. (Electric)
84. It is the responsibility of the developer to ensure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)

OTHER CONDITIONS OF APPROVAL

85. Signs shown on the elevations are not approved as part of the Design Review Permit. A Sign Permit is required for all project signs. (Planning)
86. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed-free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
87. The City reserves the right to restrict vehicle turning movements within the public right-of-way in the future if deemed necessary by the City Engineer. (Engineering)
88. The required width of fire apparatus access roads shall not be obstructed in any manner, including the parking of vehicles. Minimum required widths and vertical clearances established by the Fire Code shall be maintained at all times during construction. Closure of accesses for fire apparatus by gates, barricades and other devices shall be prohibited unless approved by the Fire Chief. (Fire)
89. Temporary aboveground storage tanks may be used at construction sites for diesel fuel only and shall not exceed 1,000 gallon capacity. Tanks shall comply with all provisions found within the Fire Code. A Fire Department Permit shall be obtained prior to tank installation. The permit shall expire after 90 days from the date of issuance, unless extended by the Fire Chief. (Fire)
90. If site survey or earth moving work results in the discovery of hazardous materials in containers or what appears to be hazardous wastes released into the ground, the contractor or person responsible for the building permit must notify the Roseville Fire Department immediately. A representative from the Fire Department will make a determination as to whether the incident is reportable or not and if site remediation is required. (Fire)
91. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
92. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance, project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday, provided that all construction equipment shall be fitted with factory installed muffling devices and be maintained in good working order. (Building)
93. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Division Field Inspector at the time of or prior to the foundation inspection. (Building)

94. Prior to Certificate of Occupancy, the applicant may apply for a Temporary Certificate of Occupancy (TCO) of the building. If a TCO is desired, the applicant must submit a written request to the Building Division a minimum of thirty (30) days prior to the expected temporary occupancy date and shall include a schedule for occupancy and a description of the purpose for the Temporary Certificate of Occupancy. (Building)

Attachments

1. Addendum to the Breton Village Mitigated Negative Declaration
2. Mitigation Monitoring and Reporting Program for Breton Village
3. Artis Senior Living – Development Proposal

Exhibits

- A. Architectural Site Plan
- B. First Floor Plan
- C. Building Color Elevations
- D. Roof Plan and Details
- E. Dumpster and Generator Enclosure Elevations
- F. Dimension Control Plan
- G. Engineering Cover Sheet
- H. Stormwater Management Plan
- I. Erosion Control and Construction Details
- J. Grading Plan
- K. Utility Plan
- L. Fire Truck Turn Radius
- M. Life Safety Plans and Building Data
- N. Irrigation Plans
- O. Preliminary Landscape Plans

<u>Note to Applicant and/or Developer:</u> Please contact the Planning Division staff at (916) 774-5276 prior to the Design Committee meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Design Committee in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.
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ADDENDUM TO NWRSP PCL 11 Breton Village Mitigated Negative Declaration (Adopted on February 26, 2009)

Project Title/File Number:	NWRSP PCL 11 A – Artis Senior Living Facility, PL18-0286
Project Location:	1260 Pleasant Grove Boulevard; Roseville; Placer County; 477-080-006-000
Project Description:	The applicant is requesting an environmental determination for the construction of a 37,287-square foot, 72-bed memory care senior living facility, as well as new parking, landscaping, and site lighting, on Parcel 11A in the Northwest Roseville Specific Plan area.
Project Applicant:	Jason Erb, Artis Senior Living, LLC; 1651 Old Meadow Road, Suite 100, McLean, VA 22102; (571)376-6211
Property Owner:	Bollinger Investment Company; 540 Fulton Ave, Sacramento, CA 95825
Lead Agency Contact:	Shelby Vockel, Associate Planner – City of Roseville, (916)774-5276

An Addendum to a previously certified and adopted negative declaration or environmental impact report may be prepared for a project if only minor technical changes or additions are necessary or none of the conditions calling for the preparation of a subsequent EIR or negative declaration have occurred (California Environmental Quality Act Guidelines [CEQA] Section 15164). Consistent with CEQA Guidelines Section 15164, the below analysis has been prepared in order to demonstrate that none of the conditions described in Section 15162 of the CEQA Guidelines calling for preparation of a subsequent EIR have occurred and that only minor technical changes or additions are necessary in order to deem the adopted negative declaration adequate to describe the impacts of the proposed project. CEQA Guidelines Section 15164 also states that an addendum need not be circulated for public review, but can be included in or attached to the adopted negative declaration for consideration by the hearing body. This Addendum focuses only on those aspects of the project or its impacts which require additional discussion.

DC ATTACHMENT 1

ADDENDUM

December 13, 2018

NWRSP PCL 11A – Artis Senior Living Facility – 1260 Pleasant Grove Blvd; #PL18-0286

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PROJECT DESCRIPTION

Project Location

The project site is located at 1260 Pleasant Grove Boulevard, at the northwest corner of the intersection of Pleasant Grove Boulevard and Foothills Boulevard. The subject property is an approximately 3.93-acre parcel, also identified as Parcel 11A in the Northwest Roseville Specific Plan (NWRSP).

Background

The NWRSP Parcel 11 property was originally zoned with the adoption of the Northwest Roseville Specific Plan. An EIR (SCH #88051623) was prepared for the Specific Plan and Development Agreement, and was ratified by the Roseville City Council in August of 1988 (hereinafter referred to as the NWRSP EIR). Later, a rezone of the property was approved to allow for the proposed residential component of the development. Specifically, the northern and western portions of the parcel (Parcel 11B) were rezoned to Attached Housing (R3) with a Specific Plan and General Plan land use designation of Medium Density Residential (MDR 7.9). The CC zoning for the area identified as Parcel 11A was intended to provide for commercial facilities serving Roseville that function in tandem with the adjacent properties.

On May 26, 2005, the Planning Commission approved a request for two Design Review Permits (DRP04-41 and DRP 04-42) and a Tentative Subdivision Map (SUB 04-19). DRP 04-41 established development standards for the construction of a 53-unit, single-family cluster development, and the Tentative Subdivision Map allowed a 53 lot single-family residential subdivision. DRP 04-42 allowed the construction of two commercial buildings totally 30,140 square feet with associated landscaping, lighting, and parking. A Mitigated Negative Declaration was prepared for the project that required new mitigation measures for air quality that were not included in previous analyses.

On May 11, 2007, the applicant requested a one-year extension of time for DRP 04-41, 04-42, and SUB 04-19. The extension request was approved on June 20, 2007, and no further extension was permitted by the Zoning Ordinance. In November of 2008, following the expiration of the extension, the applicant reapplied for all entitlements required to develop the 53-unit single-family residential development and the commercial development. The project was approved February 26, 2009 and was never constructed. The Design Review entitlements subsequently expired, though the map was extended through various legislative actions. The subdivision is currently in final map review with the City of Roseville.

Environmental Setting

The approximately 3.93-acre site is located within a developed area of the City of Roseville. The site has been graded consistent with the May 2005 approvals, and is comprised of relatively flat terrain that is elevated approximately 134 to 142 feet above mean sea level. The project site slopes gently upward toward Pleasant Grove Boulevard. Metal fence posts mark the boundary between Parcels 11A and 11B. Two existing driveways have been installed on the project site. The Pleasant Grove Blvd driveway is approximately 245 feet from the intersection of Pleasant Grove Blvd and Foothills Blvd, and the Foothills Blvd driveway is approximately 250 feet from the intersection.

The project site is generally characterized by dirt and non-native annual grasses. There are no natural resources present onsite such as oak trees, vernal pools, or seasonal wetlands.

Proposed Project

The applicant proposes the construction of a 37,287-square foot senior living facility for memory care patients. The use is commercial in nature, and is classified as a Long Term Care facility due to the level of care required

for the residents of the facility. The facility will be divided into four “neighborhoods”, with a total of 72-units. Each neighborhood will provide residential amenities within a secure area for the residents, including living areas, dining and common rooms, and other services. The proposed 55-space parking lot will be accessible via driveways on both Pleasant Grove Blvd and Foothills Blvd. An eight-foot-tall enclosure on the eastern portion of the property will contain the site’s waste receptacles, as well as an emergency generator. The use is permitted within the CC/SA-NW (Commercial) zone where the project site is located. A Design Review Permit is required to evaluate the architectural and site design, landscaping, parking area, and site lighting.

PURPOSE AND SCOPE OF ADDENDUM

This Addendum has been prepared to identify and assess the anticipated environmental impacts of the above-described project. The document relies on previous environmental documents and site-specific studies prepared to address in detail the effects or impacts associated with the project, as well as updated technical studies prepared by qualified consultants. This document has been prepared to satisfy the California Environmental Quality Act (CEQA), (Public Resources Code, Section 21000 et seq.) and the State CEQA Guidelines (14 CCR 15000 et seq.). CEQA requires that all state and local government agencies consider the environmental consequences of projects over which they have discretionary authority before acting on those projects.

Where, as here, an EIR addressing an earlier version of the project has been previously prepared and certified, the lead agency considers the adequacy of that prior EIR in light of the current modified version of the project and changed circumstances since the time of the preparation of the prior EIR. Pursuant to CEQA Guidelines §15162-15163, if the lead agency determines, based on substantial evidence, that any aspect of the project, either individually or cumulatively, will require major revisions to the previous EIR due either to a new significant effect or a substantial increase in the severity of a previously identified significant effect on the environment, the lead agency is required to prepare a Subsequent EIR or an EIR Supplement to analyze the project at hand. Pursuant to CEQA Guidelines §15164, if the agency finds no basis for requiring the preparation of either a Subsequent EIR or an EIR Supplement, an Addendum shall be prepared.

As described above, the project site is assumed by the NWRSP to be developed as a commercial use. Subsequently, a Mitigated Negative Declaration was prepared for the previously entitled projects DRP 04-41, 04-42, and SUB 04-19 which contemplated the development of a commercial use on the project site. The 2009 Mitigated Negative Declaration was considered by the City of Roseville’s Planning Commission as part of the approval actions for the Breton Village project, and is now a part of the NWRSP EIR which this current Addendum relies upon. The NWRSP EIR and associated documents are available for review here: <https://www.roseville.ca.us/cms/One.aspx?portalId=7964922&pageId=8775134> . The EIR is also available for review during normal weekday business hours at the City of Roseville Development Services Department, 311 Vernon Street, Roseville, CA.

In accordance with the California Environmental Quality Act (CEQA), it was determined in the 1988 NWRSP EIR that the Specific Plan had the potential to have a significant adverse impact on the environment, and the Final EIR (SCH #88051623) was prepared for the Northwest Roseville Specific Plan project. A Notice of Completion was filed with the State of California Office of Planning and Research. The Final Environmental Impact Report (FEIR) was certified by the City Council in August of 1988.

The NWRSP EIR and the prior Mitigated Negative Declarations prepared for the subject property are referenced and utilized in the evaluation of this Project, which covers part of the project site analyzed in the 1988 NWRSP EIR and the Breton Village Mitigated Negative Declaration (2009). Project-level analysis for both Parcels 11A and 11B was presented in the Breton Village Mitigated Negative Declaration in 2009. The changes to the portion of the plan area contemplated by the current Project relate to areas for which project-level review was conducted. The scope of the review in this Addendum is limited to Parcel 11A, where the proposed project is located.

The City Council adopted a Statement of Overriding Considerations when it certified the 1988 NWRSP EIR. The 1988 EIR identified the following impacts associated with development of the project area as significant and unavoidable:

Impacts deemed significant and unavoidable at project specific level

- Conversion of agricultural and open space to urban uses
- Visual impacts
- Impacts to wetland features

Impacts deemed significant and unavoidable based on both project specific and cumulative impacts

- Impacts on affordable housing
- Increase in population
- Decreased regional air quality
- Increased solid waste generation

Impacts deemed cumulatively significant and unavoidable

- Growth-inducing impacts
- Impacts to water quality
- Impacts to vegetation and wildlife
- Disruption of vernal pools
- Traffic impacts
- Public services

The NWRSP EIR provides a summary of the findings leading to the conclusions of significance for each of the categories listed above. The bulk of these listed categories are not relevant to the subject project due in large part to the fact that the project is consistent with the Specific Plan and proposes no change to the Plan not originally anticipated. In accordance with Guidelines Section 15183, a discussion of each of those impacts found to be significant in the prior EIR and the relative impact of the subject project in each of those categories is provided below.

The mitigation measures contained within the NWRSP EIR have been undertaken and the Breton Village development project is compliant with the mitigation measures identified in the NWRSP EIR.

In addition to the NWRSP EIR, this Addendum references a prior Mitigated Negative Declaration adopted for the project site. The original Mitigated Negative Declaration for the site analyzed many of the same impacts discussed below; however, the current project represents a change in use of the site that differs from the previous approvals, and requires additional analysis. The analyses below rely on the EIR and Mitigated Negative Declaration analysis, with minor supplements or technical updates where appropriate.

ENVIRONMENTAL CHECKLIST FOR ADDENDUM ENVIRONMENTAL REVIEW

The purpose of this checklist is to evaluate the categories in terms of any “changed condition” (i.e. changed circumstances, project changes, or new information of substantial importance) that may result in a changed environmental result. A “no” answer does not necessarily mean there are no potential impacts relative to the environmental category, but that there is no change in the condition or status of the impact since it was analyzed and addressed in prior environmental documents.

EXPLANATION OF CHECKLIST EVALUATION CATEGORIES

Where Impact was Analyzed

This column provides a cross-reference to the pages of the prior environmental documents where information and analysis may be found relative to the environmental issue listed under each topic.

Do Proposed Changes Involve New Significant Impacts?

Pursuant to Section 15162(a)(1) of the CEQA Guidelines, this column indicates whether the changes represented by the current project will result in new significant impacts that have not already been considered and mitigated by the prior environmental review documents and related approvals, or will result in a substantial increase in the severity of a previously identified impact.

Any new Circumstances Involving New Impacts?

Pursuant to Section 15162(a)(2) of the CEQA Guidelines, this column indicates whether there have been changes to the project site or the vicinity (circumstances under which the project is undertaken) which have occurred subsequent to the certification or adoption of prior environmental documents, which would result in the current project having new significant environmental impacts that were not considered in the prior environmental documents or that substantially increase the severity of a previously identified impact.

Any new Information Requiring New Analysis or Verification?

Pursuant to Section 15162(a)(3)(A–D) of the CEQA Guidelines, this column indicates whether new information of substantial importance which was not known and could not have been known with the exercise of reasonable diligence at the time the previous environmental documents were certified or adopted is available requiring an update to the analysis of the previous environmental documents to verify that the environmental conclusions and mitigation measures remain valid. Either “yes” or “no” will be answered to indicate whether there is new information showing that: (A) the project will have one or more significant effects not discussed in the prior environmental documents; (B) that significant effects previously examined will be substantially more severe than shown in the prior environmental documents; (C) that mitigation measures or alternatives previously found not to be feasible would in fact be feasible and would substantially reduce one or more significant effects of the project, but the project proponents decline to adopt the mitigation measure or alternative; or (D) that mitigation measures or alternatives which are considerably different from those analyzed in the prior environmental documents would substantially reduce one or more significant effects on the environment, but the project proponents decline to adopt the mitigation measure or alternative. If “no,” then no additional environmental documentation (supplemental or subsequent EIR) is required.

Mitigation Measures Implemented or Addressing Impacts

Pursuant to Section 15162(a)(3) of the CEQA Guidelines, this column indicates whether the prior environmental documents provide mitigation measures to address effects in the related impact category. In some cases, the mitigation measures have already been implemented. A “yes” response will be provided in any instance where mitigation was included, regardless of whether the mitigation has been completed at this time. If “none” is indicated, this environmental analysis concludes a significant impact does not occur with this project, no mitigation was previously included, and no mitigation is needed.

DISCUSSION AND MITIGATION SECTIONS

Discussion

A discussion of the elements of the checklist is provided under each environmental category in order to clarify the answers. The discussion provides information about the particular environmental issue, how the project relates to the issue and the status of any mitigation that may be required or has already been implemented.

Mitigation Measures

Applicable mitigation measures from the prior environmental review that apply to the project are listed under each environmental category.

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Conclusions

A discussion of the conclusion relating to the analysis contained in each section.

CHECKLIST

I. Aesthetics

	Where Impact Was Analyzed in Prior Environmental Documents	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a. Have a substantial adverse effect on a scenic vista?	1988 EIR pp L-3, 4 2009 MND pp 7	No	No	No	No
b. Substantially damage scenic resources, including but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?	1988 EIR pp L-3, 4 2009 MND pp 7	No	No	No	No
c. Substantially degrade the existing visual character or quality of the site and its surroundings?	1988 EIR pp L-3, 4 2009 MND pp7	No	No	No	No
d. Create a new source of substantial light or glare which would adversely affect day or nighttime views in the area?	1988 EIR pp L-3, 4 2009 MND pp 8	No	No	No	No

Discussion:

a-b . There is no change from the prior project. The project site does not abut and is not visible from any scenic vista or scenic highway.

c. A previous commercial project has been reviewed and approved by the City of Roseville Planning Commission on the site. While still a commercial use, the project has changed from approximately 30,140 square feet of retail commercial to a 37,287-square foot senior living facility. The previous entitlements have expired, so the current request is subject to the City's Design Review Permit process to ensure conformance with City standards and requirements. In addition, the General Plan EIR notes that the City has adopted Community Design Guidelines to ensure quality development. These Design Guidelines have been utilized by staff to analyze the project request for the Design Review Permit. The aesthetic impacts of this project are consistent with those considered in the General Plan and the NWRSP EIR. Consistency with approved project exhibits will be enforced by conditions of approval of the Design Review Permit (DRP), as well as through the Building Permit process.

d. There is no change from the prior project. The project is required to comply with City standards regarding site lighting.

Impacts to visual and aesthetic resources were considered significant and unavoidable by the 1988 NWRSP EIR. No mitigation measures were required as it was determined to be infeasible to reduce the impact of the change in the aesthetic environment to less than significant levels.

II. Agricultural & Forestry Resources

	Where Impact Was Analyzed in Prior Environmental Documents	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?	2009 MND pp 8	No	No	No	No
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?	2009 MND pp 8	No	No	No	No
c) Conflict with existing zoning for, or cause rezoning of, forest land (as defined in Public Resources Code section 12220(g)), timberland (as defined by Public Resources Code section 4526), or timberland zoned Timberland Production (as defined by Government Code section 51104(g))?	2009 MND pp 8	No	No	No	No
d) Result in the loss of forest land or conversion of forest land to non-forest use?	2009 MND pp 8	No	No	No	No
e) Involve other changes in the existing environment which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use or conversion of forest land to non-forest use?	2009 MND pp 8	No	No	No	No
Discussion: a-e. There is no change from the prior project. The proposed project would have no impact on agricultural resources. No mitigation measures are required.					

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III. Air Quality

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Conflict with or obstruct implementation of the applicable air quality plan?	1988 EIR pp G10-13 2009 MND pp 8-9	No	No	No	Yes
b) Violate any air quality standard or contribute substantially to an existing or projected air quality violation?	1988 EIR pp G10-13 2009 MND pp 8-9	No	No	No	Yes
c) Result in a cumulatively considerable net increase of any criteria for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)?	1988 EIR pp G10-13 2009 MND pp 8-9	No	No	No	Yes
d) Expose sensitive receptors to substantial pollutant concentrations?	1988 EIR pp G10-13 2009 MND pp 8-9	No	No	No	Yes
e) Create objectionable odors affecting a substantial number of people?	1988 EIR pp G10-13 2009 MND pp 8-9	No	No	No	Yes

Discussion: a-d. The air quality section of the 1988 EIR contained a qualitative impact analysis for climate and air quality impacts, noting that at the time the EIR was written, the Placer County Air Pollution Control District (PCAPCD) was in nonattainment for many criteria pollutants. While mitigation measures were incorporated to reduce emissions to less than significant levels for nitric oxide (NOx), ozone, and particulate matter, it was determined that construction-related activities would create carbon monoxide levels at major intersections that would exceed state and federal standards.

The prior Mitigated Negative Declaration for the Breton Village project included new air quality mitigation measures to reduce air quality impacts to less than significant levels. The 2009 MND describes updated requirements for the California and Federal Clean Air Acts, and provides additional

mitigation measures to comply with updated standards and PCAPCD requirements. Given that a change in use is proposed, staff reviewed the Placer County Air Pollution Control District thresholds of significance to determine whether or not the Artis Senior Living Facility would generate new significant impacts or impacts substantially more severe than the previously evaluated project.

The PCAPCD provides construction phase, operational phase, and cumulative significance thresholds for criteria pollutants. The PCAPCD also created a preliminary screening methodology that presents the approximate side of a project for select land use categories would result in NOx operational emissions equal to the threshold of 55 lbs/day. It is noted that a project's proposed land use categories, design features, and building out year may affect a project's ability to "screen out" of the significance thresholds.

The City of Roseville Zoning Ordinance designates a Long Term Care Facility (the use classification for the proposed project) as a commercial use. Table 2-2 of the PCAPCD's screening methodology guidance indicates that general commercial projects smaller than 249,099 square feet, provided that there are no special circumstances that might result in higher emissions, will not generate NOx emissions that exceed the operational phase threshold of 55 lbs/day. The proposed Artis Senior Living Facility is approximately 37,287 square feet in size, which is substantially smaller than the provided size threshold. No special design features or unique circumstances related to the project's location have been identified for the current request or for the prior projects. As discussed in the Transportation section, trips associated with the proposed senior living facility will be lower than what was previously assumed for a general retail commercial center of approximately 30,000 square feet. With the application of the previously adopted mitigation measures for the Breton Village project and the NWRSP EIR, impacts related to air quality are expected to be less than significant.

e. The project is not expected to create objectionable odors affecting a substantial number of people. No impact is anticipated.

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IV. Biological Resources

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?	1988 EIR pp F-13-17 2009 MND pp 12-13	No	No	No	No
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies or regulations or by the California Department of Fish and Wildlife or U.S. Fish and Wildlife Service?	1988 EIR pp F-13-17 2009 MND pp 12-13	No	No	No	No
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?	1988 EIR pp F-13-17 2009 MND pp 12-13	No	No	No	No
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?	1988 EIR pp F-13-17 2009 MND pp 12-13	No	No	No	No
e) Conflict with any local policies or ordinances protecting biological resources, such as a tree preservation policy or ordinance?	1988 EIR pp F-13-17 2009 MND pp 12-13	No	No	No	No

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f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?	1988 EIR pp F-13-17 2009 MND pp 12-13	No	No	No	No
Discussion: a-f. There is no change from the prior project. There are no unique or special resources known to exist on the project site. The site is surrounded by developed parcels and has been previously graded. There are no native oak trees, rare or endangered plants or animal species on the site. In addition, the 2020 General Plan and NWRSP EIRs identify the loss of annual grassland and habitat fragmentation as significant and unavoidable impacts. A Statement of Overriding Considerations was adopted by the City Council for these impacts and therefore no additional review is required. No mitigation measures are required.					

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V. Cultural, Archeological, or Paleontological Resources

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Cause a substantial adverse change in the significance of an historic resource as defined in Section 15064.5?	1988 EIR pp N-3 2009 MND pp 13	No	No	No	Yes
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?	1988 EIR pp N-3 2009 MND pp 13	No	No	No	Yes
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?	1988 EIR pp N-3 2009 MND pp 13	No	No	No	Yes
d) Disturb any human remains, including those interred outside of dedicated cemeteries?	1988 EIR pp N-3 2009 MND pp 13	No	No	No	Yes
Discussion: a-d. There is no change from the prior project. The project site was previously graded and no cultural resources are known to exist on the project site. However, the General Plan and NWRSP EIRs contain mitigation measures to reduce impacts to cultural resources should any be found onsite. Archaeological surveys were performed for the entire NWRSP area as part of the NWRSP EIR. In the event cultural resources are found, the Environmental and Cultural Resources element of the NWRSP EIR contains specific mitigation measures to reduce impacts to cultural resources. These measures require an immediate halt to construction activities to request evaluation by the State Historic Preservation Office (SHPO), and provide a plan for relocation of artifacts in the event of discovery. No further discussion is warranted.					

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VI. Geology and Soils

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes
i) Ruptures of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Refer to Division of Mines and Geology Special Publication 42.)	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes
ii) Strong seismic ground shaking?	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes
iii) Seismic-related ground failure, including liquefaction?	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes
iv) Landslides?	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes
b) Result in substantial soil erosion or the loss of topsoil?	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes
c) Be located in a geological unit or soil that is unstable, or that would become unstable as a result of the project,	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes

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and potentially result in on or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?					
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?	1988 EIR pp D-13, 14 2009 MND pp 14,15	No	No	No	Yes

Discussion:

- a. There is no change from the prior project. The project site is located in Roseville, which is in Placer County. The California Department of Mines and Geology classifies the South Placer area as a low severity earthquake zone.
- b. There is no change from the prior project. Past grading activities have disturbed the project site and an there are existing roadway and utility improvement. There are no notable topographic features on the site.
- c, d. There is no change from the prior project. The project is not located in a sensitive geologic area and does not expose people to potential geologic impacts.
- e. There is no change from the prior project. No septic tanks are proposed as a part of the project.

Mitigation measures are required in the NWRSP EIR that are intended to reduce project impacts related to geology and soils to a less than significant levels. These measures include compliance with the Uniform Building Code, City of Roseville building standards, and “accepted engineering and construction techniques” to minimize the potential risks to life safety in a seismic event. Additional mitigation measures related to erosion control are also included.

VII. Greenhouse Gases

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Generate greenhouse gas emissions, either directly or indirectly, that may have a significant impact on the environment?	2009 MND pp 11	No	No	No	No
b) Conflict with an applicable plan, policy, or regulation adopted for the purpose of reducing the emissions of greenhouse gases?	2009 MND pp 11	No	No	No	No

Discussion: While the 1988 EIR did not evaluate impacts related to greenhouse gas (GHG) emissions, the potential environmental impact of GHG emissions was known or could have been known at the time of the certification of the 1988 EIR. Thus, based on a body of case law, the 1988 EIR's lack of GHG analysis did not preclude adoption of an addendum. The 2009 Breton Village Mitigated Negative Declaration provided a discussion on GHG law in effect at the time, but the MND reflects that in 2009 there were no established thresholds of significance for cumulative contributions against which the project could have been evaluated.

CEQA case law holds that agencies cannot and need not require supplemental environmental review in connection with proposed project changes solely because the earlier environmental documents for the projects at issue had not dealt with global warming/climate change as a CEQA topic (Citizens for Responsible Equitable Environmental Development (CREED) v. City of San Diego (2011) 196 Cal. App. 4th 515, Concerned Dublin Citizens v. City of Dublin (2013) 214 Cal.App.4th 1301, and Citizens Against Airport Pollution v. City of San Jose (2014) 227 Cal.App.4th 788.) Those cases hold that, going back as far as the 1970s, climate change was a matter of public discussion and could have been raised as a CEQA issue by persons exercising reasonable diligence.

The 2009 Breton Village MND qualitatively assessed the project's incremental contribution to climate change, noting that compliance with existing City programs and policies would serve as mitigation measures to reduce GHG emissions. Without a threshold of cumulative significance, the MND concluded that in consideration of the proportional contribution of the proposed project relative to the global nature of climate change impacts, and with the City's mitigating policies in place, this impact would be less than significant.

Changes introduced by the Project and/or new circumstances relevant to the project would not, as compared to the 1988 EIR and the 2009 MND, result in a new significant impact or significant impacts that are substantially more severe than significant impacts previously disclosed. In addition,

there is no new information of substantial importance showing that the project would have one or more significant effects not previously discussed or that any previously examined significant effects would be substantially more severe than significant effects shown in the previous EIR or MND.

VIII. Hazards and Hazardous Materials

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?	1988 EIR pp K-24 2009 MND pp 15-16	No	No	No	Yes
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?	1988 EIR pp K-24 2009 MND pp 15-16	No	No	No	Yes
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within on-quarter mile of an existing or proposed school?	2009 MND pp 15-16	No	No	No	No
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?	2009 MND pp 15-16	No	No	No	No
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?	2009 MND pp 15-16	No	No	No	No

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f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing in the project area?	2009 MND pp 15-16	No	No	No	No
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?	2009 MND pp 15-16	No	No	No	No
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?	2009 MND pp 15-16	No	No	No	No
Discussion: a-c. As a senior living facility, the most likely source of potentially hazardous material is medical equipment and waste for resident care and treatment. Medical waste that is considered a hazardous substance only because it is medical waste, as defined in the Medical Waste Management Act (Part 14 (commencing with Section 117600) of Division 104) is not subject to the California Hazardous Waste and Hazardous Substances Law (Section 25117.5 (a)). The waste will be routinely collected and disposed of, however, this waste will not create a significant hazard to the public. The NWRSP EIR provides mitigation measures to designate truck routes for the transport of hazardous materials through residential neighborhoods; however, the measure does not apply in this case. d-h. There is no change from the prior project.					

IX. Hydrology and Water Quality

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Violate any water quality standards or waste discharge requirements?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes

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b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on or off-site?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on or off-site?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted water?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes
f) Otherwise substantially degrade water quality?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes
h) Place within a 100-year flood hazard area structures, which would impede or redirect flood flows?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes

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i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	Yes
j) Inundation by seiche, tsunami, or mudflow?	1988 EIR pp E-13-17 2009 MND pp 16-17	No	No	No	No

Discussion: a, c-f. There is no change from the prior project. Development of the site will not result in any substantial water-related impacts. Construction of the proposed project and development of the site with impervious surfaces will have a minor effect on the absorption rate of water onsite. However, the project includes a drainage system designed in accordance with City Improvement Standards that will adequately handle onsite drainage associated with the development of the property. Minor amounts of wind and/or water erosion may be associated with construction of the project. However, the developer previously received approval of a grading permit that incorporated mitigation measures for dust and erosion control consistent with the City's Improvement Standards. Additionally, the NWRSP EIR provides mitigation measures regarding best management practices to reduce potential erosion and runoff impacts.

b. There is no change from the prior project. No groundwater withdrawal is proposed, and the proposed project will not have an impact on groundwater recharge that is greater than what was anticipated by the NWRSP EIR.

g-h. There is no change from the prior project. The project site is not within a designated 100-year flood boundary or within the designated 100-year floodplain. No impact.

i. There is no change from the prior project. The closest dam to the project site is the Folsom Dam, over eight miles to the southeast, and the project is not located in a watershed.

j. There is no change from the prior project. The project site is not located in an area at risk for seiche, tsunami, or mudflow.

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X. Land Use and Planning

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Physically divide an established community?	1988 EIR pp I-13 2009 MND pp 18	No	No	No	No
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?	1988 EIR pp I-13 2009 MND pp 18	No	No	No	No
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?	1988 EIR pp I-13 2009 MND pp 18	No	No	No	No
Discussion: a, b. There is no change from the prior project. City staff has determined that the project is consistent with the City's General Plan, Zoning Ordinance, Northwest Roseville Specific Plan, and the Community Design Guidelines. No conflicts with policies adopted for the purpose of avoiding or mitigating an environmental effect have been identified. c. There is no changes from the prior project. There are no Habitat Conservation Plans or Natural Community Conservation Plans covering the project site. Therefore, no impact will occur.					

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XI. Mineral Resources

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?	2009 MND pp 19	No	No	No	No
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?	2009 MND pp 19	No	No	No	No
Discussion: a,b. There is no change from the prior project. There project site is not known to include any mineral resources that would be of local, regional, or statewide importance; therefore, the project is not considered to have any impacts on mineral resources.					

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XII. Noise

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents' Mitigation Measures Implemented or Addressing Impacts.
a) Exposer of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?	1988 EIR pp H-7-9 2009 MND pp 19-20	No	No	No	Yes
b) Exposure of persons to or generation of excessive ground borne vibration of ground borne noise levels?	1988 EIR pp H-7-9 2009 MND pp 19-20	No	No	No	Yes
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?	1988 EIR pp H-7-9 2009 MND pp 19-20	No	No	No	Yes
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?	1988 EIR pp H-7-9 2009 MND pp 19-20	No	No	No	Yes
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?	1988 EIR pp H-7-9 2009 MND pp 19-20	No	No	No	No
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?	1988 EIR pp H-7-9 2009 MND pp19-20	No	No	No	No

Discussion: a-d. The use on Parcel 11A has changed from a retail commercial center to a senior living facility. A noise study was prepared by Bollard & Brennan, Inc. for the residential portion of Breton Village on Parcel 11B, which provided mitigation measures to protect that portion of the project site in part from the future retail center. Three mitigation measures were recommended as a result of the noise study. Mitigation Measures XI.2 and XI.3 are specific to the residential portion of Breton Village on Parcel 11B, and govern their design standards for construction. Mitigation Measure XI.1 states that:

“a five (5) foot tall parapet should be constructed along the rear roof line of the commercial buildings adjacent to the proposed residential uses. As an alternative, a detailed HVAC analysis may be performed when the HVAC plan becomes available. If the HVAC analysis indicates that the noise levels are within the City standards, the parapet height will not need to be raised.”

As the proposed Artis Senior Living Facility will have an HVAC system, the project will remain subject to this mitigation measure.

All operations associated with the project will be required to comply with the provisions of the City of Roseville Noise Ordinance and the General Plan Noise Element. Compliance with the provisions of these documents will reduce potential noise impacts to less than significant levels.

Long-term noise levels related to the proposed use are not expected to be significant. The proposed use is a senior care facility, which generally does not generate extensive levels of noise. Deliveries will be limited to daytime business hours and will not occur in the evening. Occasionally, emergency vehicles will need to access the site. The applicant has indicated these calls for service would be infrequent, occurring on average three or four times a month. Noise impacts related to the long-term use of the site are therefore considered less than significant.

Short-term construction activities on the site could expose nearby residents to increase noise levels, including ground-born vibrations. These impacts are temporary in nature (being associated with the construction of the facility) and are not anticipated to result in any unusual or excessive ground-born vibration or noise levels. In addition, construction hours are limited by the City's Municipal Code Section 9.24 to daytime hours (7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 8:00 p.m., Saturday, Sunday, and Holidays.) These potential impacts are therefore considered less than significant.

e-f. There is no change from the prior project. The proposed project site is not located within an airport land use plan area nor is it located within two miles of an airport or within the vicinity of a private airstrip. No impact will occur.

XIII. Population and Housing

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents Mitigation Measures Implemented or Addressing Impacts.
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?	1988 EIR pp I-18 2009 MND pp 21	No	No	No	No
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?	1988 EIR pp I-18 2009 MND pp 21	No	No	No	No
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?	1988 EIR pp I-18 2009 MND pp 21	No	No	No	No
Discussion: a. The proposed project will create a 72-unit memory care facility. The facility will provide care for individuals with dementia and related diseases. While the development will increase the population, the use is consistent with the land use and development assumptions of the area. These potential impacts are assumed in the NWRSP EIR and considered to be less than significant. b,c. The proposal will not displace any existing homes or people and therefore will not necessitate the construction of replacement housing elsewhere. No impact will occur.					

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XIV. Public Services

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents Mitigation Measures Implemented or Addressing Impacts.
Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any the public services:	1988 EIR pp K1-39 2009 MND pp 21	No	No	No	No
a) Fire protection?	1988 EIR pp K1-39 2009 MND pp 21	No	No	No	No
b) Police protection?	1988 EIR pp K1-39 2009 MND pp 21	No	No	No	No
c) Schools?	1988 EIR pp K1-39 2009 MND pp 21	No	No	No	No
d) Parks?	1988 EIR pp K1-39 2009 MND pp 21	No	No	No	No
e) Other public facilities?	1988 EIR pp K1-39 2009 MND pp 21	No	No	No	No
Discussion: a-e. The site is currently within an area being served by Police and Fire. The 72-bed senior living facility will not negatively affect the ability of Police, Fire, or medical aid to respond. The project does not require school services. The memory care facility will have medical					

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professionals on staff to care for the residents, limiting the need to call emergency responders for minor events. The project will not have a significant effect upon or create additional need for public services (fire protection, police services, and schools). The impacts associated with the expansion upon public services are less than significant.

XV. Recreation

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents Mitigation Measures Implemented or Addressing Impacts.
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that physical deterioration of the facility would occur or be accelerated?	2009 MND pp 22	No	No	No	No
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?	2009 MND pp 22	No	No	No	No
Discussion: a,b. The proposed project may result in some increased demand on recreation facilities; however, given the nature of the use and the level of care required for the residents of the senior living facility, little to no impact is anticipated.					

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XVI. Transportation/Traffic

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents Mitigation Measures Implemented or Addressing Impacts.
a) Conflict with an applicable plan, ordinance or policy establishing measures of effectiveness for the performance of the circulation system, taking into account all modes of transportation including mass transit and non-motorized travel and relevant components of the circulation system, including but not limited to intersections, streets, highways and freeways, pedestrian and bicycle paths, and mass transit?	1988 EIR pp 2009 MND pp	No	No	No	
b) Conflict with an applicable congestion management program, including, but not limited to level of service standards and travel demand measures, or other standards established by the county congestion management agency for designated roads or highways?	1988 EIR pp 2009 MND pp	No	No	No	
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?	1988 EIR pp 2009 MND pp	No	No	No	
d) Substantially increase hazards due to a design feature(s) (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?	1988 EIR pp 2009 MND pp	No	No	No	
e) Result in inadequate emergency access?	1988 EIR pp 2009 MND pp	No	No	No	

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f) Conflict with adopted policies, plans, or programs supporting public transit, bicycle, or pedestrian facilities, or otherwise decrease the performance or safety of such facilities?	1988 EIR pp 2009 MND pp	No	No	No	
Discussion: a, b. A long term-term traffic analysis was prepared for the prior Breton Village project by Onmi-Means, Inc. and is available for review in the Roseville Planning Division. The traffic study analyzed the long-term and short-term impacts associated with the project under several different scenarios. The study indicated that the prior Breton Village project would generate 3,713 daily trips and 346 p.m. peak hour trips. The City's traffic model assumes an FAR of 30% for parcels with a CC land use designation. Therefore, consistent with the City's assumption, the site could theoretically be developed with a 139,827 square-foot shopping center given the current land use, zoning, and traffic model assumptions. This would result in a total of 14,402 daily trips (103 trips: 1,000 square feet) and 1,310 p.m. peak hour trips (9.37 trips: 1,000 square feet). The proposed project is a 37,287 square foot senior living facility. The largest shift assumes a maximum of 26 employees, and at maximum capacity there are 72 beds available for residents. There are 55 parking spaces provided on the site plan. As the area of the building and the nature of the senior living use are substantially less intense than an assumed 139,000 square foot retail center, impacts to traffic are anticipated to be less than significant. c. There is no change from the prior project. No airports are located in proximity to the site. There project will not result in a change to air traffic patterns. No impact will occur. d. The City's Engineering Division has evaluated the proposed project. No site distance issues have been identified. No impact will occur. e. The City's Fire Department has determined that the design of the proposed project will provide adequate emergency access. No impact to emergency access would occur as a result of the proposed project beyond what was anticipated with development of the site, which is consistent with the NWRSP. f. No change from the prior project. Facilities will be provided and the project will not interfere with existing facilities.					

XVII. Tribal Cultural Resources

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents Mitigation Measures Implemented or Addressing Impacts.
Would the project cause a substantial adverse change in the significance of a Tribal Cultural Resource as defined in Public Resources Code Section 21074 as either a site, feature, place, cultural landscape that is geographically defined in terms of the size and scope of the landscape, sacred place, or object with cultural value to a California Native American tribe, and that is:	Not applicable.				No
a) Listed or eligible for listing in the California Register of Historical Resources, or in a local register of historical resources as defined in Public Resources Code section 5020.1(k)?	Not applicable.	No	No	No	No
b) A resource determined by the lead agency, in its discretion and supported by substantial evidence, to be significant pursuant to criteria set forth in subdivision (c) of Public Resources Code Section 5024.1? In applying the criteria set forth in subdivision (c) of Public Resources Code Section 5024.1 the lead agency shall consider the significance of the resource to a California Native American tribe.	Not applicable.	No	No	No	No

Discussion: a,b. In addition to archeological resources, tribal cultural resources are also given particular treatment. Tribal cultural resources are defined in Public Resources Code Section 21074, as either 1) a site, feature, place, geographically-defined cultural landscape, sacred place, or object with cultural value to a California Native American Tribe, that is listed or eligible for listing on the California Register or Historical Resources, or on a local register of historical resources or as 2) a resource determined by the lead agency, supported by substantial evidence, to be significant according to the historical register criteria in Public Resources Code section 5024.1(c), and considering the significance of the resource to a California Native American Tribe. This section was added to the CEQA Guidelines after the publication of the prior environmental document to which this Addendum is attached, but cultural resources were addressed in that document. Furthermore, all projects received by the City are sent to tribes who have requested such notice; a notice that this application was received was sent to tribes on the City's public notice mailing list. No comments from tribes were received in response to the notice. It is concluded that the Project does not result in any new impacts not previously discussed in prior analyses of cultural resource.

Changes introduced by the Project and/or new circumstances relevant to the project would not, as compared to the 1988 NWRSP EIR or the 2009 MND, result in a new significant impact or significant impacts that are substantially more severe than impacts previously disclosed. In addition, there is no new information of substantial importance showing that the project would have one or more significant effects not previously discussed or than any previously examine effects would be substantially more severe than significant effects shown in the previous EIR or Mitigated Negative Declaration. Previously applied mitigation should be adequate to address potential impacts of the project.

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XVIII. Utilities and Service Systems

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents Mitigation Measures Implemented or Addressing Impacts.
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?	1988 EIR pp K1-13 2009 MND pp 24	No	No	No	Yes
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	1988 EIR pp K1-13 2009 MND pp 24	No	No	No	Yes
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?	1988 EIR pp K1-13 2009 MND pp 24	No	No	No	Yes
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?	1988 EIR pp K1-13 2009 MND pp 24	No	No	No	Yes
e) Result in a determination by the wastewater treatment provider which serves the project that it has adequate capacity to serve the project's projected demand in addition of the provider's existing commitments?	1988 EIR pp K1-13 2009 MND pp 24	No	No	No	Yes
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?	1988 EIR pp K1-13 2009 MND pp 24	No	No	No	Yes
g) Comply with federal, state, and local statutes and regulations related to solid waste?	1988 EIR pp K1-13 2009 MND pp 24	No	No	No	Yes

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Discussion: a-g. There is no change from the prior project. Electric, water, sewer, and refuse collection services will be provided by the City of Roseville. Natural gas will be provided by PG&E, telephone by Surewest, and cable by Comcast. The developer will be responsible for extending new lines onto the site to serve the project. Stormwater will be collected onsite and transferred via pipe into an offsite storm drain system. Solid waste will be collected by the City of Roseville's Refuse Department.

Various City departments and utility agencies have reviewed the project and determined that adequate capacities are present to service the project without impacting their ability to maintain existing levels of service. The previous mitigation measures included in the 1988 NWRSP EIR have been implemented. Therefore, the project impacts related to utilities are less than significant.

XIX. Mandatory Findings of Significance

	Where Impact Was Analyzed in Prior Environmental Documents.	Do Proposed Changes Involve New Significant Impacts or Substantially More Severe Impacts?	Any New Circumstances Involving New Significant Impacts or Substantially More Severe Impacts?	Any New Information Requiring New Analysis or Verification?	Prior Environmental Documents Mitigation Measures Implemented or Addressing Impacts.
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, substantially reduce the number or restrict the range of an endangered, threatened or rare species, or eliminate important examples of the major periods of California history or prehistory?	1988 EIR pp 2009 MND pp	No	No	No	

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b) Does the project have impacts which are individually limited, but cumulatively considerable? (“Cumulatively considerable” means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects.)	1988 EIR pp 2009 MND pp	No	No	No	
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?	1988 EIR pp 2009 MND pp	No	No	No	
Discussion: a. Checklist item a) above concerns impacts to biological and cultural resources. Impacts on these resource areas were evaluated both by the 1988 NWRSP EIR and the Breton Village Mitigated Negative Declaration. The analysis showed that the Breton Village project would not result in any new significant impacts, nor will the current project result in a substantial increase in the severity of previously identified significant impacts. The 1988 NWRSP EIR evaluated the potential for project-specific and cumulative impacts, consistent with checklist item b0, above. The proposed Project includes a change from an approximately 30,000 square foot commercial retail center to a 37,287 square foot senior living facility. Buildout under the proposed project would be substantially consistent with the development assumptions in the previous CEQA documents; therefore, as discussed throughout this Addendum, the Project would not substantially increase the severity of the identified significant cumulative impacts. Checklist item c), above, is concerned with direct and indirect substantial adverse effects to human beings. The various environmental topic analyses in the 1988 NWRSP EIR and the Breton Village Mitigated Negative Declaration include evaluation of impacts, both direct and indirect, on human beings. Overall, as supported by the analyses in each environmental topic, the Project would not result in any new significant impacts, or a substantial increase in the severity of previously identified significant impacts.					

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ENVIRONMENTAL DETERMINATION:

In reviewing the site specific information provided for this project and acting as Lead Agency, the City of Roseville, Development Services Department, Planning Division has analyzed the potential environmental impacts created by this project and determined that the findings of CEQA Section 15162 concerning the decision not to prepare a subsequent EIR or negative declaration and the findings of CEQA Section 15164 concerning the decision to prepare an Addendum can be made. As supported by substantial evidence within the Addendum to the BRETON VILLAGE MITIGATED NEGATIVE DECLARATION (adopted February 26, 2009), the Lead Agency makes the following findings:

[X] No substantial changes are proposed in the project which would require major revisions of the previous EIR or Mitigated Negative Declaration.

[X] No substantial changes have occurred with respect to the circumstances under which the project is undertaken.

[X] There is no new information of substantial importance which was not known and could not have been known with the exercise of due diligence at the time the previous EIR was certified as complete or the Mitigated Negative Declaration was adopted.

[X] Only minor technical changes or additions are necessary in order to deem the adopted environmental document adequate.

Addendum Prepared by:

Shelby Vockel, Associate Planner
City of Roseville, Development Services–Planning Division

Attachments:

A. Breton Village Mitigated Negative Declaration



PLANNING & REDEVELOPMENT DEPARTMENT

311 Vernon Street, Roseville, CA 95678 (916) 774-5276

NOTICE OF MITIGATED NEGATIVE DECLARATION

Project Title/File Number: NWRSP PCL 11 Breton Village / Project# 2008PL-072 (File # DRP-000284, DRP-000285 & SUB-000114)

Project Location: 7500 Foothill Boulevard; Roseville; Placer County; 477-080-007-000

Project Description: The applicant is requesting an environmental determination for the construction of two commercial buildings totaling 30,140 square feet with associated landscaping, lighting and parking, the construction of a 53 unit single-family cluster development, and a Tentative Subdivision Map to subdivide 25.9 acres into ninety-five (53) single-family residential lots.

Project Applicant/Property Owner: Paul Bollinger, Breton Village; 540 Fulton Avenue, Sacramento, CA 95825; (916) 489-4600

Lead Agency Contact Person: Wayne Wiley, Associate Planner – City of Roseville; (916) 774-5276

DECLARATION: *The Planning Director has determined that the above project will have no significant effect on the environment and is therefore exempt from the requirement of an Environmental Impact Report. The determination is based on the following findings:*

- A. *The subject property was zoned Community Commercial (CC) with the adoption of the Northwest Roseville Specific Plan. An EIR was certified for the Specific Plan dated August 1988. Further, in 2004, the City prepared a technical update to its General Plan. The EIR of the original General Plan was adopted in 1992 (SCH#92072064) (the "General Plan EIR"). An EIR for the technical update was adopted on January 21, 2004 (SCH#2002082057. Accordingly, the project is a qualified project within the meaning of Section 21083.3 both under subsection (a) and (b).*
- B. *There are no impacts that are peculiar to the proposed project or the parcel on which the project would be located that cannot be mitigated to less than significant.*
- C. *There are no new impacts that were not analyzed as significant effects on the zoning action associated with the Northwest Roseville Specific Plan EIR.*
- D. *There are no potentially significant off-site impacts and cumulative impacts, which were not discussed in the Northwest Roseville Specific Plan EIR.*
- E. *There are no previously identified significant effects which, as a result of substantial new information which was not known at the time the Northwest Roseville Specific Plan EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR.*
- F. *The mitigation measures contained within the Northwest Roseville Specific Plan EIR have been undertaken and the subject project is compliant with the mitigation measures identified in the Northwest Roseville Specific Plan EIR.*

Written comments shall be submitted during the public comment period, **February 7, 2009 through February 26, 2009**. Submit comments to: Roseville Planning Department, 311 Vernon Street, Roseville, CA 95678-2469. Appeal of this environmental determination must be made within 10 days of adoption pursuant to Section 19.80.020 of the Roseville Municipal Code.

The public hearing on this item will be held on **February 26, 2009 at 7:00 p.m.** before the Planning Commission and will be held in Meeting Rooms 1 & 2, located at 311 Vernon Street, Roseville, California.

Prepared by:

Wayne Wiley, Associate Planner

Date:

INITIAL STUDY & ENVIRONMENTAL CHECKLIST

Project Title/File Number: NWRSP PCL 11 Breton Village / Project# 2008PL-072 (File # DRP-000284, DRP-000285 & SUB-000114)

Project Location: 7500 Foothill Boulevard; Roseville; Placer County; 477-080-007-000

Project Description: The applicant is requesting an environmental determination for the construction of two commercial buildings totaling 30,140 square feet with associated landscaping, lighting and parking, the construction of a 53 unit single-family cluster development, and a Tentative Subdivision Map to subdivide 25.9 acres into ninety-five (53) single-family residential lots.

Project Applicant/Property Owner: Paul Bollinger, Breton Village; 540 Fulton Avenue, Sacramento, CA 95825; (916) 489-4600

Lead Agency Contact Person: Wayne Wiley, Associate Planner – City of Roseville; (916) 774-5276

This initial study has been prepared to identify and assess the anticipated environmental impacts of the above described project application. The document relies on previous environmental documents and site-specific studies prepared to address in detail the effects or impacts associated with the project (see Appendices 1 & 2 for further details).

This document has been prepared to satisfy the California Environmental Quality Act (CEQA), (Public Resources Code, Section 21000 et seq.) and the State CEQA Guidelines (14 CCR 15000 et seq.). CEQA requires that all state and local government agencies consider the environmental consequences of projects over which they have discretionary authority before acting on those projects.

The initial study is a public document used by the decision-making lead agency to determine whether a project may have a significant effect on the environment. If the lead agency finds substantial evidence that any aspect of the project, either individually or cumulatively, may have a significant effect on the environment, regardless of whether the overall effect of the project is adverse or beneficial, the lead agency is required to prepare an EIR, use a previously prepared EIR and supplement that EIR, or prepare a subsequent EIR to analyze the project at hand. If the agency finds no substantial evidence that the project or any of its aspects may cause a significant effect on the environment, a Negative Declaration shall be prepared. If in the course of analysis, the agency recognizes that the project may have a significant impact on the environment, but that by incorporating specific mitigation measures the impact will be reduced to a less than significant effect, a Mitigated Negative Declaration shall be prepared.

In reviewing the site specific information provided for this project, the City of Roseville Planning & Redevelopment Department has analyzed the potential environmental impacts created by this project and determined that with mitigation the impacts are considered to be less than significant. As demonstrated in the initial study checklist, there are no "project specific significant effects which are peculiar to the project or site" (CEQA Section 15183). Therefore an additional EIR is not required. On the basis of the following initial evaluation, the Planning and Redevelopment Department finds that the proposed project may have an impact on the environment, but that by incorporating specific mitigation measures the impact will be reduced to a less than significant effect, and a Mitigated Negative Declaration will be prepared.

Prepared by:

Wayne Wiley, Associate Planner

Date:

1. GENERAL PLAN

The City's 2020 General Plan was adopted on February 4, 2004 by Resolution #04-39. The current General Plan contains in large part the same goals, policies, and implementation measures as the previous 2010 General Plan (adopted on November 18, 1992, by Resolution #92-321), for which a formal General Plan EIR was prepared. However, the current General Plan has been updated to reflect the current level of development in the City and to reflect the 3,100-acre West Roseville Specific Plan annexation that was approved in 2004. Changes between the 2010 General Plan and the current 2020 General Plan were analyzed as part of the West Roseville Specific Plan Environmental Impact Report (WRSP EIR) (SCH #2002082057).

Each element of the General Plan (GP) references and provides policies relating to specific plans. The specific plans are viewed as the primary mechanism for implementing the goals and policies of the GP. The plans are consistent with, and incorporated by reference into, the Land Use Element of the GP (page II-59 of the GP). Specific plan land uses are reflected on the GP land use map. The specific plans establish detailed policies and implementation programs for portions of the City, consistent with the goals and policies established in the GP.

The City Council adopted a Statement of Overriding Considerations when they certified the GP EIR, identifying the following impacts as significant and unavoidable:

- flood hazard
- vehicular air emissions (ozone)
- construction air emissions (ozone)
- vehicle noise
- railroad noise
- noise from fixed sources
- conversion of open space outside of infill area
- jobs/housing imbalance
- affordable housing
- increased traffic/degraded LOS
- loss of annual grasslands
- loss of oak trees and oak woodlands
- loss of riparian woodlands
- loss of vernal pools
- loss of intermittent drainages and other seasonal wetland habitat
- habitat fragmentation and loss of wildlife habitat
- risk of hazardous materials-related emergencies due to rail operations
- cumulative air quality, land use, jobs/housing, traffic, biological, cultural, risk of upset, open space, public services and utilities, and water impacts
- growth inducement

PREVIOUS ENVIRONMENTAL DOCUMENTS

The following narrative is provided to summarize the analysis undertaken as it relates to CEQA Section 21083 and CEQA Guidelines Section 15183 and City staff's conclusion to exempt the NWRSP Breton Village project. As described more specifically below, the California Environmental Quality Act (CEQA) provides for the use of prior environmental documents in specific situations. In this case it has been determined that Public Resources Code Section 21083.3 and its attendant CEQA Guidelines Section 15183 are applicable to the project, which allow for the utilization of prior environmental impact reports in order to streamline the processing of permits and avoid redundancy in environmental documents. This narrative does not address specific impacts of the NWRSP Breton Village project, but rather is intended to be read in conjunction with the other portions of the Initial Study to inform the reader of the process and analysis utilized by the City in its determination of the appropriate environmental document for the project.

Public Resources Code Section 21083.3 limits CEQA review of certain projects to environmental effects that are "peculiar" to the parcel or to the project and which were not addressed as significant effects in a prior EIR, or which new information shows will be more significant than described in the prior EIR. The NWRSP Breton Village project is a qualified project pursuant to Section 21083.3(a) which provides in pertinent part:

- (a) If a parcel has been zoned to accommodate a particular density of development or has been

designated in a community plan to accommodate a particular density of development and an environmental impact report was certified for that zoning or planning action, the application of this division to the approval of any subdivision map or other project that is consistent with the zoning or community plan shall be limited to effects upon the environment which are peculiar to the parcel or to the project and which were not addressed as significant effects in the prior environmental impact report, or which substantial new information shows will be more significant than described in the prior environmental impact report.

(b) If a development project is consistent with the general plan of a local agency and an environmental impact report was certified with respect to that general plan, the application of this division to the approval of that development project shall be limited to effects on the environment which are peculiar to the parcel or to the project and which were not addressed as significant effects in the prior environmental impact report, or which substantial new information shows will be more significant than described in the prior environmental impact report.

The NWRSP Parcel 11 property was originally zoned with the adoption of the Northwest Roseville Specific Plan. Later, a rezone of the property was approved to allow for the proposed residential component of the development. Specifically, the northern and western portions of the Parcel were rezoned to Attached Housing (R3) with a Specific Plan and General Plan land use designation of Medium Density Residential (MDR7.9). The CC zoning for the Parcel was intended to provide for commercial facilities serving Roseville that function in tandem with the adjacent properties. The Planning Department has determined that the proposed project is consistent with the vision and uses permitted by the NWRSP.

An EIR (SCH #88051623) was prepared for the Specific Plan, the zoning, and Development Agreement, and was ratified by the Roseville City Council in August of 1988 (hereinafter referred to as the NWRSP EIR). The EIR for the original General Plan was adopted in 1992 (SCH #92072064) (the "General Plan EIR"). Accordingly, the project is a qualified project within the meaning of Section 21083.3, both under subsection (a) and (b). Further analysis was required however, prior to making a determination of the appropriate environmental document for the processing of the project.

CEQA Guidelines Section 15183 provides guidance on the criteria to be used in making a determination as to whether Section 21083.3 will apply. Specifically, Guideline Section 15183(b) provides as follows:

(b) In approving a project meeting the requirements of this section, a public agency shall limit its examination of environmental effects to those that the agency determines, in an initial study or other analysis:

- (1) Are peculiar to the project or the parcel on which the project would be located, and
- (2) Were not analyzed as significant effects in a prior EIR on the zoning action, general plan, or community plan, with which the project is consistent,
- (3) Are potentially significant off-site impacts and cumulative impacts which were not discussed in the prior EIR prepared for the general plan, community plan or zoning action, or
- (4) Are previously identified significant effects which, as a result of substantial new information which was not known at the time the EIR was certified, are determined to have a more severe adverse impact than discussed in the prior EIR.

The balance of this section of the Initial Study is devoted to discussing the basis upon which this partial exemption provided by Section 21083.3 is utilized for the NWRSP Parcel 11 Breton Village Development Project. Most important, it summarizes the findings of the City relating to the prior EIR and how the criteria set forth in Guidelines Section 15183 have been met.

Guideline Section 15183(f) provides guidance as to what effects will be considered "peculiar" to a project and states in part as follows:

- (f) An effect of a project on the environment shall not be considered peculiar to the project or the parcel for the purposes of this section if uniformly applied development policies or standards have been previously adopted by the city or county with a finding that the development policies or standards will

substantially mitigate the environmental effect when applied to future projects, unless substantial new information shows that the policies or standards will not substantially mitigate the environmental effect.

The City has adopted a number of development policies and standards on a citywide basis, which shall be discussed below in the context of the checklist. Where a Citywide policy or standard is discussed it is identified in shaded text.

The EIR studied the environmental effects of the approval of the Northwest Roseville Specific Plan, which included the land use designation and zoning of the subject site of CC/CC. The EIR carefully considered the consistency of the Specific Plan with the City's existing General Plan. The EIR identified a number of potentially significant impacts associated with the development of the Specific Plan, including some that could not be feasibly mitigated. In approving the Specific Plan, the Roseville City Council adopted findings of overriding considerations for those impacts that could not be mitigated to a less than significant level.

Those impacts that were determined to be infeasible to mitigate to a level of less than significant are:

Impacts deemed significant and unavoidable at project specific level

- Conversion of agricultural and open space to urban uses.
- Visual impacts.
- Impacts to wetland features.

Impacts deemed significant and unavoidable based on both project specific and cumulative impact.

- Impacts on affordable housing.
- Increase in population.
- Decreased regional air quality.
- Increased solid waste generation.

Impacts deemed cumulatively significant and unavoidable

- Growth-inducing impacts.
- Impacts to water quality.
- Impacts to vegetation and wildlife.
- Disruption of vernal pools.
- Traffic impacts.
- Public services.

The NWRSP EIR provides a summary of the findings leading to the conclusions of significance for each of the categories listed above. The bulk of these listed categories are not relevant to the subject project due in large part to the fact that the project is consistent with the Specific Plan and proposes no changes to the Plan not originally anticipated.

In accordance with Guidelines Section 15183, a discussion of each of those impacts found to be significant in the prior EIR and the relative impact of the subject project in each of those categories is provided below (**identified by italic text**) within the "Discussion of Environmental Impacts" following each section of the Initial Study Checklist.

The mitigation measures contained within the NWRSP Plan EIR and the General Plan EIR have been undertaken and the Breton Village development project is compliant with the mitigation measures identified in the NWRSP EIR and General Plan EIR.

In addition to the Northwest Roseville Specific Plan EIR, this Initial Study references a prior Mitigated Negative Declaration adopted for the project site. The original Mitigated Negative Declaration for the site analyzed many of the same impacts discussed below; however, the current initial study includes new air quality mitigation measures that were not previously discussed.

PROJECT DESCRIPTION

The project site is located on the northwest corner of Foothills Boulevard and Pleasant Grove Boulevard in the Northwest Roseville Specific Plan Area (see Figure 1). The site is comprised of two parcels (Lot A & Lot B) totaling 10.58 acres. Lot A and Lot B are zoned Community Commercial and Attached Housing with a land use of Community Commercial and Medium Density Residential (7.9 units per acre), respectfully.

Development of the subject sites were previously approved by the Planning Commission on May 26, 2005. The previously approved development entitlements have since expired and the applicant is now requesting renewal of the permits. The applicant requests approval of two Design Review Permits, one to construct two commercial buildings totaling 30,140 square feet with associated landscaping, lighting and parking at 7500 Foothills Boulevard (Lot A). The second, to establish development standards for the construction of a 53 unit single-family cluster development at 1260 Pleasant Grove Boulevard (Lot B). In addition, a Tentative Subdivision Map to subdivide 6.63 acres (Lot B) into fifty-three (53) single-family residential lots is proposed. The site plan, building elevations, landscape plan, grading & drainage plan, and utility plan have been included in this document as Attachments 1 through 6.

ENVIRONMENTAL SETTING

The project site is currently vacant and is bordered by single-family residences to the north and west. The site has been graded consistent with the May 2005 approvals and is comprised of flat terrain that is elevated approximately 134 to 142 feet above mean sea level (see Attachment 4).

Figure 1



A cement swale measuring approximately one foot in depth parallels the western property line. This swale drains to a drainage pipe located near Misty Wood Drive. The underground improvements have been constructed for the residential portion of the project and the commercial portion of the project area is undeveloped, characterized by dirt and some non-native annual grasses. There are no natural resources present onsite such as oak trees, vernal pools, or seasonal wetlands.

INITIAL STUDY CHECKLIST

The initial study checklist recommended by the State of California Environmental Quality Act (CEQA) Guidelines is used to determine potential impacts of the proposed project on the physical environment. The checklist provides a list of questions concerning a comprehensive array of environmental issue areas potentially affected by the project. Explanations to answers are provided in a discussion for each section of questions, as follows:

1. A brief explanation is required for all answers except "No Impact" answers that are adequately supported by the information sources a lead agency cites in the parentheses following each question. A "No Impact" answer is adequately supported if the referenced information sources show that the impact simply does

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not apply to projects like the one involved (e.g. the project falls outside a fault rupture zone). A "No Impact" answer should be explained where it is based on project-specific factors as well as general standards (e.g. the project will not expose sensitive receptors to pollutants, based on a project-specific screening analysis).

2. All answers must take account of the whole action involved, including off-site as well as on-site, cumulative as well as project level, indirect as well as direct, and construction as well as operational impacts.
3. "Potentially Significant Impact" is appropriate if there is substantial evidence that an effect is significant. If there are one or more "Potentially Significant Impact" entries when the determination is made, an EIR is required.
4. "Potentially Significant Unless Mitigation Incorporated" applies where the incorporation of mitigation measures has reduced an effect from "Potentially Significant Impact" to a "Less than Significant Impact."
5. The lead agency must describe the mitigation measures, and briefly explain how they reduce the effect to a less-than-significant level.
6. "Less Than Significant Impact" applies where the impact does not require mitigation or result in a substantial or potentially substantial change of any of the physical conditions within the area affected by the project.
7. Earlier analyses may be used where, pursuant to the tiering, program EIR, or other CEQA process, an effect has been adequately analyzed in an earlier EIR or negative declaration. Section 15063(c)(3)(D).
8. Reference to a previously prepared or outside document should, where appropriate, include a reference to the page or pages where the statement is substantiated.

I. Aesthetics

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Have a substantial adverse effect on a scenic vista?				X	
b) Substantially damage scenic resources, including, but not limited to, trees, rock outcroppings, and historic buildings within a state scenic highway?				X	
c) Substantially degrade the existing visual character or quality of the site and its surroundings?					X
d) Create a new source of substantial light or glare, which would adversely affect day or nighttime views in the area?			X		

Discussion of Checklist Answers:

- a-b. The project site does not abut and is not visible from any scenic vista or scenic highway.
- c. The proposed project was previously reviewed and approved by the City of Roseville Planning Commission. Due to the expiration of the original entitlements, the applicant has submitted the same project for renewal. No changes to the originally approved project are proposed, and as such, the Design Review Permits and associated entitlement are still in conformance with City standards and requirements. In addition, the General Plan EIR notes that the City has adopted Community Design Guidelines to ensure quality development, which has been used in the review of the Design Review Permit. The aesthetic impacts of this project are consistent with those considered in the General Plan and Northwest Specific Plan (NWSP) EIR.

The above referenced Community Design Guidelines will be included as conditions of approval of the Design Review Permit (DRP), and enforced through the Building Permit process.

- d. Light and glare will increase above the existing undeveloped condition. Light and glare produced from the construction of the residential development, commercial buildings, and associated parking lot will result from exterior and interior lights, streetlights and car headlights. Lighting will be conditioned to comply with City standards to minimize light and glare impacts to a less than significant level. The buildings, landscaping and site improvements will be reviewed for aesthetic concerns and the projects compliance with the Community Design Guidelines as well as applicable development standards of the NWRSP. These guidelines establish requirements ensuring lighting sources and glare do not affect the adjacent properties.

Based on the information presented above, aesthetic impacts are considered less than significant.

II. Agricultural Resources

In determining whether impacts to agricultural resources are significant environmental effects, lead agencies may refer to the California Agricultural Land Evaluation and Site Assessment Model (1997) prepared by the California Department of Conservation as an optional model to use in assessing impacts on agriculture and farmland.

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Convert Prime Farmland, Unique Farmland, or Farmland of Statewide Importance (Farmland), as shown on the maps prepared pursuant to the Farmland Mapping and Monitoring Program of the California Resources Agency, to non-agricultural use?				X	
b) Conflict with existing zoning for agricultural use, or a Williamson Act contract?				X	
c) Involve other changes in the existing environment, which, due to their location or nature, could result in conversion of Farmland, to non-agricultural use?				X	

Discussion of Checklist Answers:

- a.-c. No agricultural resources were identified on the site. The proposed project would have no impacts on agricultural resources.

III. Air Quality

Where available, the significance criteria established by the applicable air quality management or air pollution control district may be relied upon to make the following determinations. Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Conflict with or obstruct implementation of the applicable air quality plan?		X			
b) Violate any air quality standard or		X			

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Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
contribute substantially to an existing or projected air quality violation?					
c) Result in a cumulatively considerable net increase of any criteria for which the project region is non-attainment under an applicable federal or state ambient air quality standard (including releasing emissions, which exceed quantitative thresholds for ozone precursors)?		X			
d) Expose sensitive receptors to substantial pollutant concentrations?			X		
e) Create objectionable odors affecting a substantial number of people?			X		

Discussion of Checklist Answers:

a-c. Background

California Clean Air Act Requirements

The City of Roseville, along with the south Placer County area, is located in the Sacramento Air Quality Maintenance Area (SAQMA). Under the California Clean Air Act, Placer County has been designated a "serious non-attainment" area for ozone and a "non-attainment" area for PM10 (particulate matter less than 10 microns in diameter). The Placer County Air Pollution Control District (PCAPCD) is responsible for administration of state and federal air quality standards. In 1991, the PCAPCD adopted its first Air Quality Attainment Plan (AQAP). The AQAP is required by the California Clean Air Act (CCAA), and is designed to bring Placer County into compliance with state ozone standards, which are generally more stringent than current federal ambient standards.

Federal Clean Air Act Requirements

Under the Federal Clean Air Act, Placer County is designated as a severe non-attainment area for ozone, and is an attainment area for the federal PM10 standards, and other criteria pollutants. The City of Roseville, along with the south Placer County area, is located in the Sacramento Air Quality Maintenance Area (SAQMA). The Sacramento Area Council of Governments (SACOG), in conjunction with SAQMA air quality management districts, and the California Air Resources Board, developed the SAQMA portion of the State Implementation Plan (SIP). The SIP is required to demonstrate compliance with the Federal Clean Air Act Amendments. The U.S. EPA approved the SIP in 1996, and the SAQMA has since been operating under the SIP control measures.

The City of Roseville, along with the South Placer County area, is located in the Sacramento Valley Air Basin (SVAB). The Sacramento Area Council of Governments (SACOG), in conjunction with SVAB air quality management districts, and the California Air Resources Board, developed the SVAB portion of the State Implementation Plan (SIP). The SIP is required to demonstrate compliance with the Federal Clean Air Act Amendments. The U.S. EPA approved the SIP in 1996, and the SVAB has since been operating under the SIP control measures.

Construction Emissions: While statements of overriding considerations were adopted with certification of the Northwest Roseville Specific Plan EIR, and the 2020 General Plan EIR (Resolution No. 04-39) related to air quality impacts due to construction projects, construction emissions would contribute to existing violations of the Federal Clean Air Act standards, and therefore, all of the following measures should be implemented to reduce construction emissions to the extent feasible. Dust control measures must be implemented for all projects in accordance with the City of Roseville Grading Ordinance, and the APCD Fugitive Dust Rule 228.

MITIGATION MEASURE #1: The applicant shall submit to the District a Construction Emission / Dust Control Plan within thirty (30) days prior to groundbreaking. If the District does not respond within twenty

(20) days, the plan shall be considered approved. The plan must address the minimum requirements found in section 300 and 400 of District Rule 228, Fugitive Dust. The applicant shall keep a hard or electronic copy of Rule 228, Fugitive Dust on-site for reference.
(www.placer.ca.gov/airpollution/airpolut.htm).

MITIGATION MEASURE #2: The Construction Emission/Dust Control Plan shall include a comprehensive inventory (i.e. make, model, year, emission rating) of all heavy-duty off-road equipment (50 horsepower or greater) that will be used an aggregate of 40 or more hours for the construction project. The project representative shall provide the District with the anticipated construction timeline including start date, and name and phone number of the project manager and on-site foreman. The plan shall demonstrate that the heavy-duty (> 50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet-average 20 percent NOx reduction and 45 percent particulate reduction compared to the most recent CARB fleet average. The District should be contacted for average fleet emission data. Acceptable options for reducing emissions may include use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. Contractors can access the Sacramento Metropolitan Air Quality Management District's web site to determine if their off-road fleet meets the requirements listed in this measure.

http://www.airquality.org/ceqa/Construction_Mitigation_Calculator.xls

MITIGATION MEASURE #3: Clean earth moving construction equipment with water, or sweep clean, once per day, or as necessary (e.g., when moving onsite), consistent with NPDES BMP's, local ordinances and municipal codes. Water shall be applied to control dust as needed to prevent dust impacts offsite. Operational water truck(s), shall be onsite, as required, to control fugitive dust. Construction vehicles leaving the site shall be cleaned, as needed, to prevent dust, silt, mud, and dirt from being released or tracked off-site.

MITIGATION MEASURE #4: Spread soil binders on unpaved roads and employee/equipment parking areas. Soil binders shall be non-toxic in accordance with state and local regulations. Apply approved chemical soil stabilizers, or vegetated mats, etc. according to manufacturers specifications, to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).

MITIGATION MEASURE #5: Minimize diesel idling time to a maximum of 10 minutes.

MITIGATION MEASURE #6: Use California Air Resources Board (CARB) low-sulfur diesel fuel.

MITIGATION MEASURE #7: Utilize existing power sources (e.g., power poles) or clean fuel generators rather than temporary diesel power generators, if feasible.

Operational Emissions: The City has worked with the Placer County Air Pollution Control District (PCAPCD) to develop mitigation measures for operational emissions. Despite the City Council's adoption of a statement of overriding considerations for operational emissions with certification of the Northwest Specific Plan EIR, and 2020 General Plan EIR, these measures will be required to address cumulative impacts, and to ensure application of up-to-date mitigation measures. CEQA requires that measures be taken to reduce project impacts, where feasible, even if the measures will not reduce the impacts to a less than significant level. The following is the list of mitigation measures that was agreed upon between the City of Roseville and PCAPCD that can be implemented to help alleviate impacts from long-term operational emissions.

MITIGATION MEASURE #8: All truck loading and unloading docks shall be equipped with one 110/208-volt power outlet for every two-dock door. Diesel trucks shall be prohibited from idling more than five minutes and must be required to connect to the 110/208-volt power to run any auxiliary equipment. Signage shall be provided.

MITIGATION MEASURE #9: Install solar electric generation systems where feasible. Recommend participation in Roseville Electric incentive programs for energy-efficient development.

d) The project is not located adjacent to sources of substantial concentrations of pollutants, nor are uses that would generate substantial pollutants proposed as part of the project. This impact would be less than significant.

e) The project is comprised of commercial and residential land uses. During project construction there may be odors associated with equipment exhaust during construction activities. Diesel fuel fumes may be noticeable in the vicinity of the site; however, this is a short-term effect. All equipment must comply with California emissions standards. Therefore, a less than significant impact is expected. The potential exists for generation of odors associated with commercial uses (for example food services), however, not beyond the extent that odors generated by these land uses would be typical of these urban land uses. This impact would be less than significant.

Green House Gases

The State Legislature signed AB 32, in 2006, which acknowledged global climate change and charged the California Air Resources Board (CARB) with developing regulations to address global climate change. CARB is mandated to provide preliminary actions to reduce greenhouse gas emissions.

Global climate change is a change in the average weather of the earth, which can be measured by wind patterns, storms, precipitation, and temperature. It is exacerbated by greenhouse gases, which trap heat in the atmosphere (thus the “greenhouse” effect). Greenhouse gases include carbon dioxide, methane, and nitrous oxide, and are emitted by natural processes and human activities. The accumulation of greenhouse gases in the atmosphere regulates the earth’s temperature, and is natural and desirable, as without it the Earth’s surface would be about 61 degrees cooler.

There are no established thresholds for measuring the significance of a project’s cumulative contribution to global climate change. Individual projects however, can contribute to greenhouse gas emission reductions by incorporating features that reduce vehicle emissions, and maximize energy-efficiency.

The City has existing programs in place that reduce and minimize greenhouse gas emissions:

- City Adopted National Action Plan for Energy Efficiency (2006)
- Solar Electric (PV) Incentive Programs
- Joined California Climate Action Registry (2006)
- Asphalt Recycling
- City adopted “Smart Choices for Roseville’s Future: Implementation Strategies to Achieve Blueprint Project Objectives (June 2005)
- Residential Energy Efficiency Programs
- City has installed solar electric generation (PV) on several City Facilities.
- Energy Efficiency Programs for Low Income Residents
- Roseville Electric goal to reduce energy requirements by 5% by 2012
- Recycling Drop-Offs throughout City
- Alternately Fueled City Vehicles
- Summer Youth Bus Pass
- Electric Vehicle Charging Stations
- Bicycle Incentive Programs
- City Traffic Signal Head Retrofit from traditional incandescent to LED
- ITS (Intelligent Transportation System) for traffic management

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- City's Civic Center and Roseville Electric buildings with clean, renewable power by purchasing 100% of their energy use from Green Roseville.
- Commercial Energy Efficiency Programs
- 20% renewable power resources in Roseville Electric's power portfolio.
- Shade Tree Program
- City facilities retrofitted with a HVAC efficiency management program
- Alternatives to Paper at the Library
- Tree Mitigation Ordinance
- Parking Lot Shade Tree Ordinance

The project has been evaluated qualitatively relative to its incremental contribution to the overall issue of global warming because there are no thresholds of significance against which to measure the impacts of the project. Efforts at the state and local level are underway to define thresholds and the commensurate mitigation. In the interim, the City has numerous programs and policies in place (cited above) that mitigate greenhouse gas emissions, and would apply to the proposed project. In consideration of the proportional contribution of the proposed project relative to the global nature of climate change impacts, and with the City's mitigating policies in place, this impact would be less than significant.

IV. Biological Resources

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Have a substantial adverse effect, either directly or through habitat modifications, on any species identified as a candidate, sensitive, or special status species in local or regional plans, policies or regulations, or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?					X
b) Have a substantial adverse effect on any riparian habitat or other sensitive natural community identified in local or regional plans, policies or regulations or by the California Department of Fish and Game or U.S. Fish and Wildlife Service?					X
c) Have a substantial adverse effect on federally protected wetlands as defined by Section 404 of the Clean Water Act (including, but not limited to, marsh, vernal pool, coastal, etc.) through direct removal, filling, hydrological interruption, or other means?					X
d) Interfere substantially with the movement of any native resident or migratory fish or wildlife species or with established native resident or migratory wildlife corridors, or impede the use of native wildlife nursery sites?					X
e) Conflict with any local policies or					X

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Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
ordinances protecting biological resources, such as a tree preservation policy or ordinance?					
f) Conflict with the provisions of an adopted Habitat Conservation Plan, Natural Community Conservation Plan, or other approved local, regional, or state habitat conservation plan?					X

Discussion of Checklist Answers:

- a-f. There are no unique or special resources known to exist on the project site. The site is surrounded by developed parcels and was previously graded. Currently, a portion of the site has been paved and the remaining portion consists of bare direct and some native vegetation. There are no native oak trees, rare or endangered plants, or animal species on the site. In addition, the 2020 General Plan and NWRSP EIRs identify the loss of annual grassland and habitat fragmentation as significant unavoidable impacts. A statement of overriding considerations was adopted by the City Council for these impacts and therefore no additional review is required.

V. Cultural Resources

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Cause a substantial adverse change in the significance of a historic resource as defined in Section 15064.5?				X	
b) Cause a substantial adverse change in the significance of an archaeological resource pursuant to Section 15064.5?				X	
c) Directly or indirectly destroy a unique paleontological resource or site or unique geologic feature?				X	
d) Disturb any human remains, including those interred outside of formal cemeteries?				X	

Discussion of Checklist Answers:

- a-d. As noted previously, the project site was previously graded and no cultural resources are known to exist on the project site. However, the General Plan and NWRSP EIR contains mitigation measures to reduce impacts to cultural resources should any be found onsite. Archaeological surveys were performed for the entire NWRSP area as part of the NWRSP EIR. In the event cultural resources are found, the Environmental Analysis and Cultural Resources element of the NWRSP EIR contains specific mitigation measures to reduce impacts to cultural resources. The NWRSP EIR identified the residual level of significance after incorporation of the applicable mitigation measures as less than significant. No further discussion is warranted.

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VI. Geology and Soils

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Expose people or structures to potential substantial adverse effects, including the risk of loss, injury, or death involving:					
i) Rupture of a known earthquake fault, as delineated on the most recent Alquist-Priolo Earthquake Fault Zoning Map issued by the State Geologist for the area or based on other substantial evidence of a known fault? (Refer to Division of Mines and Geology Special Publication 42.)				X	
ii) Strong seismic ground shaking?				X	
iii) Seismic-related ground failure, including liquefaction?				X	
iv) Landslides?				X	
b) Result in substantial soil erosion or the loss of topsoil?			X		
c) Be located in a geological unit or soil that is unstable, or that would become unstable as a result of the project, and potentially result in on- or off-site landslide, lateral spreading, subsidence, liquefaction or collapse?				X	
d) Be located on expansive soil, as defined in Table 18-1-B of the Uniform Building Code (1994), creating substantial risks to life or property?			X		
e) Have soils incapable of adequately supporting the use of septic tanks or alternative wastewater disposal systems where sewers are not available for the disposal of wastewater?				X	

Discussion of Checklist Answers:

- a. The project will not expose people or structures to potential substantial adverse effects involving seismic shaking, ground failure or landslides.
 - i-iii) The project site is located in Roseville, which is in Placer County. The California Department of Mines and Geology classifies the South Placer area as a low severity earthquake zone. No active faults are known to exist within the County. The project site is considered to have low seismic risk with respect to faulting, ground shaking, seismically related ground failure and liquefaction. Therefore, no impact would occur in association with rupture of a known earthquake fault or seismic related ground failure and strong seismic related ground failure and impacts related to strong seismic ground shaking are considered less than significant.
 - iv) Landslides typically occur where soils on steep slopes become saturated or where natural or manmade conditions have taken away supporting structures and vegetation. The existing and proposed slopes are not steep enough to present a hazard during development or upon completion of the project. In addition, during construction, measures would be incorporated to shore slopes and

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prevent potential earth movement. Therefore, impacts associated with landslides are considered less than significant.

- b. Past grading activities have disturbed the project site and existing roadway and utility improvements; therefore, there are no notable topographic features on the site. Further grading activities for the project site will be minimal and the Engineering Department will review the Grading and Improvement Plans for consistency with the City's Improvement Standards. The grading plans will be reviewed for compliance with the City's Improvement Standards, including the provision of proper drainage and appropriate dust control measures. Additionally, subsequent to the original approval of the project, the City of Roseville has adopted Best Management Practices (BMP's) and the applicable grading and erosion control measures will be incorporated into the required grading plans.
- c-d. The project site is not located in a sensitive geologic area and does not expose people to potential geologic impacts. The Roseville General Plan finds such impacts to be less than significant since new buildings and structures are required to comply with all applicable building codes. The City of Roseville Building Department will review construction plans before a building permit is issued and the Engineering Division will review and approve all rough grading plans to ensure that all grading and structures would withstand shrink-swell potentials and earthquake activity in this area.
- e. No septic tanks are proposed as part of the project. Therefore, no impact to soils relative to supporting use of septic tanks would occur.

VII. Hazards and Hazardous Materials

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Create a significant hazard to the public or the environment through the routine transport, use, or disposal of hazardous materials?			X		
b) Create a significant hazard to the public or the environment through reasonably foreseeable upset and accident conditions involving the release of hazardous materials into the environment?			X		
c) Emit hazardous emissions or handle hazardous or acutely hazardous materials, substances, or waste within one-quarter mile of an existing or proposed school?			X		
d) Be located on a site which is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 and, as a result, would it create a significant hazard to the public or the environment?				X	
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project result in a safety hazard for people residing or working in the project area?				X	

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Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
f) For a project within the vicinity of a private airstrip, would the project result in a safety hazard for people residing in the project area?				X	
g) Impair implementation of or physically interfere with an adopted emergency response plan or emergency evacuation plan?			X		
h) Expose people or structures to a significant risk of loss, injury or death involving wildland fires, including where wildlands are adjacent to urbanized areas or where residences are intermixed with wildlands?					X

Discussion of Checklist Answers:

- a-c. Tenants have not been identified for the commercial component of the project. However, some potential tenants could propose to store and/or use toxic/flammable materials. The California Health and Safety Codes, and local City Ordinances regulate the handling, storage and transportation of hazardous and toxic materials. The California Health and Safety Codes require a Risk Management and Prevention Program (RMPP) for those uses that handle specified quantities of toxic and/or hazardous materials. Also, businesses which handle toxic or hazardous materials are required to complete a Hazardous Materials Management Program (HMMP). Furthermore, all business owners must file a site-specific business plan with the City Fire Department before a new building is occupied. All plans would specify what to do in the event of an accident, and which transportation routes would be used. As such, potential impacts associated with hazardous materials are expected to be less than significant.
- d. The proposed project is not located on a site that is included on a list of hazardous materials sites compiled pursuant to Government Code Section 65962.5 (DTSC, 2005); therefore, no impact will occur.
- e-f. The project is not located within an airport land use plan area, no airports are located within two miles of the project site, and the project site is not located within the vicinity of a private airstrip; therefore, no impact would occur.
- g-h. This project is located within an area currently receiving City emergency services and development of the site was anticipated with the NWRSP. The project will cause a less than significant impact to the City's Emergency Response or Management Plans.

VIII. Hydrology and Water Quality

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Violate any water quality standards or waste discharge requirements?			X		

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Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
b) Substantially deplete groundwater supplies or interfere substantially with groundwater recharge such that there would be a net deficit in aquifer volume or a lowering of the local groundwater table level (e.g., the production rate of pre-existing nearby wells would drop to a level which would not support existing land uses or planned uses for which permits have been granted)?			X		
c) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, in a manner which would result in substantial erosion or siltation on- or off-site?			X		
d) Substantially alter the existing drainage pattern of the site or area, including through the alteration of the course of a stream or river, or substantially increase the rate or amount of surface runoff in a manner which would result in flooding on- or off-site?			X		
e) Create or contribute runoff water which would exceed the capacity of existing or planned stormwater drainage systems or provide substantial additional sources of polluted water?			X		
f) Otherwise substantially degrade water quality?			X		
g) Place housing within a 100-year flood hazard area as mapped on a federal Flood Hazard Boundary or Flood Insurance Rate Map or other flood hazard delineation map?				X	
h) Place within a 100-year flood hazard area structures, which would impede or redirect flood flows?				X	
i) Expose people or structures to a significant risk of loss, injury or death involving flooding, including flooding as a result of the failure of a levee or dam?			X		
j) Inundation by seiche, tsunami, or mudflow?				X	

Discussion of Checklist Answers:

a,c-f. Development of the site will not result in any substantial water-related impacts. Construction of the proposed project and over-covering of the site with paving will have a minor effect on the absorption rate of water on-site. However, the project includes a drainage system designed in accordance with City Improvement Standards that will adequately handle onsite drainage associated with the development of the property. Minor amounts of wind and/or water erosion may be associated with construction of the project. However, the developer previously received approval of a grading permit that incorporated mitigation measures for dust and erosion control consistent with the City's Improvement Standards.

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Impacts were evaluated in the NWRSP EIR and other referenced environmental documents, which assumed full build-out of the site and other properties in the City and evaluated downstream flooding impacts resulting from increased surface water runoff. The previous environmental documents found that, with the implementation of City standards and programs, the potential flooding impacts would be less than significant.

- b. No groundwater withdrawal is proposed. The proposed project will have no impact on groundwater supplies and will not affect groundwater recharge more than that anticipated in the NWRSP EIR.
- g-h. The project site is not within a designated 100-year flood boundary or within the designated 100-year floodplain. Therefore, no impact would occur.
- i. The closest dam to the project site is Folsom Dam, over eight miles to the southeast and the project is not located in a watershed.
- j. Seiches and tsunamis are seismically induced large waves of water. Since there are no bodies of water nearby, the threat of seiche and tsunami is non-existent. Similarly, mudflows are not a concern based on the soil types found in Placer County. Therefore, the proposed project would have no impact relative to inundation by seiche, tsunami, or mudflow.

IX. Land Use and Planning

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Physically divide an established community?				X	
b) Conflict with any applicable land use plan, policy, or regulation of an agency with jurisdiction over the project (including, but not limited to the general plan, specific plan, local coastal program, or zoning ordinance) adopted for the purpose of avoiding or mitigating an environmental effect?					X
c) Conflict with any applicable habitat conservation plan or natural community conservation plan?				X	

Discussion of Checklist Answers:

- a-b. The City of Roseville General Plan includes goals and policies to promote land use patterns that enhance quality of life and minimize conflicts between land uses. These policies include evaluating noise, air quality, parks and recreation, affordable housing, schools, water and traffic when contemplating residential land use allocations. The General Plan land use designation and zoning for commercial portion of the property is Community Commercial (CC) and the residential portion is Attached Housing Residential (R3) and Medium Density Residential (MDR 7.9). The applicant intends to development 6.63 acres as a residential subdivision with 53 new units and 3.95 acres with a retail center. The proposed development is consistent with the land use designation and zoning designation; in addition, the subject property will be compatible with the surrounding land uses and zoning. The proposal is consistent with the existing General Plan land use and zoning designation. The project will not divide an existing community; therefore, no impact would occur.
- c. There are no Habitat Conservation Plans or Natural Community Conservation Plans covering the project site. Therefore, no impact would occur.

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X. Mineral Resources

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Result in the loss of availability of a known mineral resource that would be of value to the region and the residents of the state?				X	
b) Result in the loss of availability of a locally-important mineral resource recovery site delineated on a local general plan, specific plan or other land use plan?				X	

Discussion of Checklist Answers:

- a-b. The project site is not known to include any mineral resources that would be of local, regional, or statewide importance; therefore, the project is not considered to have any impacts on mineral resources.

XI. Noise

Would the project result in:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Exposure of persons to or generation of noise levels in excess of standards established in the local general plan or noise ordinance, or applicable standards of other agencies?			X		
b) Exposure of persons to or generation of excessive groundborne vibration or groundborne noise levels?			X		
c) A substantial permanent increase in ambient noise levels in the project vicinity above levels existing without the project?		X			
d) A substantial temporary or periodic increase in ambient noise levels in the project vicinity above levels existing without the project?		X			
e) For a project located within an airport land use plan or, where such a plan has not been adopted, within two miles of a public airport or public use airport, would the project expose people residing or working in the project area to excessive noise levels?				X	
f) For a project within the vicinity of a private airstrip, would the project expose people residing or working in the project area to excessive noise levels?				X	

Discussion of Checklist Answers:

- a-d. A Noise Impact study has been prepared for the project by Bollard & Brennan, Inc and is available for review at the Planning Department. The report analyzes the noise impact on the proposed project from Foothills Boulevard, Pleasant Grove Boulevard, and from the proposed retail center. The City of Roseville General Plan establishes interior and exterior noise level standards that must be complied with when allocating residential land use. The exterior noise level standard for sensitive receptors, such as the proposed residential development, is 60ldn. Noise levels up to 65 ldn may be allowed if mitigation measures are implemented (i.e. sound walls) and the noise level still exceeds 60 ldn. The interior sound level standard for residential developments 45 ldn.

The noise study indicated that mitigation measure would need to be incorporated into the project design to reduce noise levels to City standards. The mitigation measures are as follow:

Mitigaiton Measure XI.1: A five (5) foot tall parapet should be constructed along the rear roof line of the commercial buildings adjacent to the proposed residential uses. As an alternative, a detailed HVAC analysis may be performed when the HVAC plan becomes available. If the HVAC analysis indicates that noise levels are within the City standards, the parapet height will not need to be raised.

Mitigation Measure XI.2: The construction techniques shown in Table 5 of the noise study shall be followed for all first and second floor facades of homes with direct exposure to traffic noise from Pleasant Grove and Foothills Boulevards.

Mitigation Measure XI.3: If Lot 5 provides a patio area facing Pleasant Grove Boulevard a 9-foot tall sound barrier shall be required.

All operations associated with the project will be required to comply with the provisions of the City of Roseville Noise Ordinance and the General Plan Noise Element. Compliance with the provisions of these documents will reduce potential noise impacts to less than significant levels.

Long-term noise levels related to the proposed use are not expected to be significant. Noise levels, both daytime and evening, will be within acceptable levels determined by the City's Municipal Code Title 9. The proposed use is a senior care facility, which generally does not generate extensive levels of noise. Deliveries will be limited to daytime business hours and will not occur in the evening. Noise impacts related to the long-term use of the site are therefore considered less than significant.

Short-term construction activities on the site could expose nearby residents to increased noise levels, including ground-born vibrations. These impacts are temporary in nature (being associated with construction of the facility) and are not anticipated to result in any unusual or excessive ground-born vibration or noise levels. In addition, construction hours are limited by the City's Municipal Code Section 9.24 to daytime hours (7:00 a.m. to 7:00 p.m., Monday through Friday, and 8:00 a.m. to 8:00 p.m., Saturday, Sunday and Holidays.) These potential impacts are therefore considered less than significant.

- e-f. The proposed project site is not located within an airport land use plan area nor is it located within two miles of an airport or within the vicinity of a private airstrip. No impact would occur relative to exposing people to excessive airport related noise levels.

XII. Population and Housing

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Induce substantial population growth in an area, either directly (for example, by proposing new homes and businesses) or indirectly (for example, through extension of roads or other infrastructure)?			X		

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Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
b) Displace substantial numbers of existing housing, necessitating the construction of replacement housing elsewhere?				X	
c) Displace substantial numbers of people, necessitating the construction of replacement housing elsewhere?				X	

Discussion of Checklist Answers:

- a. Approval of the proposed project will allow the construction of 53-unit residential community (potentially yielding a population of 135 new residents). While this development will induce an increase in population, the project is consistent with the development assumptions anticipated by the land use and zoning. These potential impacts are acknowledged in the General Plan and NWRSP EIR and are considered to be less than significant.
- b-c. The proposal will not displace any existing homes or people, and therefore, will not necessitate the construction of replacement housing elsewhere. No impact will occur.

XIII. Public Services

Would the project result in substantial adverse physical impacts associated with the provision of new or physically altered governmental facilities, need for new or physically altered governmental facilities, the construction of which could cause significant environmental impacts, in order to maintain acceptable service ratios, response times or other performance objectives for any of the following public services:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Fire protection?			X		
b) Police protection?			X		
c) Schools?			X		
d) Parks?			X		
e) Other public facilities?			X		

Discussion of Checklist Answers:

- a-e. The site is currently within an area being served by Police and Fire. The addition of 53 new homes will not negatively affect the ability of Police, Fire or medical aid to respond. The project will be conditioned to enter into a mutual benefit agreement with the school districts to address impacts to schools. As a result, the proposed project will not have a significant effect upon or create additional need for public services (fire protection, police services, and schools). The impacts associated with the expansion upon public services would be considered less than significant.

XIV. Recreation

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Would the project increase the use of existing neighborhood and regional parks or other recreational facilities such that physical deterioration of the			X		

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Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
facility would occur or be accelerated?					
b) Does the project include recreational facilities or require the construction or expansion of recreational facilities which might have an adverse physical effect on the environment?			X		

Discussion of Checklist Answers:

- a-b. The proposal will generate additional demand for recreation opportunities and impact the recreational facilities in Roseville. In addition to the standard citywide and neighborhood park fees, the developer will be required to pay an in-lieu fee to satisfy the parkland dedication requirement for any new residential units associated with this project. The is consistent with the City's General Plan policy of providing nine acres of parkland per 1,000 residents. Therefore, as conditioned, the project will have a less than significant impact on recreational facilities.

XV. Transportation/Traffic

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Cause an increase in traffic, which is substantial in relation to the existing traffic load and capacity of the street system (i.e., result in a substantial increase in either the number of vehicle trips, the volume-to-capacity ratio on roads, or congestion at intersections)?			X		
b) Exceed, either individually or cumulatively, a level of service standard established by the county congestion management agency for designated roads and highways?			X		
c) Result in a change in air traffic patterns, including either an increase in traffic levels or a change in location that results in substantial safety risks?				X	
d) Substantially increase hazards due to a design features (e.g., sharp curves or dangerous intersections) or incompatible uses (e.g., farm equipment)?			X		
e) Result in inadequate emergency access?			X		
f) Result in inadequate parking capacity?			X		
g) Conflict with adopted policies, plans, or programs supporting alternative transportation (e.g., bus turnouts, bicycle racks)?				X	

Discussion of Checklist Answers:

- a-b. A long-term traffic analysis has been prepared for the project by Omni-Means, Inc. and is available for review in the Roseville Planning and Redevelopment Department. The traffic study analyzed the long-term and short-term impacts associated with the project under several different scenarios.

The study indicated that the proposed project would generate 3,713 daily trips and 346 pm peak hour trips. The City's traffic model assumes an FAR of 30% for parcels with a CC land use designation. Therefore, the site could be developed with a 139,827 square-foot shopping center given the current land use, zoning, and traffic model assumptions. This would result in a total of 14,402 daily trips (103 trips: 1000 square feet.) and 1,310 pm peak hour trips (9.37 trips: 1000 square feet).

Since the proposed project generates significantly fewer daily and pm peak hour trips; traffic impacts will have a less than significant impact on the environment.

- c. No airports are located in proximity to the project site. The project will not result in a change to air traffic patterns. No impact would occur.
- d. The Public Works Department has determined that the design of the proposed project does not result in any hazardous sharp curves or dangerous intersections. Based on the proposed turning movements, there are no sight distance issues that will affect vehicles entering or exiting the site. No impact would occur.
- e. The City's Fire Department reviewed the project and determined that the design will provide adequate emergency access. No impact to emergency access would occur as a result of the proposed project beyond what was anticipated with development of the site, which is consistent with the NWRSP.
- f. The project is proposing 53 single family residential units, a maximum of 18,100 square feet of retail use, and 11,617 square feet of restaurant uses. The parking ratios for each of these uses are as follows:

Single-Family	2: unit (106 spaces)
Retail	1:300 (60 spaces)
Restaurant	1:100 (116 spaces)

Based on the design of the residential project (cluster development with no on-street parking). The City is requiring that guest parking be provided at a ratio of one space for every ten units. Therefore, the total parking requirement for the project is 282 spaces. The project provides a total of 284 spaces; however, due to Ordinance changes the allowable size of compact stalls has been increased from 8 feet by 16 feet to 9 feet by 16 feet. This change will result in the deletion of four parking spaces resulting a net balance of 180 parking stalls provided onsite. In order to comply with the appropriate parking standard, the commercial buildings will be reduced by a total of 400 square feet, resulting in a new parking requirement of 280 stalls, which will be consistent with the number of parking spaces provided onsite.

Based on the above information, the project impacts associated with transportation/circulation and parking is considered less than significant

- g. The project will provide bike parking, pedestrian paths, and a bus turn-out for shuttle services.

XVI. Utilities and Service Systems

Would the project:

Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
a) Exceed wastewater treatment requirements of the applicable Regional Water Quality Control Board?					X

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Environmental Issue	Potentially Significant Impact	Less Than Significant With Mitigation	Less Than Significant Impact	No Impact	Exempt per 15183/21083.3
b) Require or result in the construction of new water or wastewater treatment facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?					X
c) Require or result in the construction of new storm water drainage facilities or expansion of existing facilities, the construction of which could cause significant environmental effects?					X
d) Have sufficient water supplies available to serve the project from existing entitlements and resources, or are new or expanded entitlements needed?					X
e) Result in a determination by the wastewater treatment provider which serves the project that it has adequate capacity to serve the project's projected demand in addition of the provider's existing commitments?					X
f) Be served by a landfill with sufficient permitted capacity to accommodate the project's solid waste disposal needs?					X
g) Comply with federal, state, and local statutes and regulations related to solid waste?					X

Discussion of Checklist Answers:

a-g. Electric, water, sewer and refuse collection services will be provided by the City of Roseville. Natural gas will be provided by PG&E, telephone by Surewest and cable by Comcast. The developer will be responsible for extending new lines onto the site in order to serve the project. Storm water will be collected on-site and transferred via pipe into an off-site storm drain system. Solid waste will be collected by the City of Roseville's Refuse Department.

Various City departments and utility agencies have reviewed the requests and determined that adequate capacities are present to serve the project without impacting their ability to maintain existing levels of service. Therefore, the project related impacts are less than significant.

XVII. Mandatory Findings of Significance

Environmental Issue	Potentially Significant	Potentially Significant Unless Mitigated	Less Than Significant	No Impact	Exempt per 15183/21083.3
a) Does the project have the potential to degrade the quality of the environment, substantially reduce the habitat of a fish or wildlife species, cause a fish or			X		

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Environmental Issue	Potentially Significant	Potentially Significant Unless Mitigated	Less Than Significant	No Impact	Exempt per 15183/21083.3
wildlife population to drop below self-sustaining levels, threaten to eliminate a plant or animal community, reduce the number or restrict the range of a rare or endangered plant or animal, or eliminate important examples of the major periods of California history or prehistory?					
b) Does the project have impacts which are individually limited, but cumulatively considerable? ("Cumulatively considerable" means that the incremental effects of a project are considerable when viewed in connection with the effects of past projects, the effects of other current projects, and the effects of probable future projects).			X		
c) Does the project have environmental effects which will cause substantial adverse effects on human beings, either directly or indirectly?			X		

Discussion of Checklist Answers:

- a.-c. The project site does not contain any substantial environmental resources. The proposed entitlements do not impact long-term environmental goals. The cumulative impacts do not deviate beyond what was contemplated by the NWRSP and 2020 General Plan EIR. The project does not have the potential to degrade the quality of the environment, reduce the habitat of any wildlife species nor create adverse effects on human beings.

Attachments:

1. Site Plan/Parcel Map
2. Commercial Building Elevations
3. Residential Building Elevations
4. Landscaping Plan
5. Grading & Drainage Plan
6. Utility Plan
7. Noise Study
8. Traffic Study

DC ATTACHMENT 2



PLANNING & REDEVELOPMENT DEPARTMENT

311 Vernon Street, Roseville, CA 95678 (916) 774-5276

MITIGATION MONITORING PROGRAM

Project Title/File Number:	NWRSP PCL 11 Breton Village / Project# 2008PL-072 (File # DRP-000284, DRP-000285 & SUB-000114)
Project Location:	7500 Foothill Boulevard; Roseville; Placer County; 477-080-007-000
Project Description:	The applicant is requesting an environmental determination for the construction of two commercial buildings totaling 30,140 square feet with associated landscaping, lighting and parking, the construction of a 53 unit single-family cluster development, and a Tentative Subdivision Map to subdivide 25.9 acres into ninety-five (53) single-family residential lots.
Project Applicant/Property Owner:	Paul Bollinger, Breton Village; 540 Fulton Avenue, Sacramento, CA 95825; (916) 489-4600
Lead Agency Contact Person:	Wayne Wiley, Associate Planner – City of Roseville; (916) 774-5276

Section 21081.6 of the California Public Resources Code requires public agencies to "adopt a reporting and monitoring program for the changes to the project which it has adopted or made a condition of project approval in order to mitigate or avoid significant effects on the environment." This monitoring program is required for the project as significant adverse impacts have been identified, and mitigation measures have been identified to mitigate those impacts.

MONITORING PROCESS: Existing monitoring mechanisms are in place that assists the City of Roseville in meeting the intent of CEQA. These existing monitoring mechanisms eliminate the need to develop new monitoring processes for each mitigation measure. These mechanisms include grading plan review and approval, improvement/building plan review and approval and on-site inspections by City Departments. Given that these monitoring processes are requirements of the project, they are not included in the mitigation-monitoring program. Therefore, only those mitigation measures that are unique to this project are listed in the following monitoring table. The table indicates the required mitigation, who is the responsible party for monitoring, when the monitoring is to occur, and when the monitoring has been completed.

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MITIGATION MONITORING TABLE – BRETON VILLAGE

MITIGATION NUMBER	DESCRIPTION	GRADING PERMIT	IMPROVE/ BUILDING PLANS	DURING CONST	PLAN CHECK CITY DEPT.	MON. CITY DEPT.	DATE COMP.
Air Quality III.1	The applicant shall submit to the District a Construction Emission / Dust Control Plan within thirty (30) days prior to groundbreaking. If the District does not respond within twenty (20) days, the plan shall be considered approved. The plan must address the minimum requirements found in section 300 and 400 of District Rule 228, Fugitive Dust. The applicant shall keep a hard or electronic copy of Rule 228, Fugitive Dust on-site for reference.	N/A	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	
Air Quality III.2	The Construction Emission/Dust Control Plan shall include a comprehensive inventory (i.e. make, model, year, emission rating) of all heavy-duty off-road equipment (50 horsepower or greater) that will be used an aggregate of 40 or more hours for the construction project. The project representative shall provide the District with the anticipated construction timeline including start date, and name and phone number of the project manager and on-site foreman. The plan shall demonstrate that the heavy-duty (> 50 horsepower) off-road vehicles to be used in the construction project, including owned, leased and subcontractor vehicles, will achieve a project wide fleet-average 20 percent	N/A	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	

DC ATTACHMENT 2

	NOx reduction and 45 percent particulate reduction compared to the most recent CARB fleet average. The District should be contacted for average fleet emission data. Acceptable options for reducing emissions may include use of late model engines, low-emission diesel products, alternative fuels, engine retrofit technology, after-treatment products, and/or other options as they become available. Contractors can access the Sacramento Metropolitan Air Quality Management District's web site to determine if their off-road fleet meets the requirements listed in this measure.						
Air Quality III.3	Clean earth moving construction equipment with water, or sweep clean, once per day, or as necessary (e.g., when moving onsite), consistent with NPDES BMP's, local ordinances and municipal codes. Water shall be applied to control dust as needed to prevent dust impacts offsite. Operational water truck(s), shall be onsite, as required, to control fugitive dust. Construction vehicles leaving the site shall be cleaned, as needed, to prevent dust, silt, mud, and dirt from being released or tracked off-site.	N/A	N/A	Planning & Redevelopment	Planning & Redevelopment	N/A	
Air Quality III.4	Spread soil binders on unpaved roads and employee/equipment parking areas. Soil binders shall be non-toxic in accordance with state and local regulations. Apply approved chemical soil stabilizers, or vegetated mats, etc. according to manufacturers	N/A	N/A	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	N/A	

DC ATTACHMENT 2

	specifications, to all-inactive construction areas (previously graded areas which remain inactive for 96 hours).						
Air Quality III.5	Minimize diesel idling time to a maximum of 10 minutes.	N/A	N/A	Planning & Redevelopment	Planning & Redevelopment	N/A	
Air Quality III.6	Use California Air Resources Board (CARB) low-sulfur diesel fuel.	N/A	N/A	N/A	Planning & Redevelopment	N/A	
Air Quality III.7	Utilize existing power sources (e.g., power poles) or clean fuel generators rather than temporary diesel power generators, if feasible.	N/A	N/A	N/A	Public Works / Engineering & Planning & Redevelopment	N/A	
Air Quality III.8	All truck loading and unloading docks shall be equipped with one 110/208-volt power outlet for every two-dock door. Diesel trucks shall be prohibited from idling more than five minutes and must be required to connect to the 110/208-volt power to run any auxiliary equipment. Signage shall be provided.	N/A	N/A	N/A	Public Works / Engineering & Planning & Redevelopment	N/A	
Air Quality III.9	Install solar electric generation systems where feasible. Recommend participation in Roseville Electric incentive programs for energy-efficient development.	Public Works / Engineering & Roseville Electric Planning & Redevelopment	Public Works / Engineering & Roseville Electric Planning & Redevelopment	Public Works / Engineering & Roseville Electric Planning & Redevelopment	Public Works / Engineering & Roseville Electric Planning & Redevelopment	N/A	
Noise XI.1	A five (5) foot tall parapet should be constructed along the rear roof line of the commercial buildings adjacent to the proposed residential uses. As an alternative, a detailed HVAC analysis may be performed when the HVAC plan becomes available. If the HVAC analysis indicates that noise levels are within the City standards, the parapet	N/A	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	

DC ATTACHMENT 2

	height will not need to be raised.						
Noise XI.2	The construction techniques shown in Table 5 of the noise study shall be followed for all first and second floor facades of homes with direct exposure to traffic noise from Pleasant Grove and Foothills Boulevards.	N/A	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	
Noise XI.3	If Lot 5 provides a patio area facing Pleasant Grove Boulevard a 9-foot tall sound barrier shall be required.	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	Public Works / Engineering & Planning & Redevelopment	N/A	



1651 Old Meadow Road
Suite 100
McLean, VA 22102
703.992.7985

September 24, 2018

Shelby Vockel
Associate Planner
Development Services - Planning
City of Roseville
311 Vernon Street
Roseville, CA 95678

Re: Artis Senior Living of Roseville, NEC Pleasant Grove Ave and Foothills Blvd
File # PL18-0286 - NWRSP PCL 11A

Dear Shelby:

On behalf of Artis Senior Living, we are pleased to present this letter to outline our proposal to develop a memory care assisted living residence in Roseville.

We are very excited about the opportunity to develop in Roseville. Artis recently commenced development efforts in California and has identified over 30 select markets. Roseville is a premier market in terms of desirability, location and need for memory care services. Artis currently has 8 sites in the planning phase in California.

Site

The site is a 3.9 acre parcel located at the NEC Pleasant Grove Ave and Foothills Blvd. The site is a vacant parcel bordered by residential uses to the west and north, a vacant parcel to the east, and commercial uses to the south.

Development Proposal

Artis is proposing a 72-resident assisted living residence dedicated entirely to people afflicted with Alzheimer's disease and related memory disorders. The residence is a planned single-story building of approximately 37,000 sf with a maximum height of 21 feet from the finished floor elevation. The building will require approximately 50 surface parking spaces.

The building design was refined through 20 years of operational experience with individuals affected by memory loss. Noteworthy features include:

- Secure outdoor courtyards (including covered porches) that provide resident-safe landscaping, walking paths, and seating areas. The outdoor areas are fenced to provide privacy for the residents and screening from adjacent neighbors.

DC ATTACHMENT 3

- Interior features that include smaller-scale spaces, residential finishes, and themes for way-finding and location recognition.
- Four residential “neighborhoods,” with unique identities and visual décor to ease resident anxiety through familiar surroundings. Each neighborhood includes a living room, den, a residential kitchen, and a dining room where meals are served (meals are prepared in the central kitchen).
- The “town center” connects the four neighborhoods and features a health center, community center, studio, and beauty salon/barber shop. The town center provides opportunities for larger gatherings and activities including exercise, religious services, entertainment, and additional access to outdoor courtyards.

Staffing

Upon full occupancy, the facility will be staffed with employees in 3 shifts as follows:

7AM-3PM: 26

3PM-11PM: 14

11PM-7AM: 6

Artis Senior Living

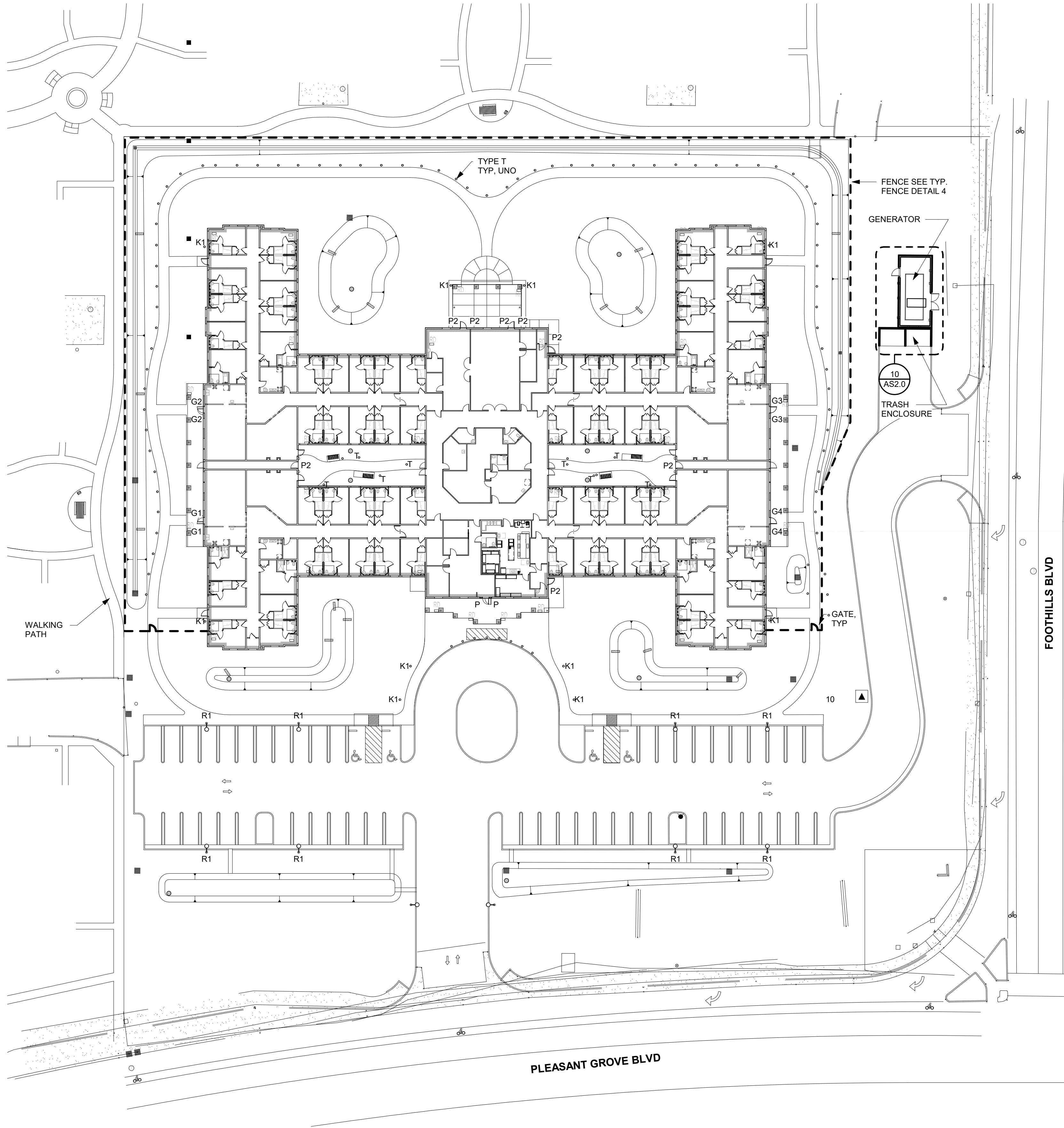
Artis Senior Living was founded in 2012 by the Bainum family and leading senior care executives who have developed national brands such as ManorCare and Somerford senior communities since 1959. Artis Senior Living is a premier owner-operator of senior care communities committed to providing the finest level of memory care through individually designed programs combined with a compassionate dedication to each resident’s comfort and needs. Artis has a portfolio of 45 communities, including 14 in operation, 28 in planning and 3 under construction nationwide. For more information, please see www.artis seniorliving.com. Our portfolio images may be found at <https://www.dropbox.com/s/d4t7g36xcm1xaqu/Artis%20Portfolio%20Imagery%20-%20Updated%203.14.2018.pdf?dl=0>

We look forward to working with the City of Roseville on approval of this project. In the meantime, please do not hesitate to contact me or Joey Daggett if you have any questions or require additional information.

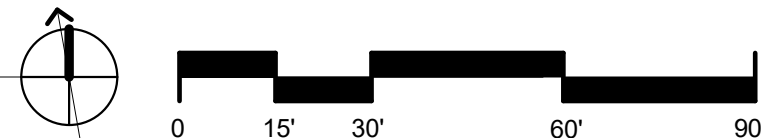
Sincerely,



Rick Bell
Consultant
Artis Senior Living



1 SITE PLAN
1" = 30'-0"



LIGHT FIXTURE SCHEDULE		
TYPE	MANUFACTURE	MODEL #
P/P2	PROGRESS	P6033-WB
R1	LITHONIA	DSX1LED40C53040KT4M
K1	PROGRESS	PCBOR-12LU4K-DO-U-DB-360
T	HADCO	1012H EXTERIOR
G1	PROGRESS	P5862-31WB
G2	PROGRESS	P5750-84
G3	PROGRESS	P5990-20
G4	PROGRESS	P5770-20

Hadco 1012-H BEACONS



Product Description
BEACONS

T FIXTURE



DATE: DEC 2016 TYPE: G-1
NAME:
PROJECT:

Compact fluorescent
P5862-31WB
Westport CFL

Add a touch of rustic appeal with beaded detailing in the Westport CFL collection. Etched seeded glass complements the durable powder coat finish in die-cast aluminum frame. Energy Star. Bulb included. One-light CFL wall lantern.
Category: Outdoor
Finish: Black (powdercoat)
Construction: Die cast aluminum construction
Glass: Etched Seeded glass

Width: 6-7/8"
Height: 12-3/4"
Depth: 8-3/8"
HxT: 3-1/8"

Glass: 5" dia.
Height: 4-1/8"

G1 FIXTURE

Incandescent			Dibs Outdoor		Outdoor			
					Stone House Exterior			
					Type		G3	
					-09		-20	
					P5990		☐	
							☐	



architecture
incorporated
1902 campus commons drive
suite 101
reston, virginia 20191
Tel: 703.476.3900
Fax: 703.264.0733
www.archinc.com

Artis Senior Living of Roseville
ARTIS SENIOR LIVING

1260 PLEASANT GROVE BLVD.
ROSEVILLE CA, 95747

Project: 17005.07

Issued 11/14/18
ENTITLEMENT
REVISIONS

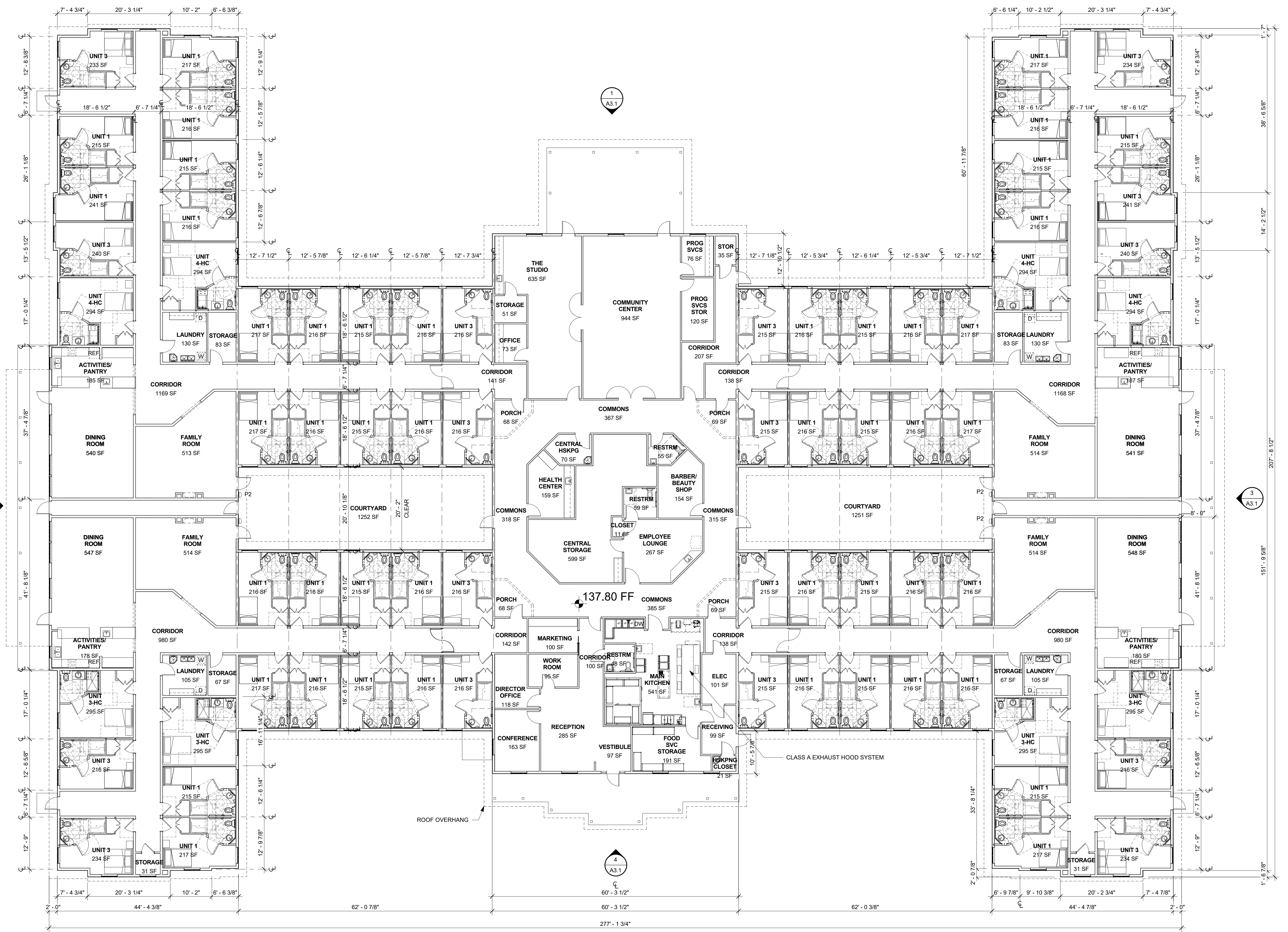
FIRST FLOOR PLAN

Scale: 3/32" = 1'-0"
Drawn: Author
Checked: Checker

CITY OF ROSEVILLE APPROVAL

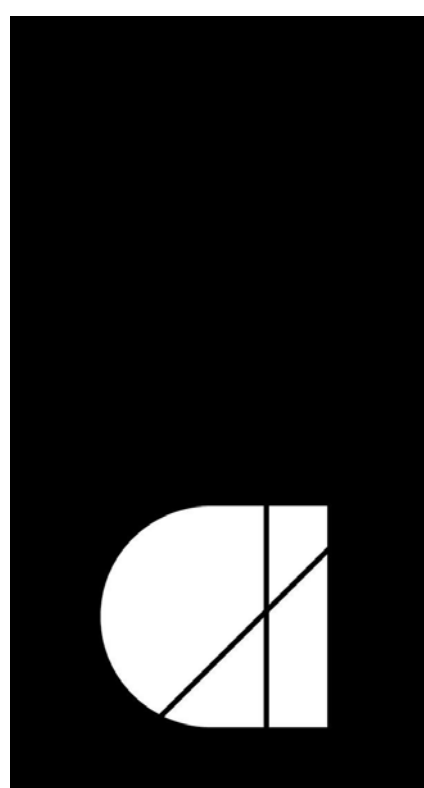
A1.0

ENTITLEMENT



1 FIRST FLOOR PLAN
3/32" = 1'-0"

FLOOR AREA = 37,600 GSF
UNIT COUNT = 72 UNITS



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incorporated
1902 campus commons drive
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reston, virginia 20191
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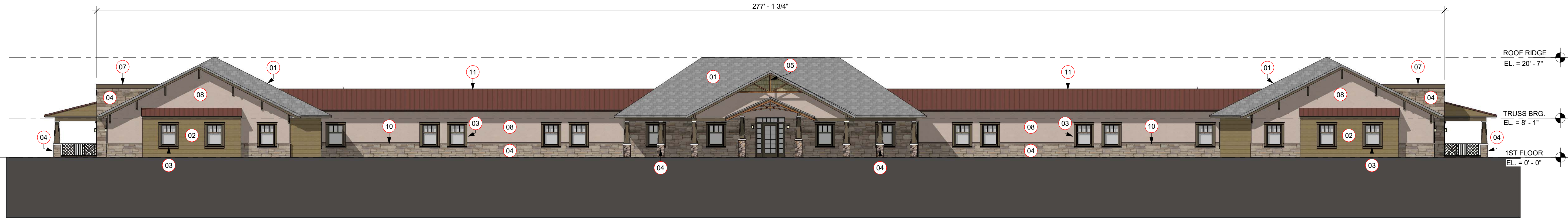
ELEVATIONS

Scale: 3/32" = 1'-0"
Drawn: WJO
Checked: CB

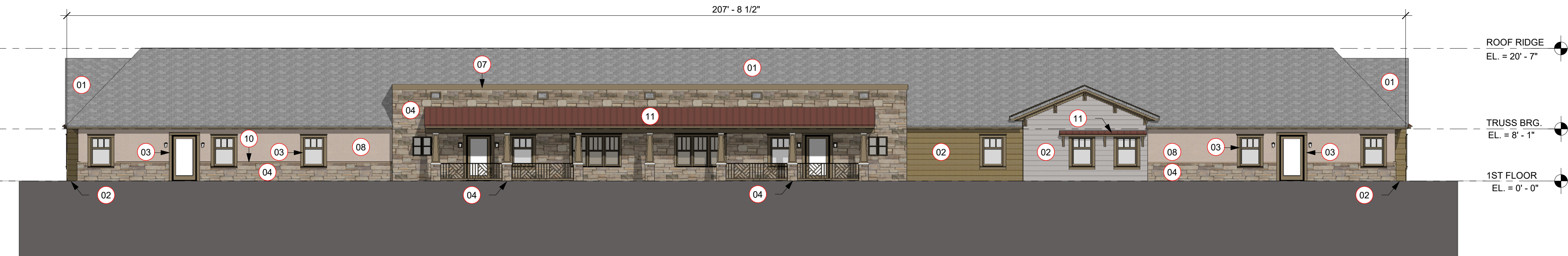
CITY OF ROSEVILLE APPROVAL

A3.1

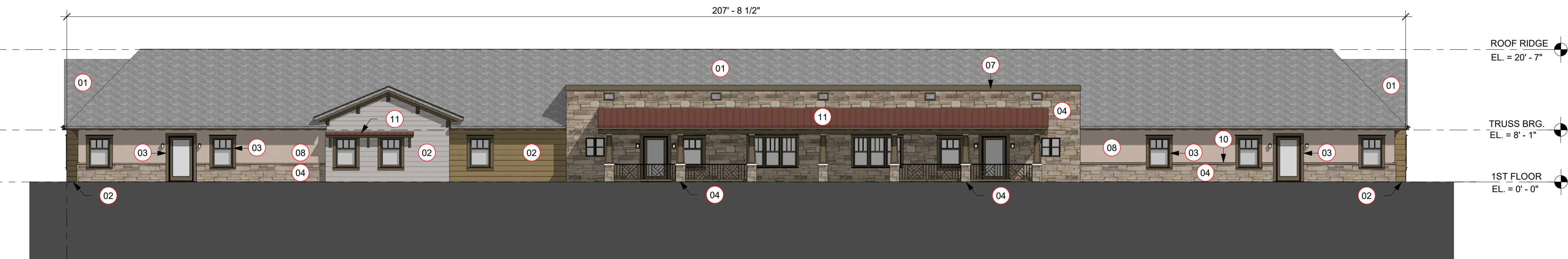
ENTITLEMENT



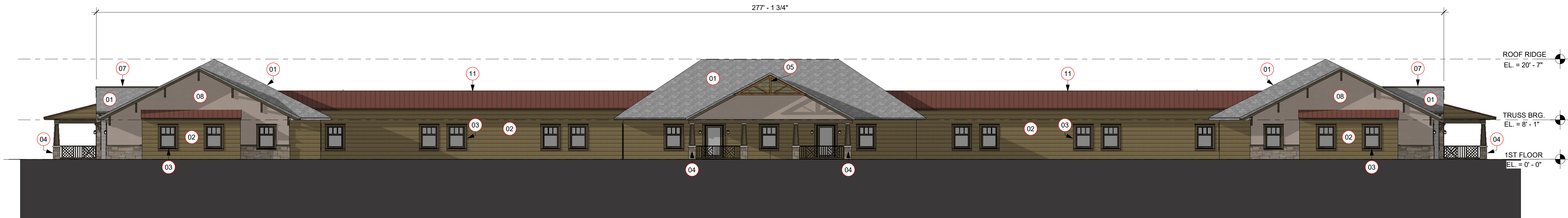
4 SOUTH ELEVATION
3/32" = 1'-0"



3 EAST ELEVATION
3/32" = 1'-0"



2 WEST ELEVATION
3/32" = 1'-0"



1 NORTH ELEVATION
3/32" = 1'-0"

MATERIAL LEGEND

- 01 CONCRETE ROOF TILES
MANUFACTURE: BORAL ROOFING
MODEL: SAXONY 900 SLATE COLOR: STONE MOUNTAIN BLEND
- 02 CEMENT FIBER SIDING 7" EXPOSURE
MANUFACTURE: JAMES HARDIE
MODEL: HARDIPLANK LAP SIDING - CEDARMILL COLOR: WOODSTOCK BROWN
- 03 CEMENT FIBER TRIM 5/4 X4 AT WINDOWS AND DOORS. ADD 8/4 X6 TRIM AT WINDOW HEADS.
MANUFACTURE: JAMES HARDIE
MODEL: HARDITRIM - SMOOTH COLOR: TIMBER BARK
- 04 MANUFACTURED STONE VENEER
MANUFACTURE: BORAL STONE
MODEL: COUNTRY LEDGESTONE COLOR:ASHFALL
- 05 EXPOSED WOOD TRUSS
- 06 NOT USED
- 07 STONE CAP
- 08 EIFS
MANUFACTURE: DRYVIT
MODEL: SUEDE#105ST TEXTURE: SANDBLAST
- 09 NOT USED
- 10 CAST STONE SILL
MANUFACTURE: BORAL STONE
MODEL: CAST-FIT WATERTABLE/ SILL COLOR: CARBON
- 11 STANDING SEAM MTL ROOF
MANUFACTURE: ENGLERT
MODEL: SERIES A1000 COLOR: COLONIAL RED



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Project: 17005.07

Issued 11/14/18
ENTITLEMENT
REVISIONS

ROOF PLAN

Scale: 3/32" = 1'-0"
Drawn: WJO
Checked: CB

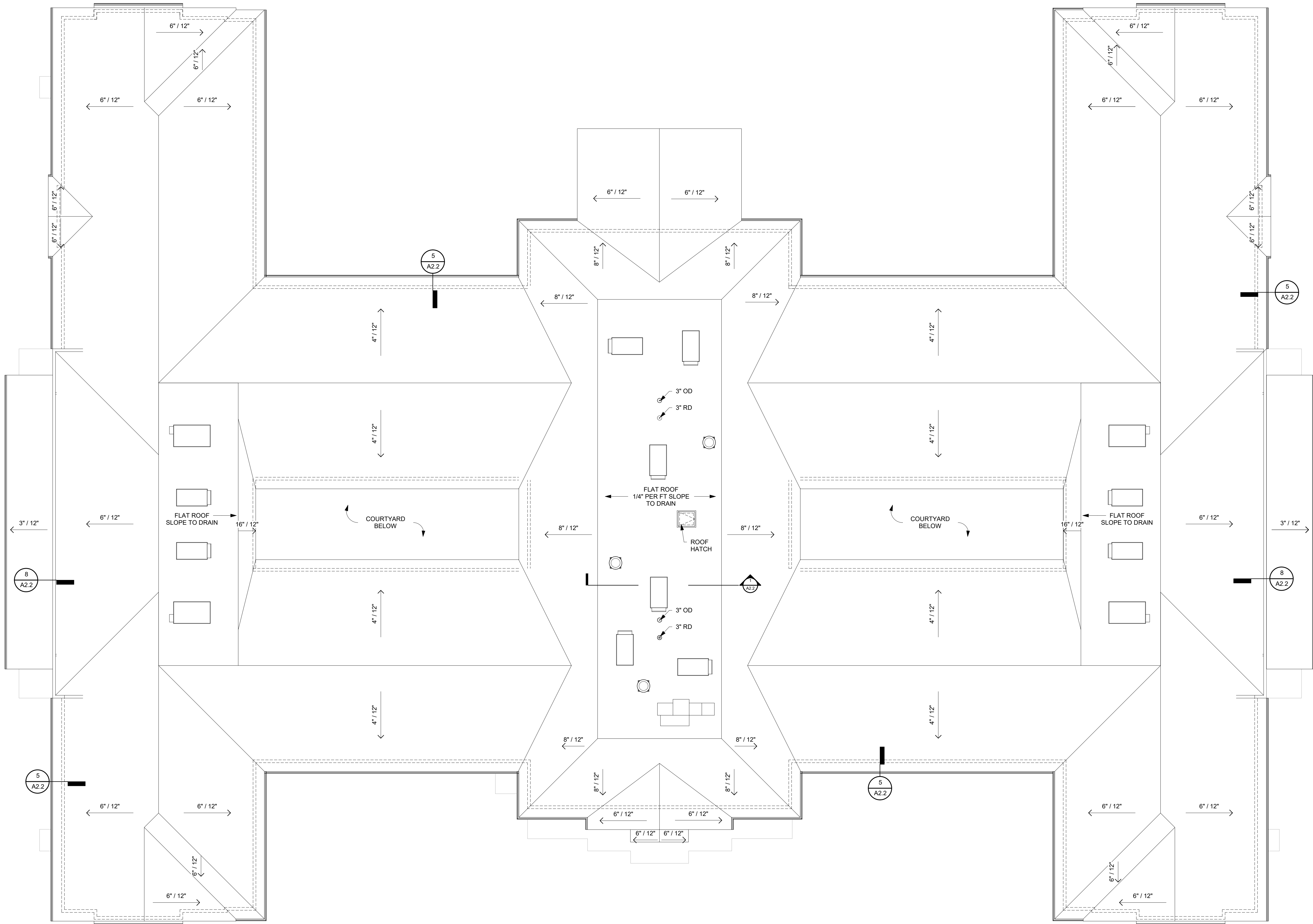
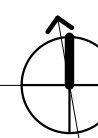
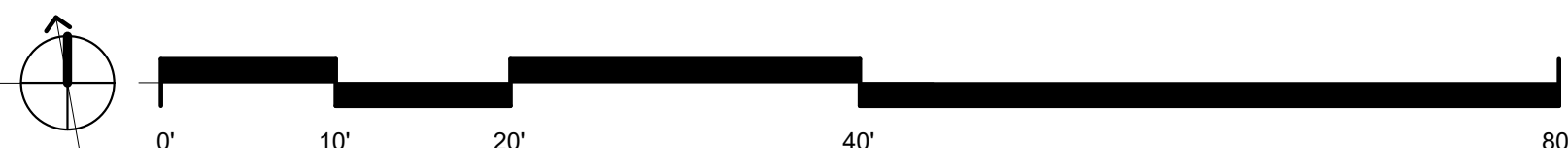
CITY OF ROSEVILLE APPROVAL

A2.1

ENTITLEMENT

1 ROOF PLAN

3/32" = 1'-0"





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Issued	11/14/18
ENTITLEMENT	
REVISIONS	

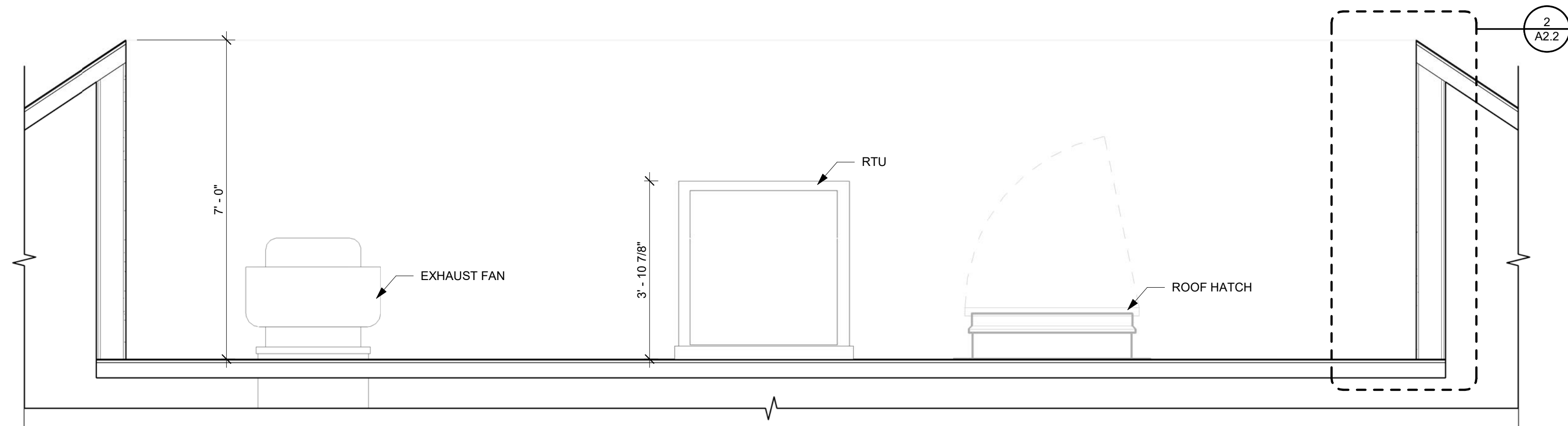
ROOF DETAILS

Scale: **As indicated**
 Drawn: WJO
 Checked: CB

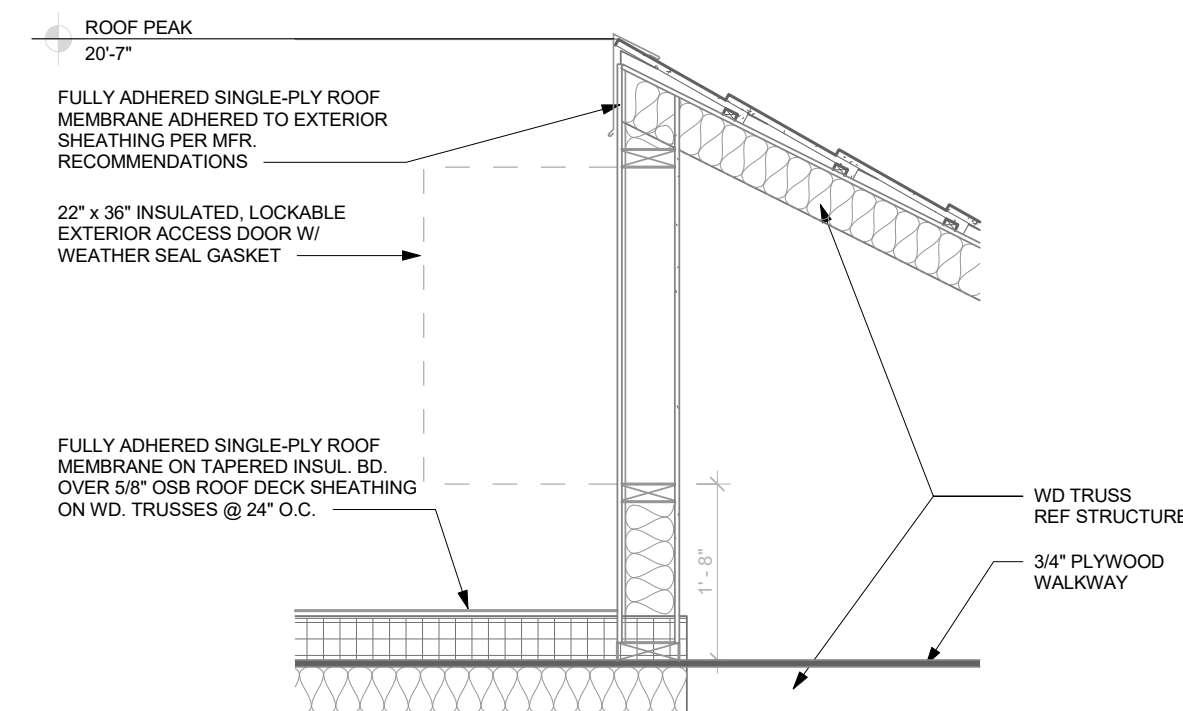
CITY OF ROSEVILLE APPROVAL: _____

A2.2

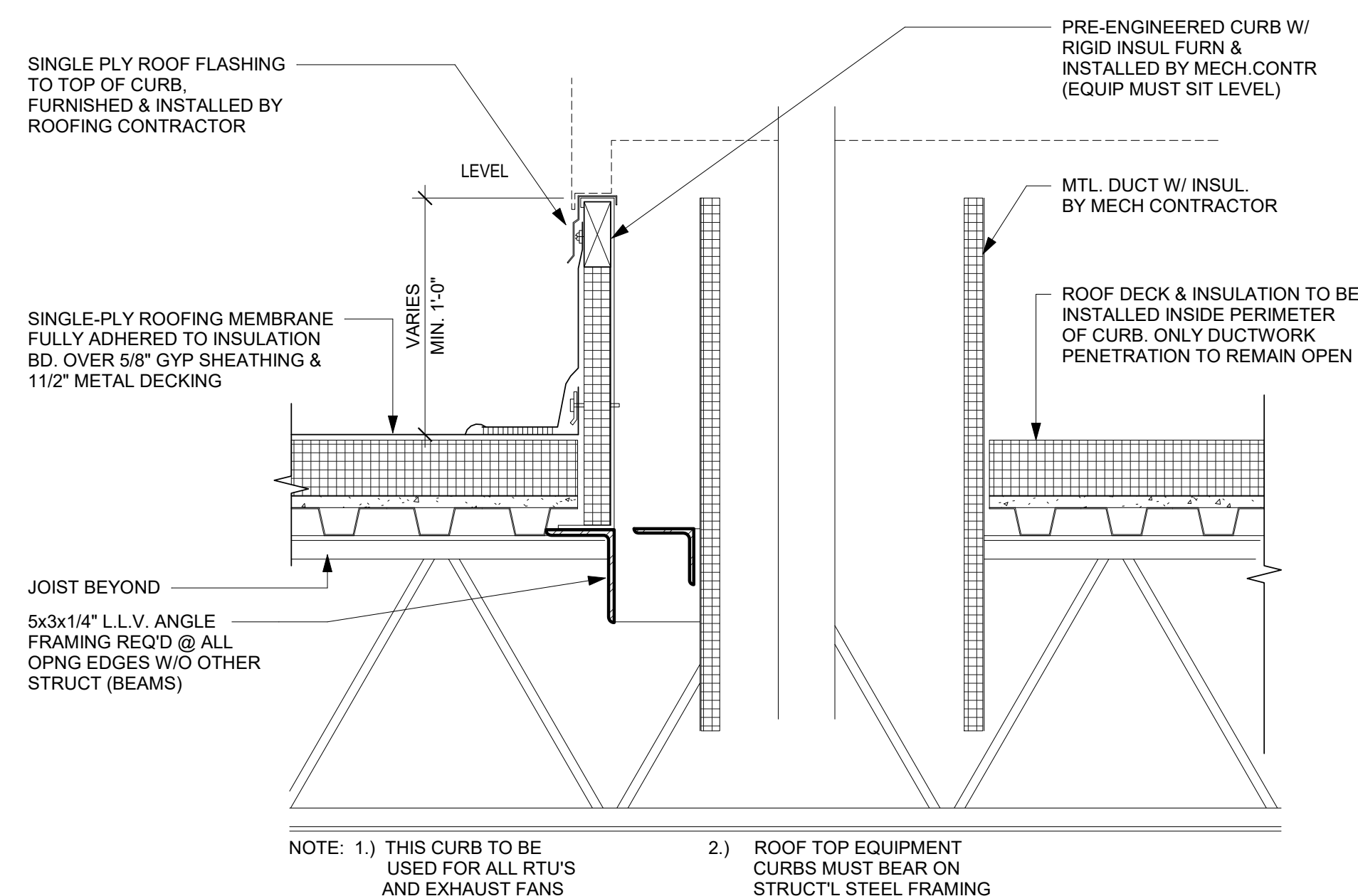
ENTITIMENT



1 ROOF CROSS SECTION

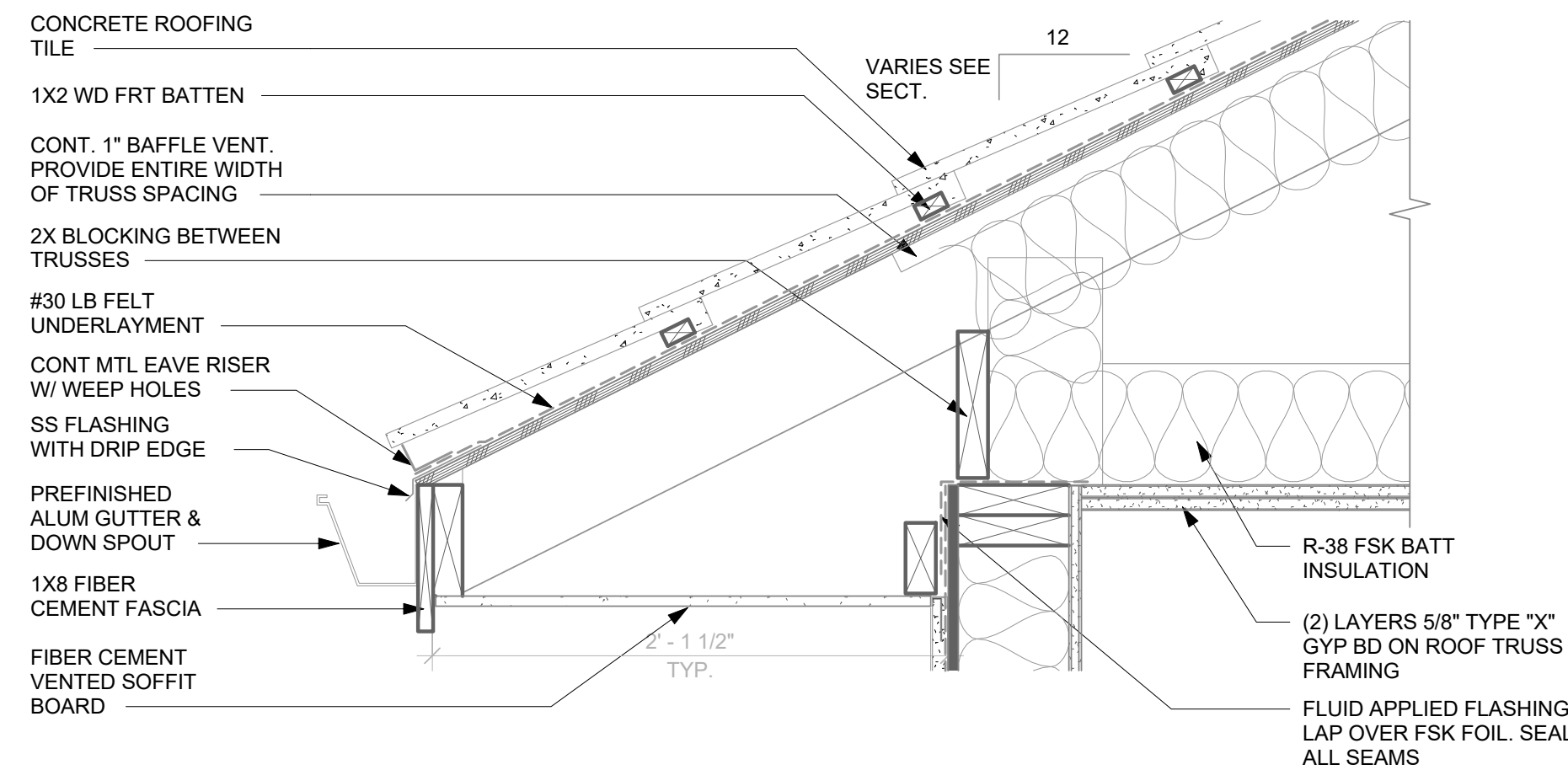
$$1/2'' = 1'-0''$$


② SHED ROOF FLASHING DETAIL

$$1\frac{1}{2}'' = 1'-0''$$


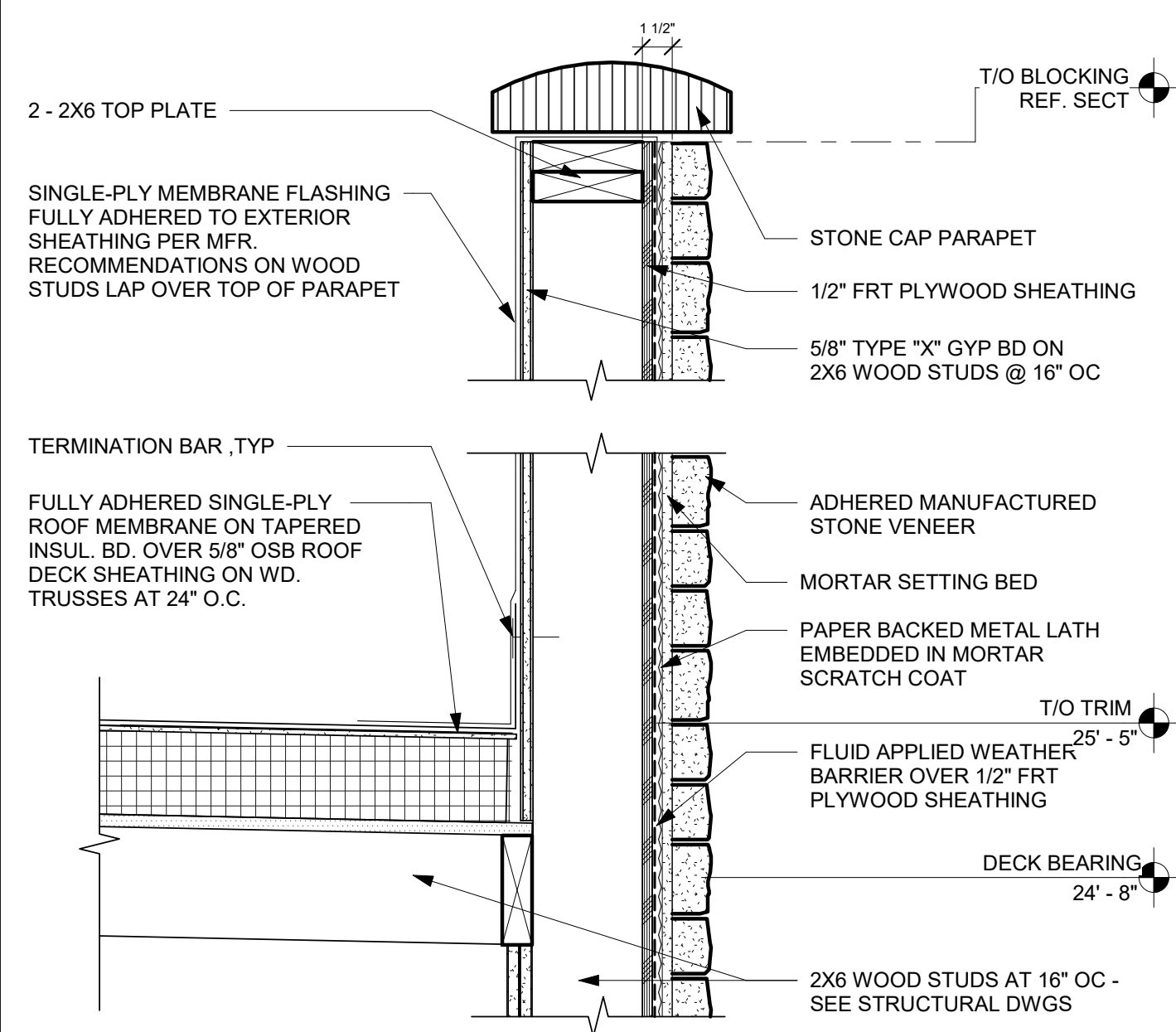
③ ROOF CURB PRE ENGINEERED

1 1/2" = 1'-0"



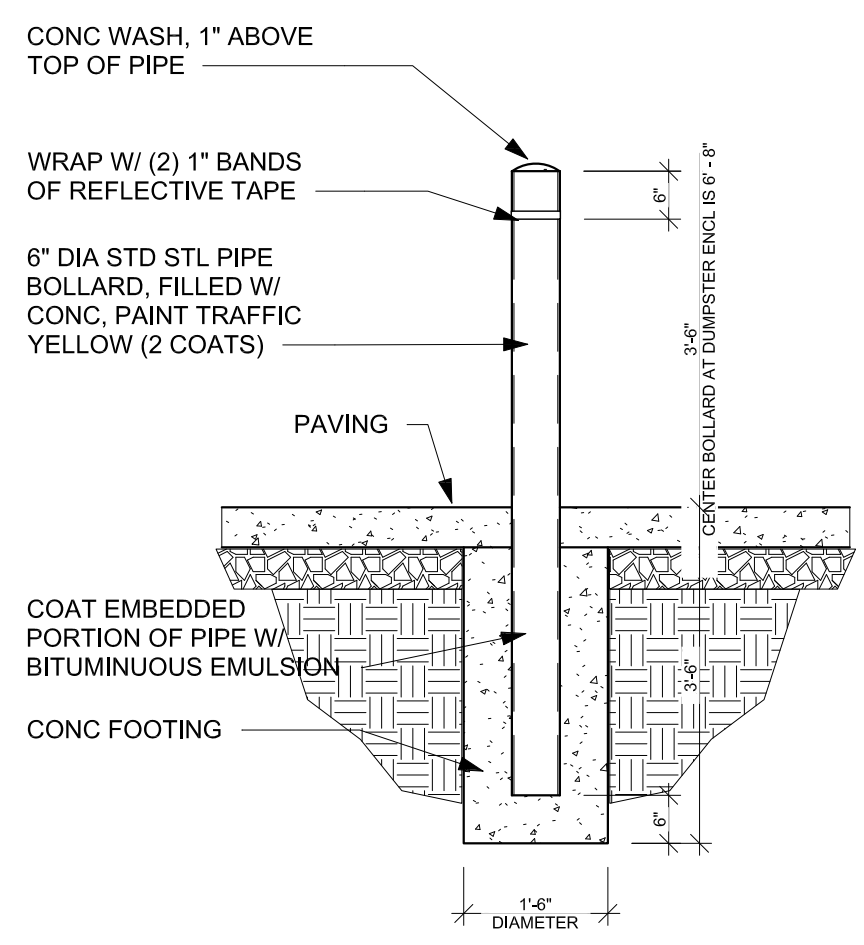
5 PORCH BEAM DETAIL

1 1/2" = 1'-0"

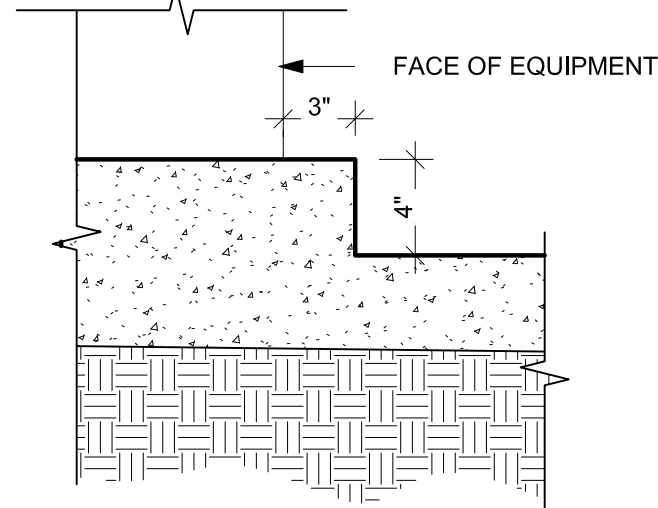


8 PARAPET DETAIL

1 1/2" = 1'-0"



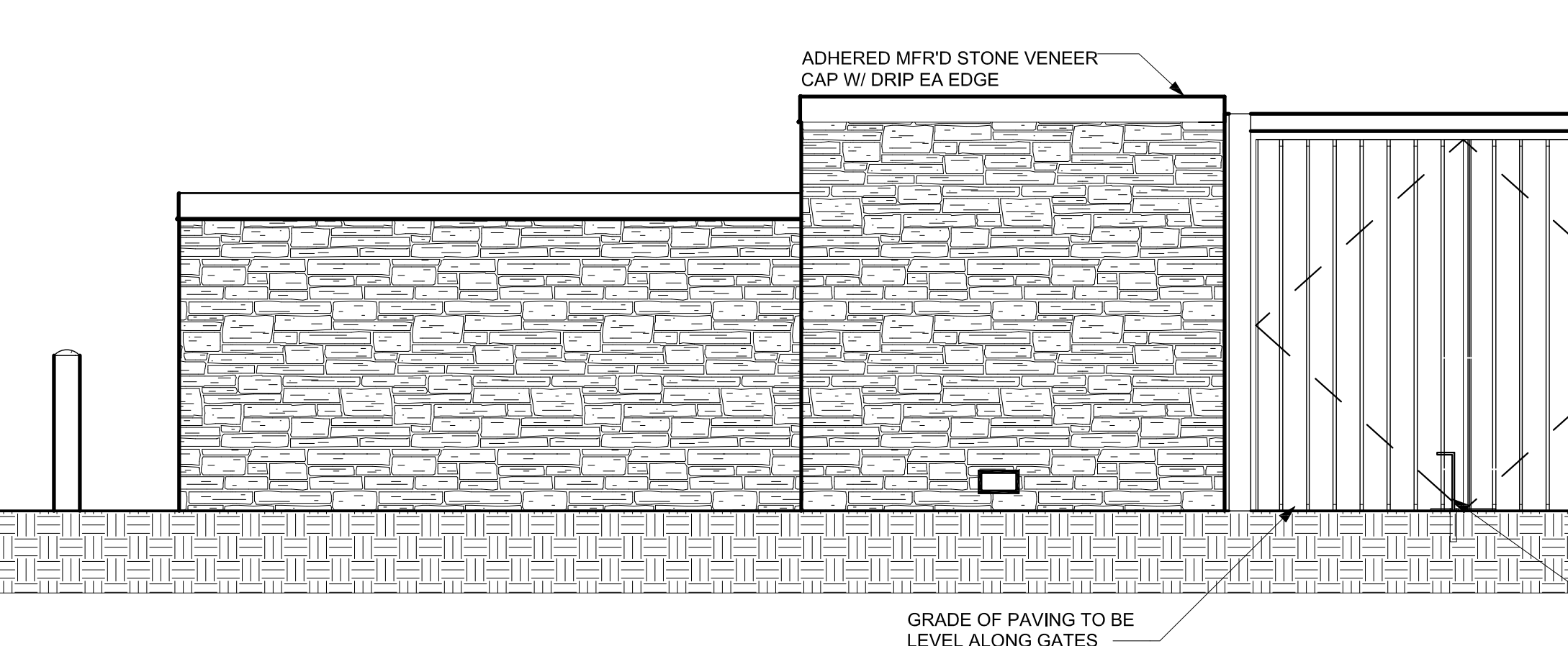
1 BOLLARD
1/2" = 1'-0"



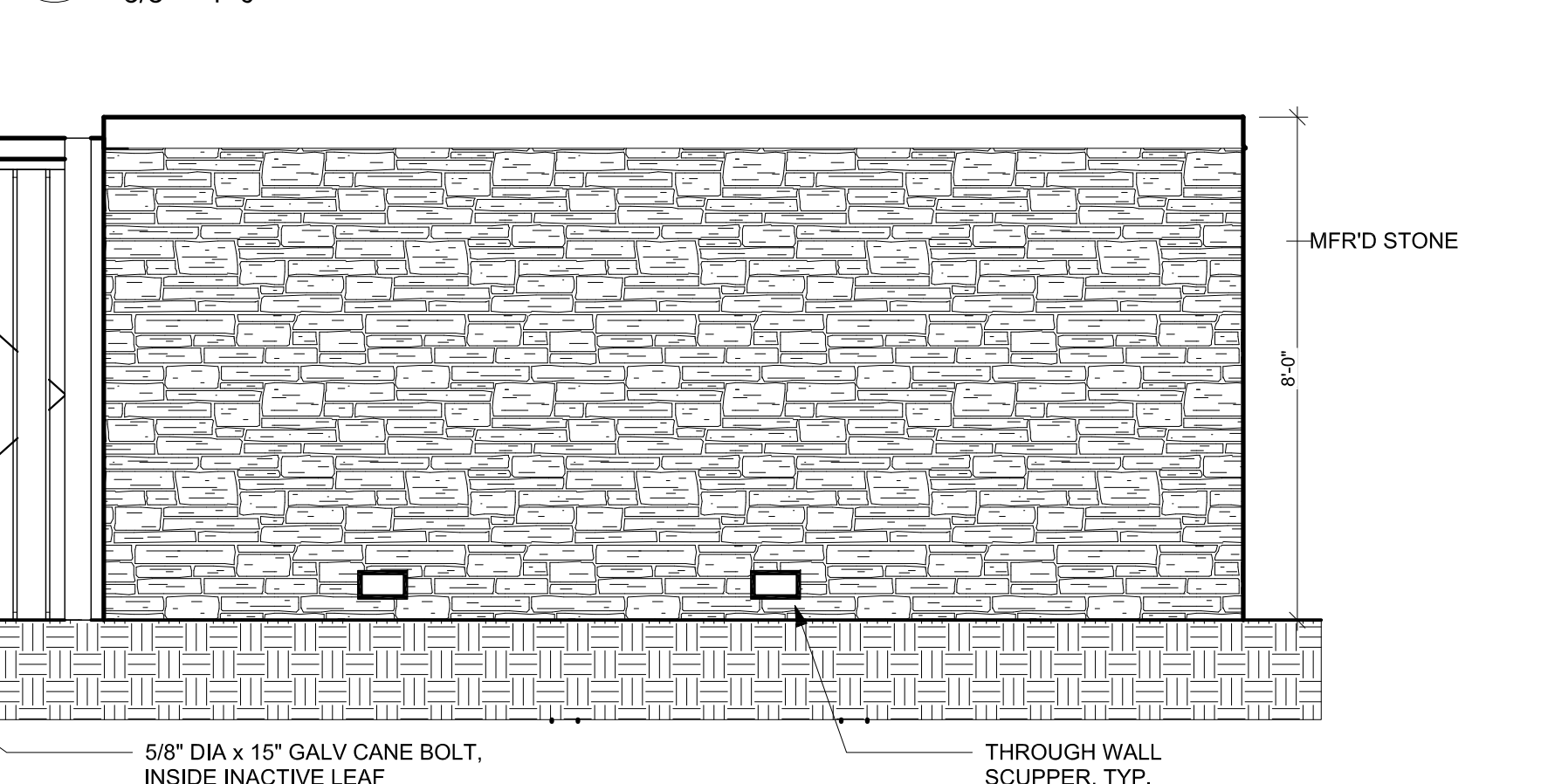
2 WALL TO FLOOR DETAIL
1 1/2" = 1'-0"

6 TYP GATE FRAME ELEV
3/8" = 1'-0"

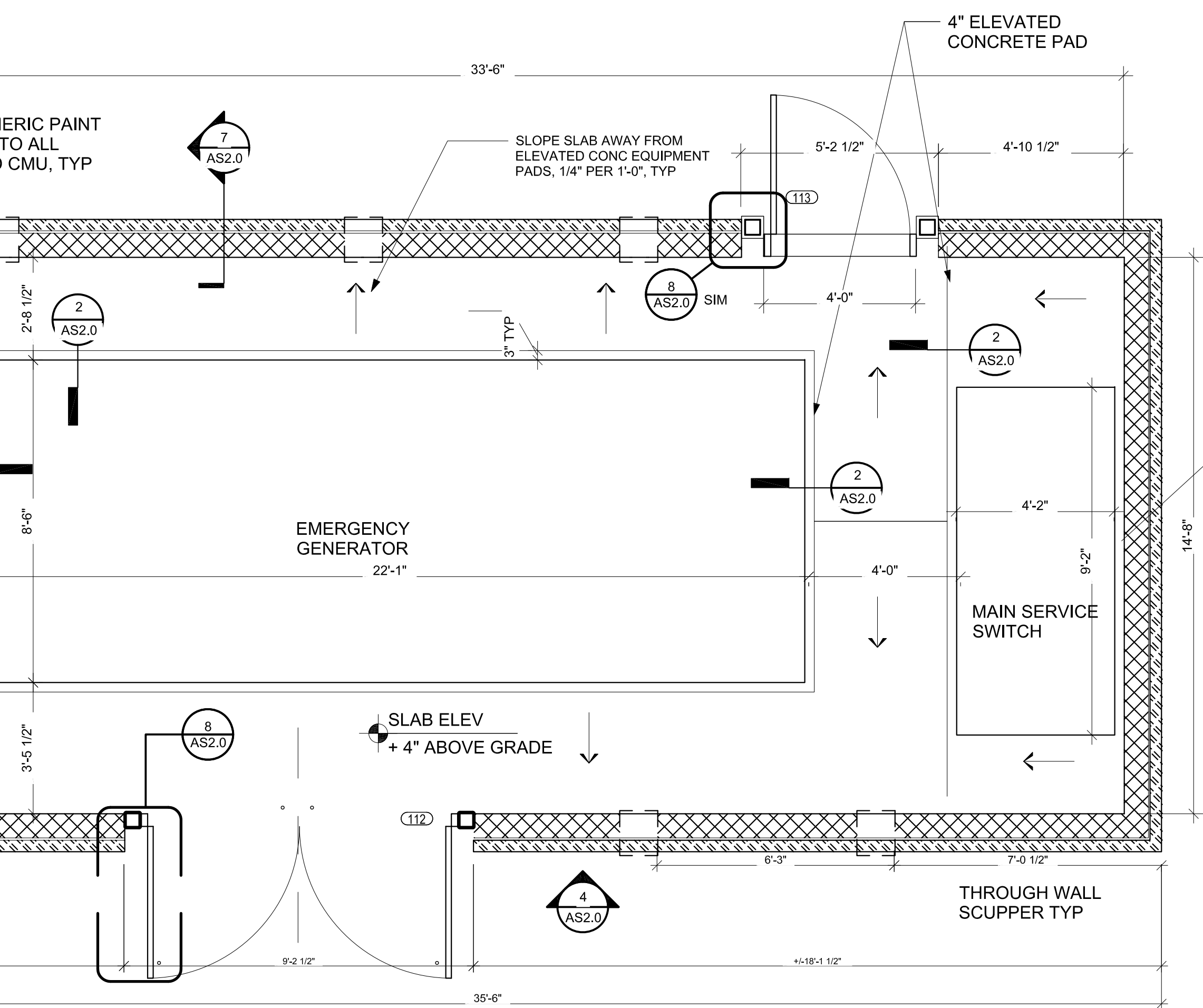
3 DUMPSTER ENCL FRONT ELEV
3/8" = 1'-0"



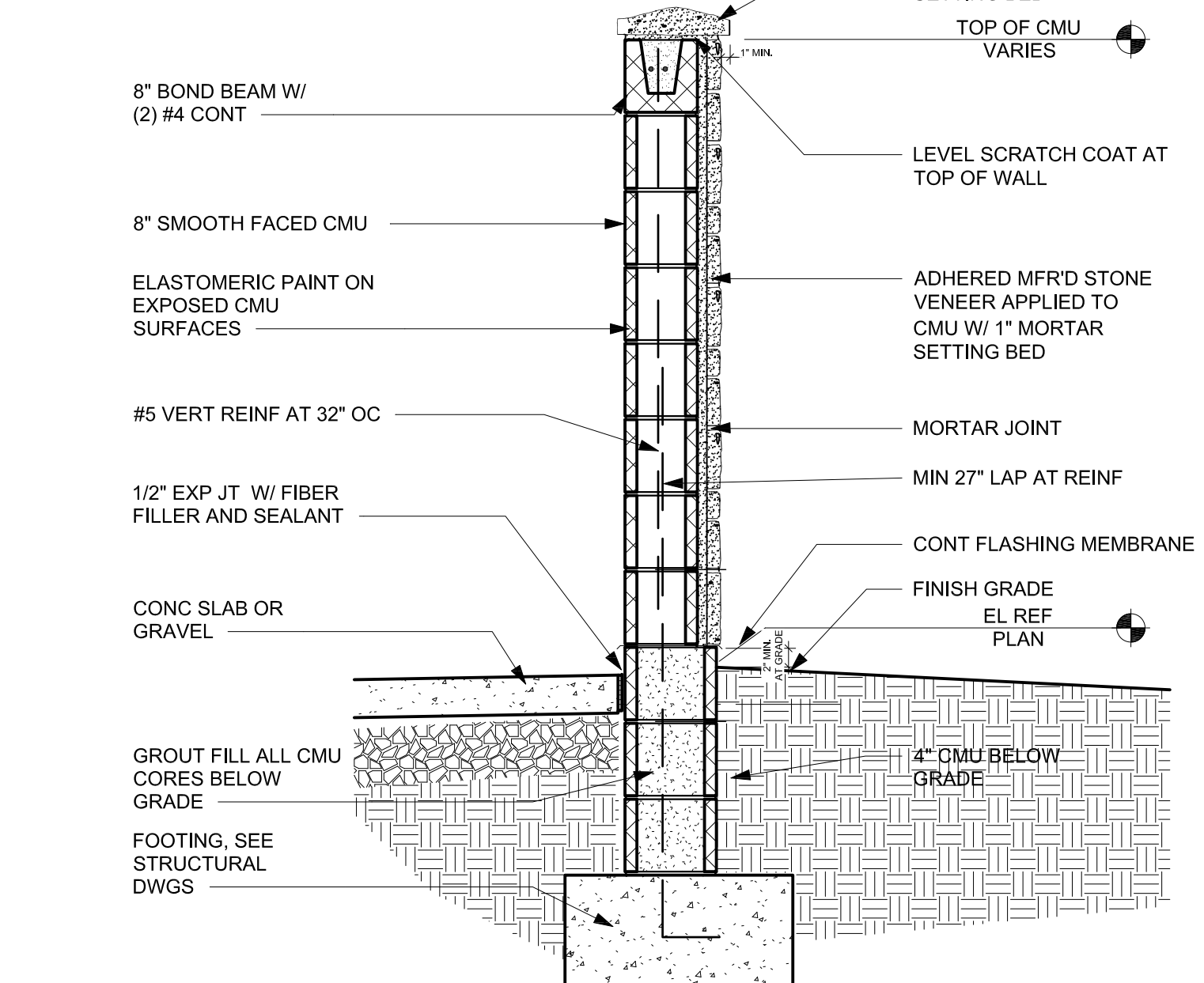
5 SIDE WALL TYP
3/8" = 1'-0"



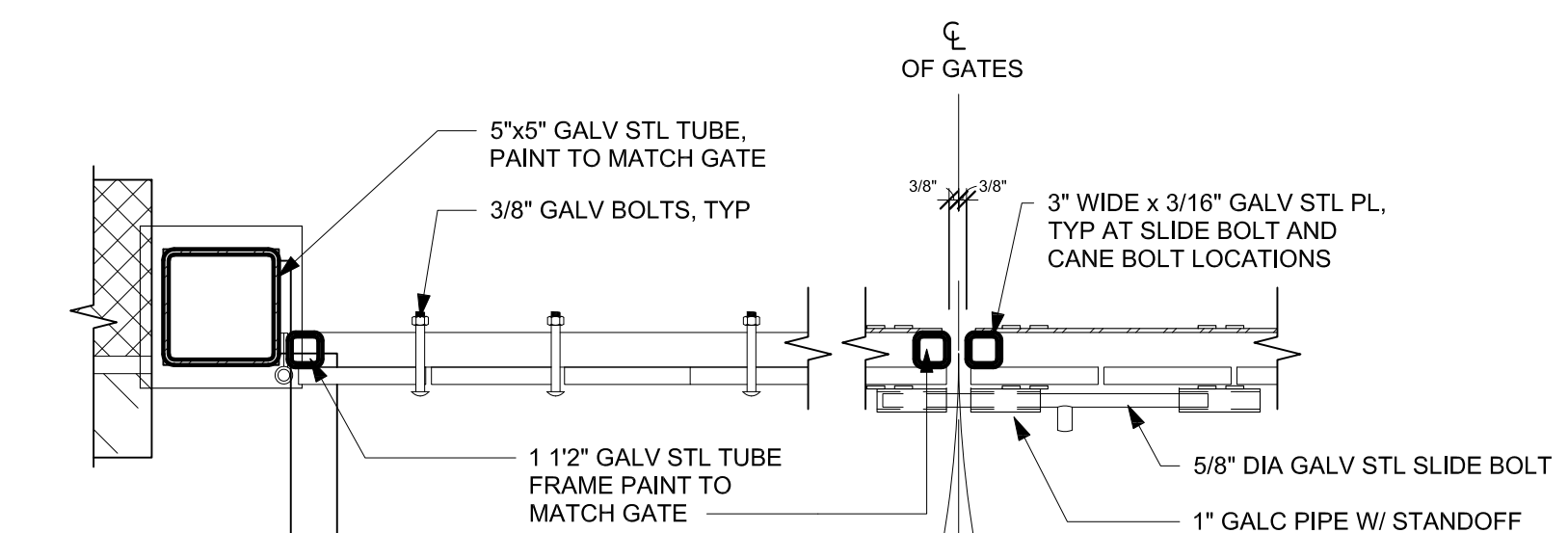
4 GENERATOR FRONT ELEV
3/8" = 1'-0"



NOTE:
PROVIDE SPECIAL INSPECTION
ON MASONRY PER COUNTY
REQS

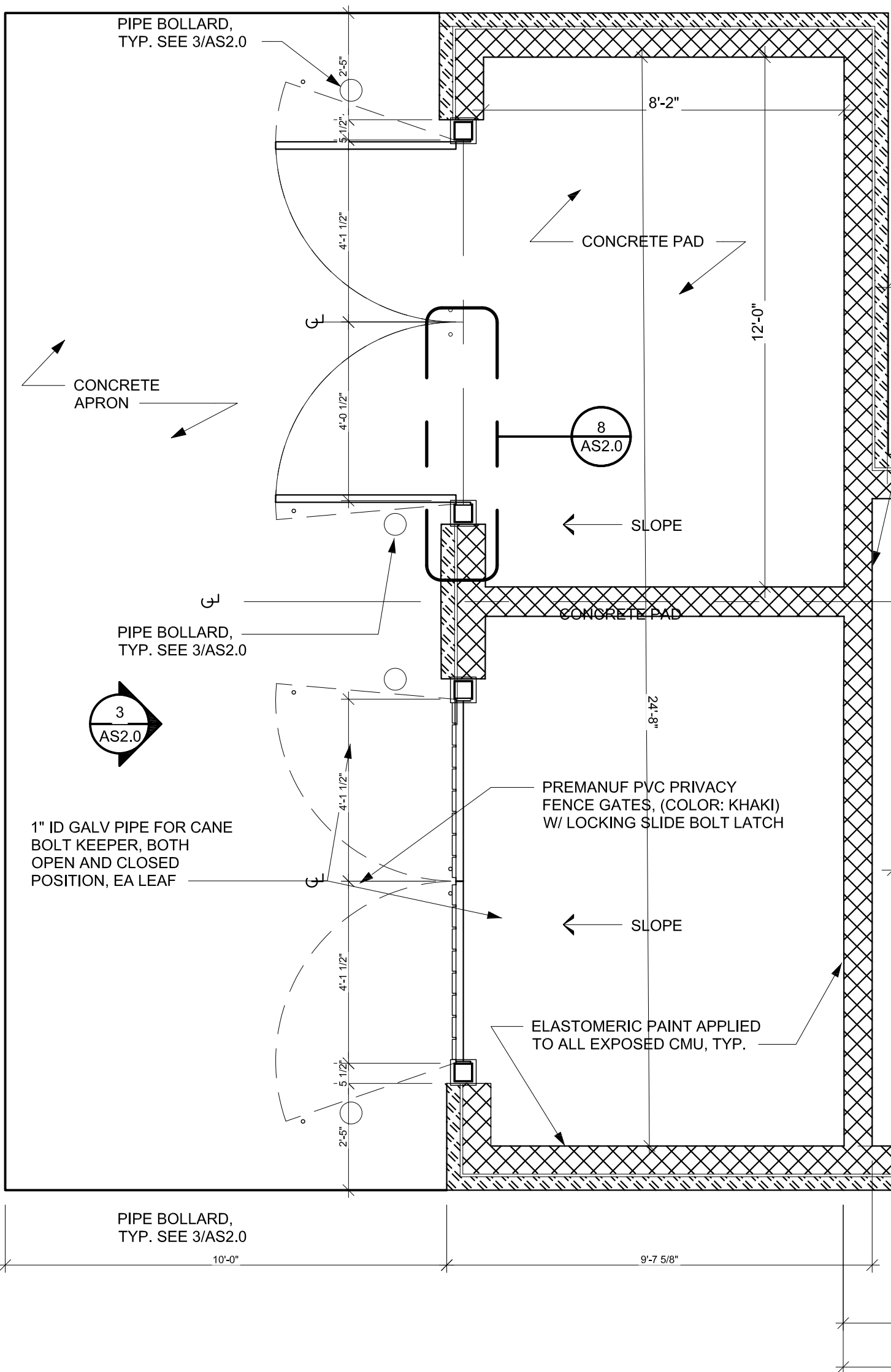


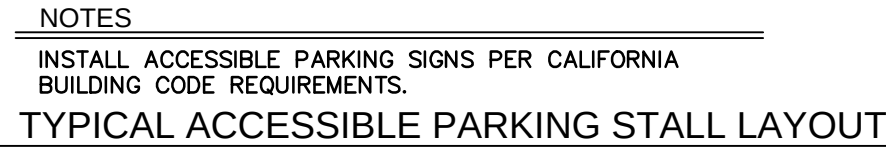
7 DUMPSTER - EGEN WALL
3/4" = 1'-0"



8 DUMPSTER ENCLOSURE GATES
1 1/2" = 1'-0"

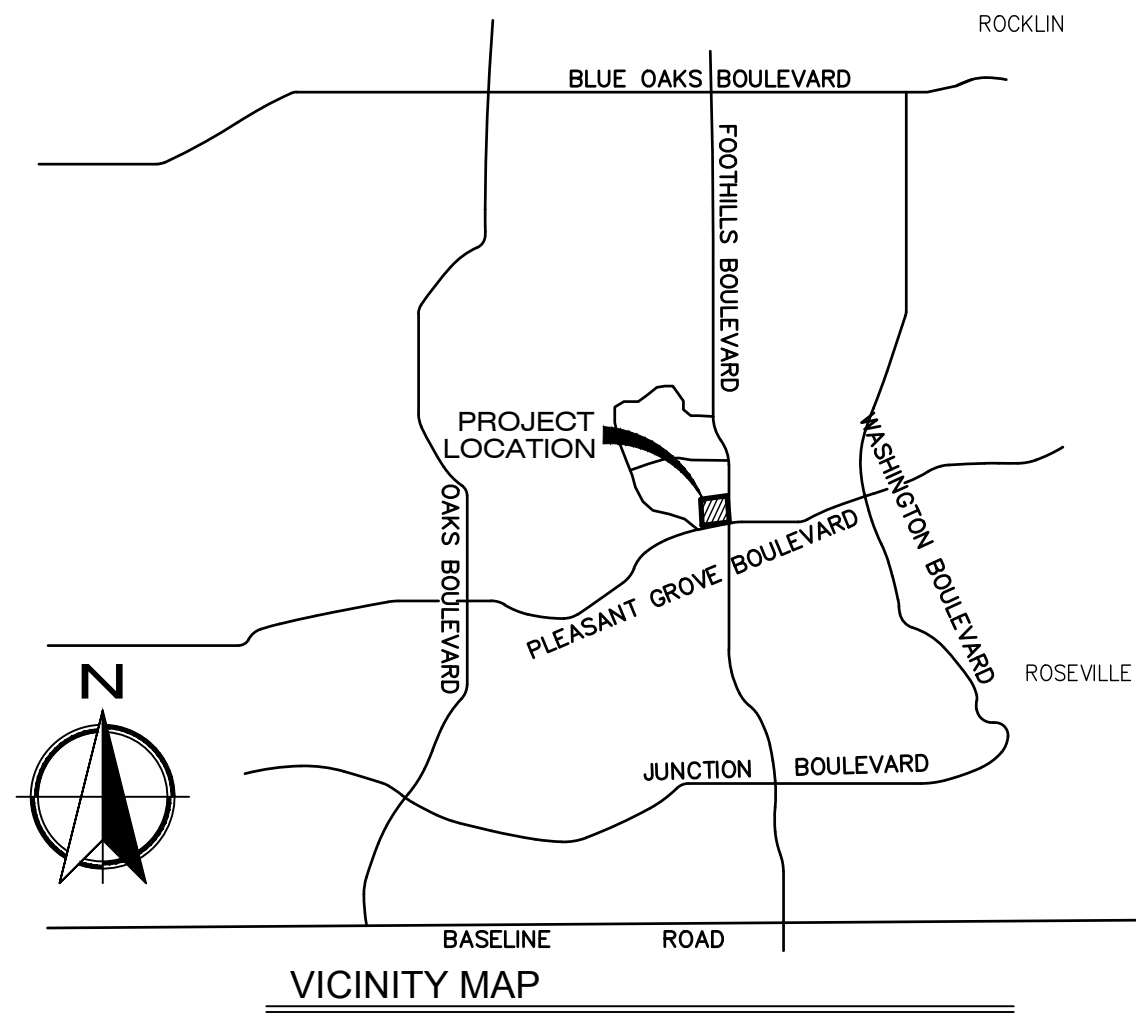
10 EM GEN & DUMPSTER ENCLOSURE
3/8" = 1'-0"







Know what's below.
Call before you dig.



Form 6-1 Post-Construction Stormwater BMPs		
Following is a summary of all BMPs included in the Project design. This checklist must be included on the cover sheet of the Improvement Plans for all Regulated Projects.		
BMP	Plan Sheet Number(s)	
Structural Source Controls (list BMPs)	Vegetated Swales	C3
	Bioretention with Infiltration	C3
Site Design Measures	Stream Setbacks and Buffers	
	Soil Quality Improvement and Maintenance	
	Tree Planting and Preservation	
	Rooftop and Impervious Area Disconnection	
	Porous Pavement	
	Vegetated Swales	C3
Stormwater Treatment and Baseline Hydromodification Measures	Rain Barrels and Cisterns	
	Bioretention with Infiltration	C3
Hydromodification Management Measures	Flow-Through Planters, Tree Box Filters and Media Filters	
	Supplemental Detention	

LINETYPE LEGEND

EXISTING	PROPOSED	
---	---	CENTERLINE
---	---	EASEMENT
---	---	PROPERTY LINE
---	---	RIGHT-OF-WAY
123	123	CONTOUR (MAJOR)
---	---	CONTOUR (MINOR)
○	○	CHAIN LINK FENCE
---	---	CURB AND GUTTER
---	---	EDGE OF PAVEMENT
---	---	GRADE BREAK
---	---	RETAINING WALL
---	---	EARTH SWALE PER DETAIL
---	---	ELECTRIC (AERIAL)
---	---	GAS
---	---	SANITARY SEWER
---	---	STORM DRAINAGE
---	---	WATER

ABBREVIATIONS

AB	AGGREGATE BASE	LF	LINEAR FEET
AC	ASPHALT CONCRETE	LG	LIP OF GUTTER
BCM	BRASS CAP MONUMENT	MH	MANHOLE
BFP	BACKFLOW PREVENTER	OC	ON CENTER
BL	BORE LOCATION	P	PAVEMENT
BM	BENCHMARK	P,C	PAVEMENT=CONCRETE
C	CONCRETE	PCR	PLACER COUNTY RECORDS
CL	CENTERLINE	PM	PARCEL MAP
CNS	COMPACTED NATIVE SOIL	PUE	PUBLIC UTILITY EASEMENT
CP	CONTROL POINT	R	RADIUS
D	DIRT	ROW	RIGHT-OF-WAY
DA	DRIVE APPROACH	SD	SEWER CLEANOUT
DI	DRAIN INLET	SD	STORM DRAIN
DWG	DRAWING	SF	SQUARE FEET
EB	ELECTRICAL BOX	SL	STREET LIGHT
EC	EDGE OF CONCRETE	SS	SANITARY SEWER
EP	EDGE OF PAVEMENT	STA	STATION
EV	ELECTRICAL VAULT	STD	STANDARD
FG	FINISH GRADE	STR	STRIP
FH	FIRE HYDRANT	TBM	TEMPORARY BENCHMARK
FL	FLOW LINE	TC	TOP OF CURB
GB	GRADE BREAK	TD	TOP OF DIKE
GP	GUARD POST	TOE	TOE OF SLOPE
GR	GAS RISER	TOP	TOP OF SLOPE
GV	GAS VALVE	TS	TRAFFIC SIGNAL
GW	GUY WIRE	TW	TOP OF WALL
HDWL	CONCRETE HEADWALL	VG	VALLEY GUTTER
IRR	IRRIGATION	W	WATER
IP	IRON PIPE	WM	WATER METER
IR	IRRIGATION RISER	WV	WATER VALVE

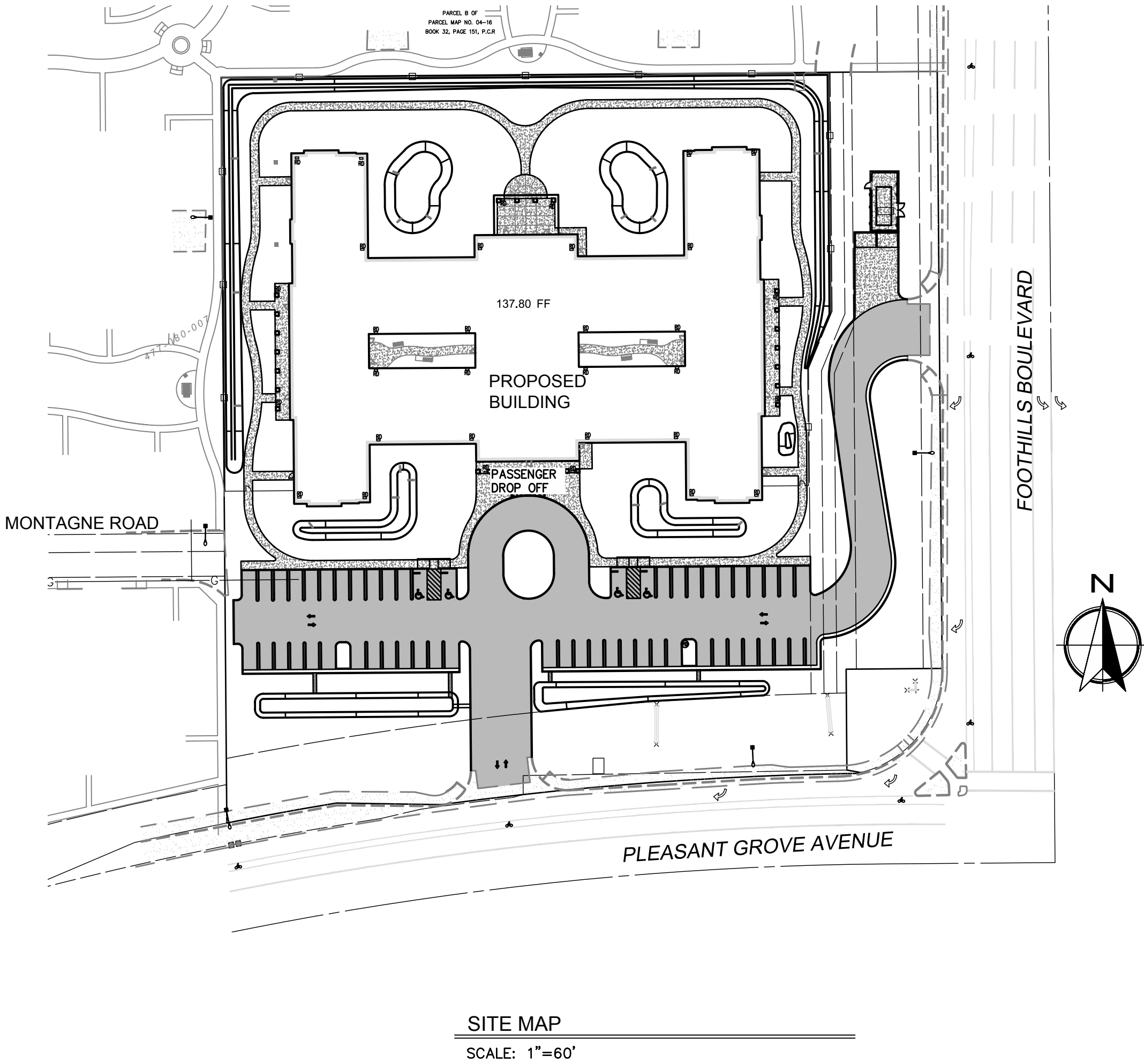
EARTHWORK QUANTITIES

ESTIMATED EARTHWORK QUANTITIES:
EXCAVATION 1600 C.Y.
EMBANKMENT 1200 C.Y.

NOTE: GRADING QUANTITIES ARE SHOWN FOR PERMIT PURPOSES ONLY. THE CONTRACTOR IS RESPONSIBLE FOR THE FINAL BID QUANTITIES. "R" VALUE FOR IMPORT BORROW TO BE 50 OR ABOVE. CONTRACTOR SHALL DISPOSE OF CUT MATERIAL OFFSITE.

WDID NUMBER

#####



SHEET LIST

C1	COVER SHEET
C2	SITE LAYOUT PLAN
C3	STORMWATER MANAGEMENT PLAN
C4	GRADING PLAN
C5	EROSION CONTROL PLAN
C6	UTILITY PLAN
C7	CONSTRUCTION DETAILS
C8	FIRE TRUCK TURN EXHIBIT
L1.1	IRRIGATION - NORTH
L1.2	IRRIGATION - SOUTH
L1.3	IRRIGATION - TREE BUBBLES
L2.1	PLANTING PLAN - NORTH
L2.2	PLANTING PLAN - SOUTH
L3.1	IRRIGATION DETAILS
L3.2	NOTES AND WATER CONSERVATION DOCUMENTATION

SITE INFORMATION

- PARCEL SIZE: 3.93 ± AC.
 - BUILDING FOOTPRINT: 40,103 sq.ft.
 - PARKING PROVIDED: 58 TOTAL
4 ADA VAN ACCESSIBLE
 - A.P.N.: 477-080-06
 - SITE ADDRESS: 1260 PLEASANT GROVE BOULEVARD
ROSEVILLE, CA 95747
- FLOOD ZONE: THIS PROPERTY HAS BEEN IDENTIFIED AS BEING IN ZONE "X", DEFINED AS BEING OUTSIDE OF THE 0.2% ANNUAL CHANCE FLOODPLAIN AS IDENTIFIED ON THE FEDERAL EMERGENCY MANAGEMENT (FEMA) FLOOD INSURANCE RATE MAPS (FIRM) FOR THIS AREA AS SHOWN ON FLOOD MAP NO. D6061C0476F, DATED 06/08/1998.

SYMBOLS LEGEND

EXISTING	PROPOSED	
○	○	UTILITY POLE
○	○	GUY ANCHOR
△	△	ELECTRIC TRANSFORMER
E	E	ELECTRIC VAULT
—	—	METAL STREET LIGHT ASSEMBLY
○	○	GUARD POST
○	○	STORM DRAIN MANHOLE
□	□	CATCH BASIN
○	○	CITY STANDARD INLET
○	○	SEWER MANHOLE
○	○	CLEANOUT
□	□	WATER METER
FD	FD	FIRE DEPT. CONNECTION
○	○	WATER VALVE
○	○	FIRE HYDRANT
○	○	BACKFLOW PREVENTER
△	△	CONTROL POINT
—	—	DIRECTION OF FLOW
○	○	SPOT ELEVATION
—	—	LIMITS OF ASPHALT CONCRETE PAVING
—	—	LIMITS OF CONCRETE FLATWORK

GATEWAY
ENGINEERING, INC.
CIVIL ENGINEERS | LAND SURVEYORS
P. 559-320-0544 | F. 559-320-0545 | WWW.GATEWAYENG.COM
5811 EAST PRINCETON AVENUE, FRESNO, CA 93727-1377



11/14/2018

ARTIS SENIOR LIVING
ARTIS SENIOR LIVING OF ROSEVILLE, LLC
1260 PLEASANT GROVE BOULEVARD
ROSEVILLE, CALIFORNIA 95747
COVER SHEET

DATE	
DESCRIPTION	
REV No.	

ENGINEER: J.DAGGETT
LICENSE NO: 71,873
DRAWN BY:
CHECKED BY:
SCALE: AS SHOWN
PROJECT NO: 17-077
SHEET

C1

CITY OF ROSEVILLE APPROVAL



ARTIS SENIOR LIVING
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1260 PLEASANT GROVE BOULEVARD
ROSEVILLE, CALIFORNIA 95747

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C5



1. DRAINAGE INLETS SHALL BE PROTECTED ON OR PRIOR TO THE CONNECTION TO THE CITY/COUNTY MAIN SYSTEM.
2. DRAINAGE INLETS THAT ARE NOT OPEN OR CONNECTED TO AN "ACTIVE" OFFSITE DISCHARGE SYSTEM, OR IF RUNOFF FROM THE PROJECT IS DESIGNED TO DISCHARGE TO A SEDIMENTATION BASIN, SEDIMENT FILTRATION BAYS MAY NOT BE NECESSARY.
3. STABILIZED CONSTRUCTION ENTRANCE/EXITS SHALL BE IMPLEMENTED AS NEEDED TO MAINTAIN COMPLIANCE.
4. CONCRETE WASTE MANAGEMENT AREA/S SHALL BE IDENTIFIED ON SITE AS DETERMINED BY THE CONTRACTOR.
5. STREET SWEEPING AND VACUUMING OF PUBLIC PAVED ROADWAYS ADJACENT TO THE PROJECT SHALL BE CONDUCTED AS NEEDED TO CONTROL SEDIMENT FROM PROJECT. THE CONTRACTOR SHALL DETERMINE NEED FOR THE IMPLEMENTATION OF A STREET MAINTENANCE PROGRAM.
6. MATERIAL DELIVERY AND STORAGE AREAS SHALL BE DETERMINED AS NEEDED BY THE CONTRACTOR.
7. VEHICLE AND EQUIPMENT STORAGE/MAINTENANCE AREAS SHALL BE DETERMINED BY THE CONTRACTOR AS NEEDED.
8. WOOD MULCHING AND/OR RE-VEGETATION SHALL BE IMPLEMENTED THROUGH LANDSCAPING AT THE END OF THE VERTICAL CONSTRUCTION ON A PER UNIT BASIS.
9. ALL BMP'S ARE SUBJECT TO CHANGE AND/OR RELOCATION PER OWNER AND/OR CONTRACTOR APPROVAL.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PHASING OF THE SWPPP MEASURES, AND THE UPDATING AND MAINTAINING OF THE SWPPP.

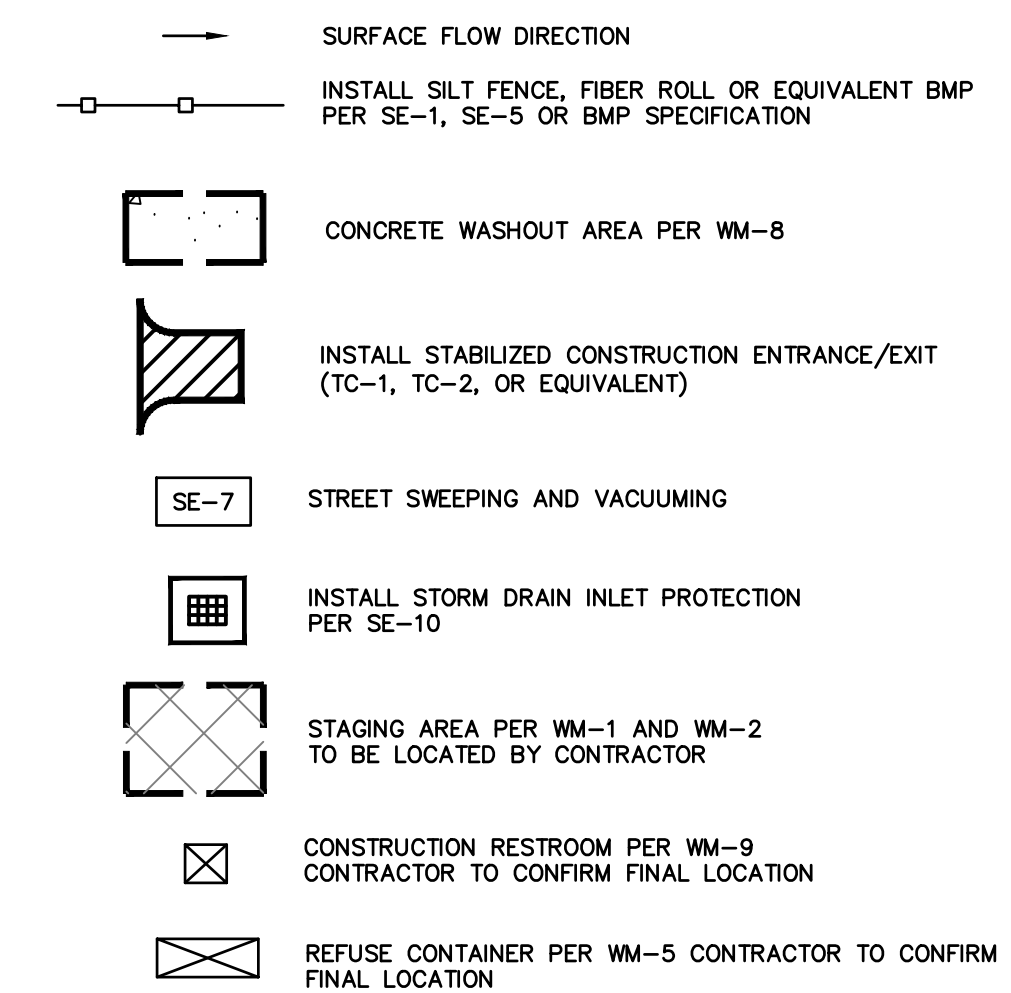
GENERAL POLLUTION PREVENTION CONTROL NOTES

1. THE INFORMATION ON THESE DRAWINGS IS ACCURATE FOR WATER POLLUTION CONTROL PURPOSES ONLY.
2. THE INFORMATION ON THIS PLAN IS INTENDED TO BE USED AS A GUIDELINE FOR THE CONTRACTOR/DEVELOPER AND SUBCONTRACTORS TO INSTALL WATER POLLUTION CONTROL DEVICES AT GENERAL LOCATIONS THROUGHOUT THE SITE. THESE DRAWINGS ARE TO BE USED IN CONJUNCTION WITH THE NARRATIVE SECTION OF THE STORM WATER POLLUTION PREVENTION PLAN (SWPPP).
3. FIELD AND SITE CONDITIONS MAY NECESSITATE MODIFICATIONS TO THESE DRAWINGS.
4. PERMANENT EROSION CONTROL (LANDSCAPING) WILL BE INSTALLED AS AREAS ARE DETERMINED TO BE SUBSTANTIALLY COMPLETE.

WDID NUMBER

IN PROGRESS

SWPPP LEGEND



TOTAL DISTURBED AREA

3.83 ACRES

CITY OF ROSEVILLE APPROVAL

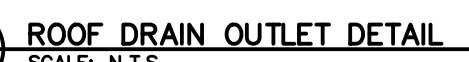
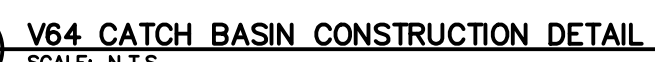
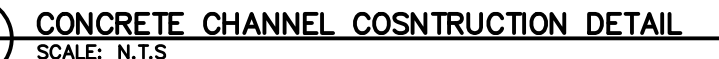
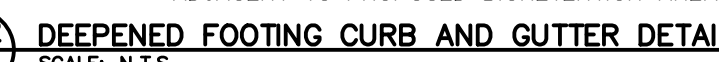
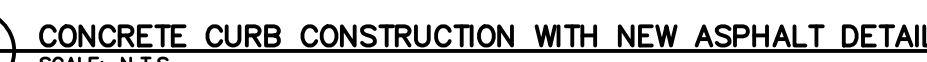
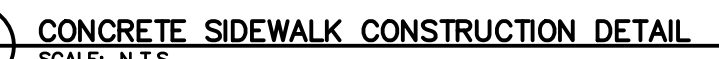
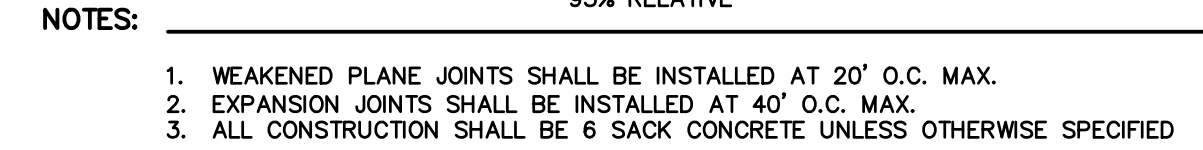


ARTIS SENIOR LIVING
ARTIS SENIOR LIVING OF ROSEVILLE, LLC
1260 PLEASANT GROVE BOULEVARD
ROSEVILLE, CALIFORNIA 95747

CONSTRUCTION DETAILS

REV No.	DESCRIPTION	DATE
ENGINEER:	J.DAGGETT	
LICENSE NO:	71,873	
DRAWN BY:		
CHECKED BY:		
SCALE:	AS SHOWN	
PROJECT NO:	17-077	
SHEET		

C7



1. CAPTURE AND CONVEY OVERFLOW TO STORM DRAIN SYSTEM.
2. PROVIDE CAPPED, THREADED PVC CLEANOUT FOR UNDERDRAIN, 4" MIN. DIA. WITH SWEEP BEND.
3. DEPTH OF AGGREGATE DETERMINED BY FACILITY SIZING. IF CALTRANS CLASS 2 PERMEABLE IS NOT AVAILABLE, SUBSTITUTE CLASS 3 PERMEABLE WITH AN OVERLYING 3" DEEP CHOKING LAYER OF EITHER CALTRANS COURSE AGGREGATE 1/2" (NO. 4) OR 3/4" X (NO.4) OPEN-GRADED AGGREGATE.
4. BIORETENTION SOIL MEDIA (BSM), PLANT SELECTION, AND MULCH PER BIORETENTION TECHNICAL SPECIFICATIONS. GENERAL REQUIREMENTS - BIORETENTION SOIL MEDIA:
 - A. ACHIEVE A LONG-TERM, IN-PLACE INFILTRATION RATE OF AT LEAST 5 INCHES PER HOUR.
 - B. SUPPORT VIGOROUS PLANT GROWTH.
 - C. CONSIST OF THE FOLLOWING MIXTURE OF FINE SAND AND COMPOST, MEASURED ON A VOLUME BASIS: 60%-70% SAND 30%-40% COMPOST
 - D. THREE INCHES OF MULCH IS RECOMMENDED FOR THE PURPOSE OF RETAINING MOISTURE, PREVENTING EROSION AND MINIMIZING WEED GROWTH.
 - E. MAINTAIN UNDISTURBED NATIVE SOIL BENCH TO SUPPORT ADJACENT SIDEWALK/ROAD. SEQUENCE WORK TO CONSTRUCT CURBS BEFORE EXCAVATING BIORETENTION AREA FOR AGGREGATE AND SOIL.
 - F. SCARIFY SUBGRADE BEFORE INSTALLING BIORETENTION AREA AGGREGATE AND BSM.
 - G. FACILITY EXCAVATION TO ALLOW FOR SPECIFIED AGGREGATE, SOIL, AND MULCH DEPTHS TO ACHIEVE FINISHED ELEVATIONS ON CIVIL PLANS.
 - H. INSTALL UNDERDRAIN WITH HOLES FACING DOWN. TOP OF UNDERDRAIN 6" BELOW TOP OF AGGREGATE LAYER. UNDERDRAIN SLOPE MAY BE FLAT.
- I. PLACE BSM IN 6" MAX. LIFTS. COMPACT EACH 6" LIFT OF BSM WITH LANDSCAPE ROLLER OR BY LIGHTLY WETTING. IF WETTING, LET DRY OVERNIGHT BEFORE PLANTING.
- J. DO NOT WORK WITHIN BIORETENTION AREA DURING RAIN OR UNDER WET CONDITIONS.
- K. KEEP HEAVY MACHINERY OUTSIDE BIORETENTION AREA LIMITS.



1. AFTER CONSTRUCTION PLACE SAND BAGS AT GUTTER OPENINGS TO KEEP STORM FLOWS FROM ENTERING FACILITY UNTIL VEGETATION IS ESTABLISHED.
2. WHERE INLET FLOW VELOCITY IS HIGH, EXTEND COBBLE INTO FACILITY, BUT AVOID EXCESSIVE USE.

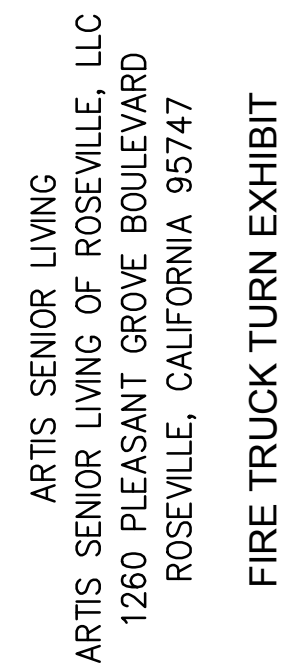
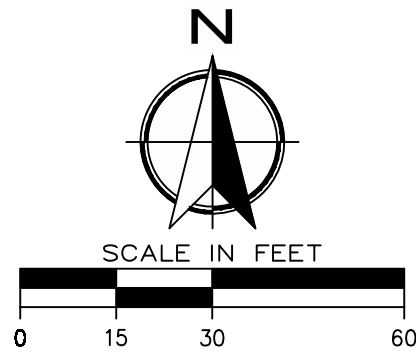






CITY OF ROSEVILLE APPROVAL

C6

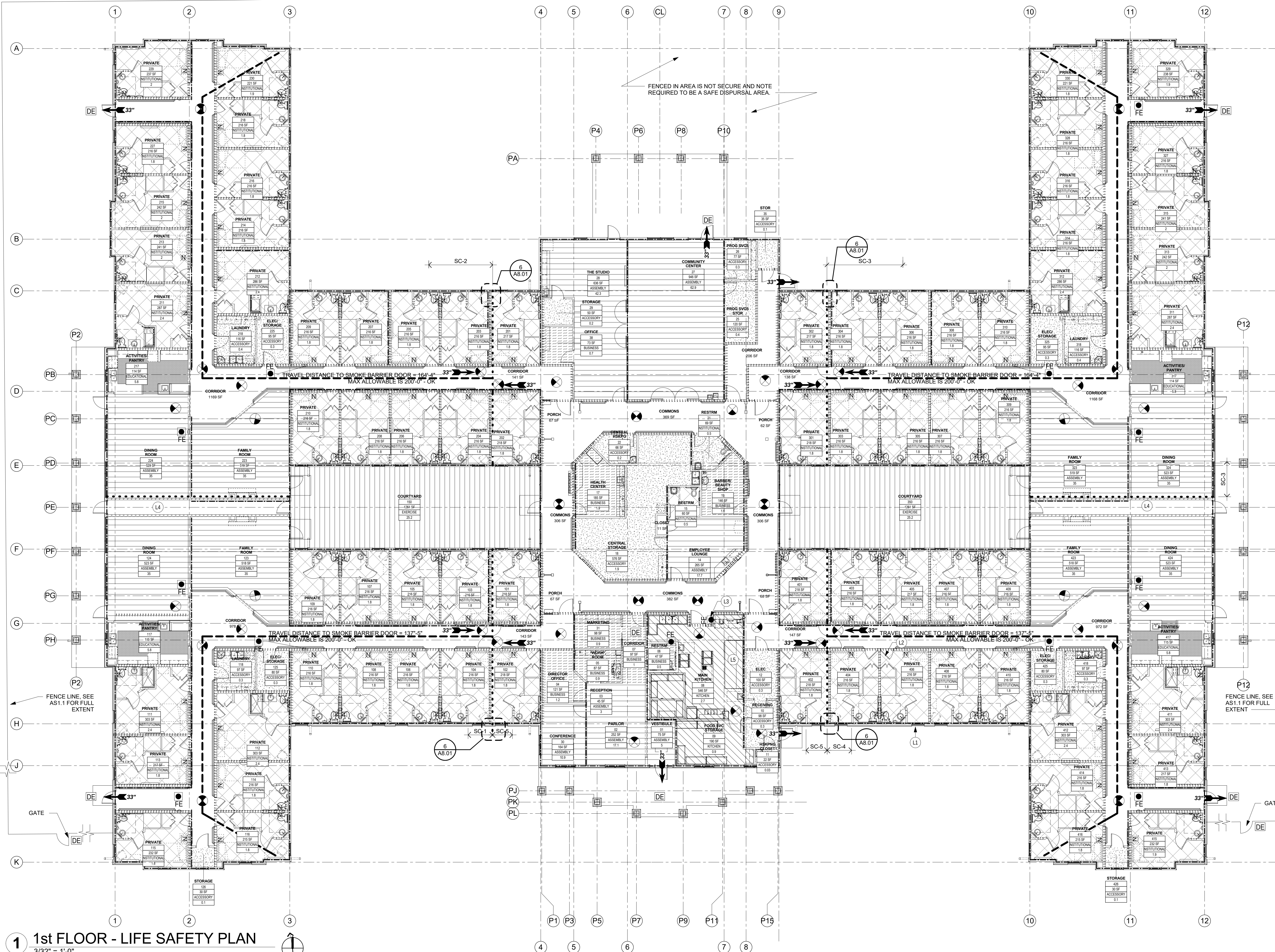
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ENGINEER: J.DAGGETT
LICENSE NO: 71,873
DRAWN BY:
CHECKED BY:
SCALE: AS SHOWN
PROJECT NO: 17-077
SHEET

C8



11/14/2018



UL Assembly Schedule

BASE BID	APPLICATION
#U305	WALL ASSEMBLY FOR WOOD STUD BEARING WALL
RC 2601	SLOPED WOOD TRUSS ROOF / CEILING ASSEMBLY
RC 2601	FLAT ROOF / CEILING ASSEMBLY
#U423	WALL ASSEMBLY FOR MTL STUD BEARING WALL
#U356	EXTERIOR WALL ASSEMBLY

KEYED LIFE SAFETY NOTES:

- L1 RESIDENT WINDOWS SHALL BE EQUIPPED WITH OPENING LIMITERS PERMITTING ONLY 6" OPENING FOR ELOPMENT CONTROL OF THIS MEMORY CARE POPULATION. TYP. AS SUCH, THE WINDOWS WILL NOT FUNCTION AS EMERGENCY ESCAPE AND RESCUE OPENINGS PER 2016 CBC SECTION 1030.1 EXCEPTION
- L2 DOOR CLOSERS ARE NOT REQUIRED AT SLEEPING UNIT ENTRIES PER 2016 CBC SECTION 435.8.4.1, TYP.
- L3 FEC WITHIN 30'-0" OF COMMERCIAL KITCHEN PER 2016 CBC 906.1 (1)
- L4 2 HOUR FIRE RATED EXIT PASSAGEWAY PER 2016 CBC 1024 EXIT PASSAGEWAYS
- L5 CLASS A HOOD EXHAUST SYSTEM

PLUMBING FIXTURE REQUIREMENTS - CPC 2016

Classification	Occupancy	Description	Sex	WC Occupancy Factor	Provided WC	Lav Occupancy Factor	Provided Lav	Bathtubs/Showers Occupancy Factor	Provided Bathtub/Showers	Provide d DF	Service Sink
Residential	R-2.1	Assisted Living Facility	MALE & FEMALE	1 per Room	72	1 per Room	72		72	1	1 required per floor
		Staff:	MALE & FEMALE	xx	1		1				
		Visitors (Including Common Areas)	MALE & FEMALE		2		16				
Total Plumbing Fixtures					75		89		72		6 Provided

OCCUPANCY SUMMARY - FIRST FLOOR

OCCUPANT LOAD FACTOR	FUNCTION	TOTAL OCCUPANT LOAD
		0
300 SF ACCESSORY		6.53
15 SF ASSEMBLY		438.9
100 SF BUSINESS		8.7
20 SF EDUCATIONAL		29.2
50 SF EXERCISE		50.4
200 SF INSTITUTIONAL		145.3
200 SF KITCHEN		3.6
	TOTAL OCC LOAD:	676.63

ACCESSORY STORAGE/MECHANICAL/EQUIP (1:300)	ASSEMBLY (1:15)
KITCHEN (1:200)	INSTITUTIONAL (SLEEPING AREAS) (1:120)
BUSINESS (1:100)	EDUCATIONAL (1:20)
	EXERCISE (1:50)

BUILDING DATA - SPRINKLED

PROJECT ADDRESS	1260 PLEASANT GROVE BLVD ROSEVILLE, CA 95747
GENERAL DESCRIPTION	1 STORY - 72 BED MEMORY CARE/ ASSISTED LIVING FACILITY
APPLICABLE CODES	2016 CALIFORNIA BUILDING CODE YES 2016 CALIFORNIA FIRE CODE YES 2016 CALIFORNIA PLUMBING CODE YES 2016 CALIFORNIA ENERGY CODE YES 2016 CALIFORNIA ELECTRICAL CODE YES STATE OF CALIFORNIA TITLE 22 DIVISION 6 CHAPTER 8 RESIDENTIAL CARE FACILITIES FOR THE ELDERLY (RCFE) YES
USE GROUP (SECTION 310.4.1)	RESIDENTIAL R-2.1
CONSTRUCTION TYPE (SECTION 602)	PROTECTED TYPE V-A
PROJECT AREA	
1ST FLOOR (GSF)	37,600 GSF
TOTAL AREA (GSF)	37,600 GSF
ALLOWABLE AREA (PER TABLE)	
AREA PER TABLE 506.2 (A) (ALLOWABLE / PROVIDED)	42,000 / 37,600
AREA MODIFICATION: Aa=(A)+(Ns x If) x 2	NA
MODIFIED ALLOWABLE AREA PER STORY	NA
FRONTAGE INCREASE (PER)	NA
BUILDING HEIGHT / NUMBER OF STORIES (PER TABLE 504.3)	
BUILDING HEIGHT (ALLOWABLE / PROVIDED)	(3 ST / 1 ST)
BUILDING HEIGHT (ALLOWABLE / PROVIDED)	(50'-0" / 15')
FIRE ALARM	PER SECTION 907.2.9 OF THE CALIFORNIA BUILDING CODE YES
FULLY SPRINKLED	CALIFORNIA FIRE CODE 903.3.1.1 (NFPA 13) YES
FIRE RESISTANCE REQUIREMENTS FOR BUILDING ELEMENTS (RATING) TABLE 601	
PRIMARY STRUCTURAL FRAME	1 HR
EXTERIOR BEARING WALLS	1 HR
EXTERIOR NON-LOAD BEARING WALLS (PER TABLE 602) GREATER OR = 30'	0 NA
INTERIOR BEARING WALLS	1 HR
INTERIOR NON-LOAD BEARING WALLS	0 NA
FLOOR CONSTRUCTION + SECONDARY MEMBERS	1 HR
ROOF CONSTRUCTION + SECONDARY MEMBERS	1 HR
MISCELLANEOUS FIRE RESISTANCE REQUIREMENTS	
SHAFT ENCLOSURES (713.4) FIRE BARRIER	1 HR
OCCUPANCY SEPARATION (TABLE 508.2.4)	NOT REQUIRED
EXIT PASSAGEWAYS (SECTION 1024)	2 HR (PER BLDG DEPT. REQ.)
SLEEPING UNIT SEPARATION EXCEPTION (420.8) FIRE PARTITION	1 HR
CO2 DETECTION (915.1.4)	YES
EMERGENCY RESPONDER RADIO COVERAGE (916)	TBD BY FIRE OFFICIAL
SMOKE COMPARTMENTS (435, 709) (MIN 2 AREAS) MAX AREA	22,500 SF
SMOKE COMPARTMENTS (435, 709) (MIN 2 AREAS) MAX TRAVEL	200'
SMOKE COMPARTMENTS (435, 709) (MIN 2 AREAS) MIN RATING	1 HR
FIRE BLOCKING (718.2)	REQ.
DRAFTSTOPPING (718.4.2) BLDG SPRINKLERED PER 903.3.1.1	NR
INCIDENTAL USE (509)	
LAUNDRY ROOM OVER 100 SF	NA - SPRINKLED
WASTE AND LINEN COLLECTION ROOMS OVER 100 SF	NA - SPRINKLED
STORAGE ROOMS OVER 100 SF	NA - SPRINKLED
INTERIOR WALL & CEILING FINISHES (TABLE 803.11 & SECTION 803.1)	
WALLS / CEILINGS - EXIT ENCLOSURE / PASSAGEWAY	CLASS B
WALLS / CEILINGS - CORRIDORS	CLASS C
WALLS / CEILINGS - ROOMS + SPACES	CLASS C
INTERIOR FLOOR FINISHES (804.2.2)	
INTERIOR FLOOR FINISHES (804.2.2)	CLASS I (>or= 0.45 WATTS SQ CM) PER NFPA 253
EGRESS REQUIREMENTS	
EGRESS DOOR WIDTH REQUIRED/ PROVIDED (SECTION 1005.3.2 0.15" PER OCCUPANT)	91"-0" REQUIRED/ 264"-0" PROVIDED
MAXIMUM TRAVEL DISTANCE (TABLE 1017.2)	250'-0" MAXIMUM
MAXIMUM DEAD END CORRIDOR (SECTION 1020.4)	50'-0"
REQUIRED NUMBER OF EXITS (TABLE 1008.3.1)	2
EXIT DOORWAY SEPARATION (1007.1.1 EXCEPTION 2)	1/3 DIAGONAL; DIAGONAL DISTANCE
MAXIMUM COMMON PATH OF TRAVEL (TABLE 1006.2.1)	75'-0"

LIFE SAFETY LEGEND:

Room name	ROOM TAG
AREA	ROOM NUMBER
FUNCTION	ROOM AREA
CODE	FUNCTION TYPE
	OCCUPANT LOAD
EXIT SIGN WITH LIGHTS AND CHEVRONS	
DE DELAYED EGRESS DOORS	
EGRESS PATH WITH TRAVEL DISTANCE	
170' 34" EXIT DOOR LOAD AND WIDTH EGRESS UNITS PROVIDED	
NURSE CALL	
FIRE EXTINGUISHER	
FIRE EXTINGUISHER CABINET	
EWC ELECTRIC WATER COOLER	
1 HOUR RATED SMOKE BARRIER PER 2016 CBC SECTION 435.5.1	
1 HOUR RATED BEARING WALLS, RATED FOR PROTECTION OF SEPARATION ONLY PER 2016 CBC TABLE 601, NOT AS SEPARATION	
111111111 1 HOUR FIRE RATING PARTITION CONSTRUCTED PER 2016 CBC SECTION 708	
FOR SEPARATION OF SPACE PER 2016 CBC SECTION 708	
FOR DWELLING UNIT SEPARATION PER 2016 CBC SECTION 420.8	
FOR CORRIDOR WALLS PER 2016 CBC TABLE 1020.1	
222222 2 HOUR FIRE BARRIER CONSTRUCTED PER 2016 CBC SECTION 707	
SC SMOKE COMPARTMENT	

Construction Documents for:

Artis Senior Living of Roseville
ARTIS SENIOR LIVING
 A Memory and Assisted Living Residence

1260 PLEASANT GROVE BLVD.
 ROSEVILLE, CA 95747

Project: 17005-08

Issued 10/15/2018

ENTITLEMENT

Revisions

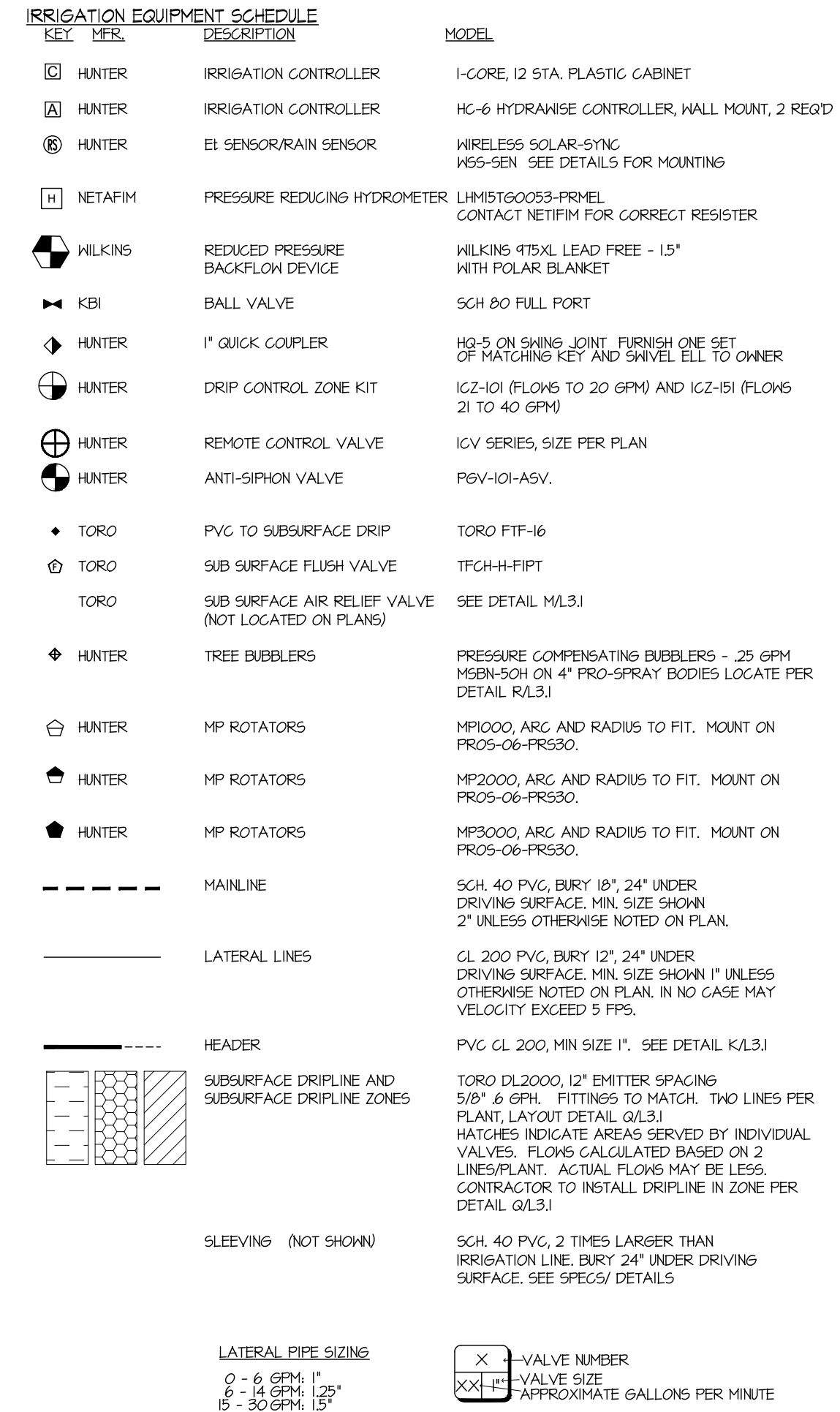
LIFE SAFETY
PLANS/
BUILDING DATA

Scale: As indicated
 Drawn: DML
 Checked: CWB

City of Roseville Approval

LS1.1

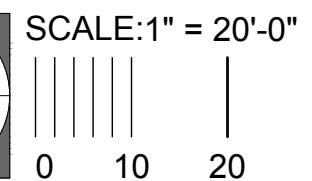
ENTITLEMENT



LATERAL PIPE SIZING
 0 - 6 GPM: 1"
 6 - 14 GPM: 1.25"
 15 - 30 GPM: 1.5"

Diagram illustrating the components of a valve symbol:

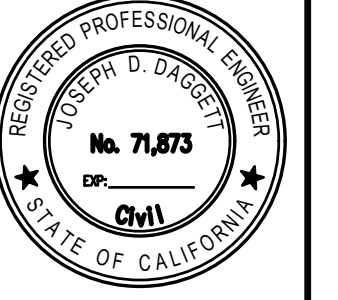
- VALVE NUMBER (indicated by 'X')
- VALVE SIZE (indicated by 'XX')
- APPROXIMATE GALLONS PER MINUTE (indicated by '10')



11.15.2018
REVIEW SET
NOT FOR CONSTRUCTION

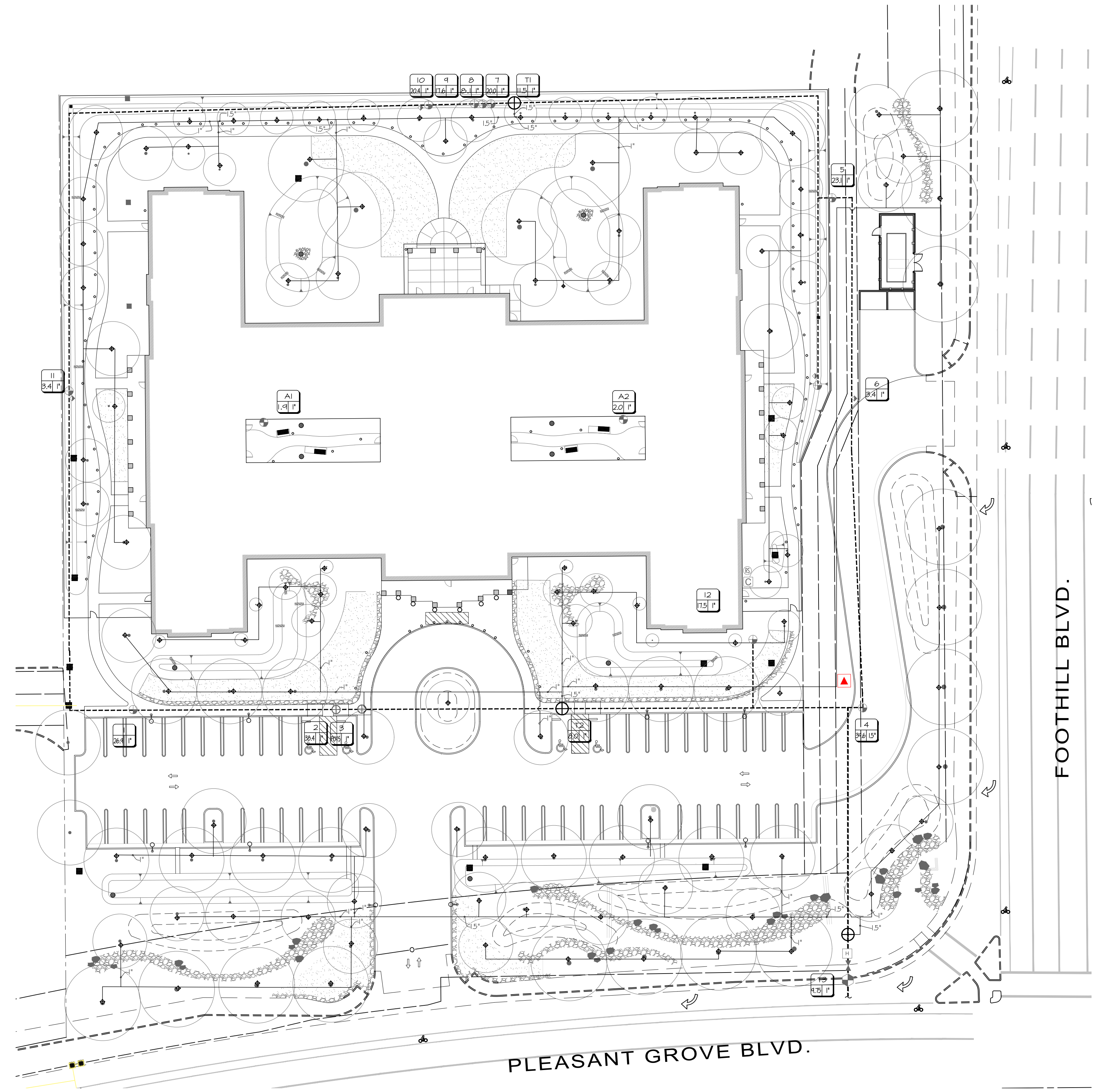
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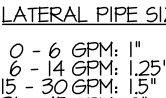
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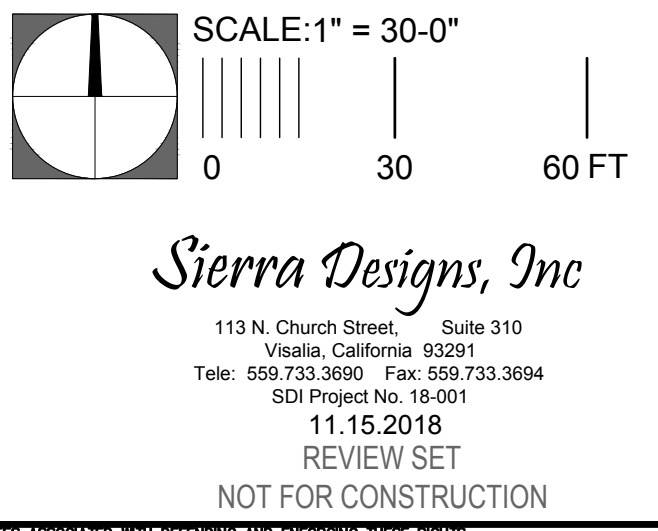


ARTIS SENIOR LIVING – ROSEVILLE
IRRIGATION – TREE BUBBLERS
ROSEVILLE, CA

REV No.			DESCRIPTION			DATE		
DOR - J. DAGGETT								
LICENSE NO:						71.873		
DRAWN BY:						RGM		
CHECKED BY:						JDD		
SCALE:						AS SHOWN		
PROJECT NO: 17-077								
SHEET								
L1.3						7		



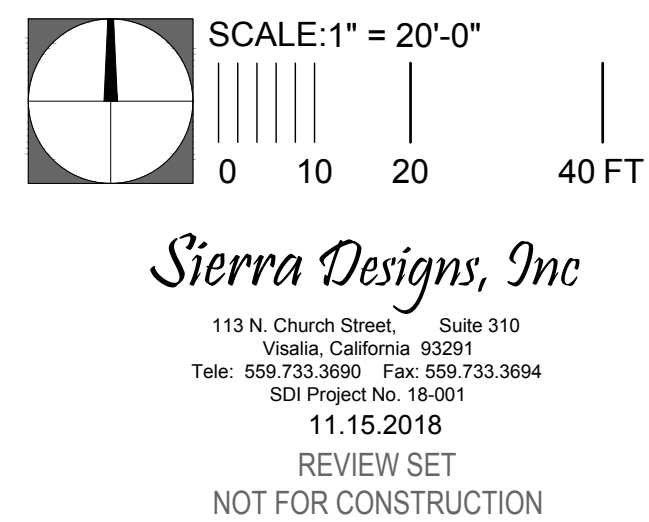
IRRIGATION EQUIPMENT SCHEDULE		MODEL
KEY	DESCRIPTION	
	HUNTER	1-CORE, 12 STA. PLASTIC CABINET
	HUNTER	HC-6 HYDRANSE CONTROLLER, HALL MOUNT, 2 REQ'D
	HUNTER	EI SENSOR/RAIN SENSOR
		WIRELESS SOLAR-SYNC R65-SEN SEE DETAILS FOR MOUNTING
	NETAFIM	PRESSURE REDUCING HYDROMETER
		LM185C0053-FRHEL CONTACT NETIFIM FOR CORRECT RESISTOR
	WILKINS	REDUCED PRESSURE BACKFLOW DEVICE
		WILKINS #75XL LEAD FREE - 1 1/2" WITH FILLER BLANKET
	KBI	BALL VALVE
		5CH 80 FULL PORT
	HUNTER	1" QUICK COUPLER
		HQ-5 ON SHINK JUNT FURNISH ONE SET OF MATCHING KEY AND SHINKVELL TO OWNER
	HUNTER	DRIP CONTROL ZONE KIT
		IC2-101 (FLOWS TO 20 GPM) AND IC2-151 (FLOWS 21 TO 40 GPM)
	HUNTER	REMOTE CONTROL VALVE
		ICV SERIES, SIZE PER PLAN
	HUNTER	ANTI-SIPHON VALVE
		P6V-101-ASV
	TORO	PVC TO SUBSURFACE DRIP
		TORO FTF-16
	TORO	SUB SURFACE FLUSH VALVE
		TFCH-HFIT
	TORO	SUB SURFACE AIR RELIEF VALVE (NOT LOCATED ON PLANS)
		SEE DETAIL ML3.1
		TREE BUBBLERS
		PRESSURE COMPENSATING BUBBLERS - .25 GPM MEAN-SOH ON 4" PRO-SPRAY BOODIES LOCATE PER DETAIL RL3.1
	HUNTER	MP ROTATORS
		MP1000, ARC AND RADIUS TO FIT. MOUNT ON FR506-FR630.
	HUNTER	MP ROTATORS
		MP2000, ARC AND RADIUS TO FIT. MOUNT ON FR506-FR630.
	HUNTER	MP ROTATORS
		MP3000, ARC AND RADIUS TO FIT. MOUNT ON FR506-FR630.
		MAINLINE
		5CH, 40 PVC, BURY (8", 24" UNDER DRIVING SURFACE, MIN. SIZE SHOWN) 2" UNLESS OTHERWISE NOTED ON PLAN.
		LATERAL LINES
		GL 200 PVC, BURY (2", 24" UNDER DRIVING SURFACE, MIN. SIZE SHOWN)" UNLESS OTHERWISE NOTED ON PLAN. IN NO CASE MAY VELOCITY EXCEED 5 FPS.
		HEADER
		PVC GL 200, MIN SIZE 1". SEE DETAIL K/L3.1
		SUBSURFACE DRIPLINE AND SUBSURFACE DRIPLINE ZONES
		TORO DL200, 12" EMITTER SPACING 5/8" 6 GPM, FITTINGS TO MATCH. TWO LINES PER PLANT, LAYOUT DETAIL Q/L3.1 HATCHES INDICATE AREAS SERVED BY INDIVIDUAL VALVES, FLOWING CALCULATED BASED ON 2 LINES/PLANT. ACTUAL FLOWS MAY BE LESS. CONTRACTOR TO INSTALL DRIPLINE IN ZONE PER DETAIL Q/L3.1
		SLEEVING (NOT SHOWN)
		5CH 40 PVC, 2 TIMES LARGER THAN IRRIGATION LINE, BURY 24" UNDER DRIVING SURFACE, SEE SPECS/ DETAILS
LATERAL PIPE SIZING		
		 VALVE NUMBER  VALVE SIZE  APPROXIMATE GALLONS PER MINUTE

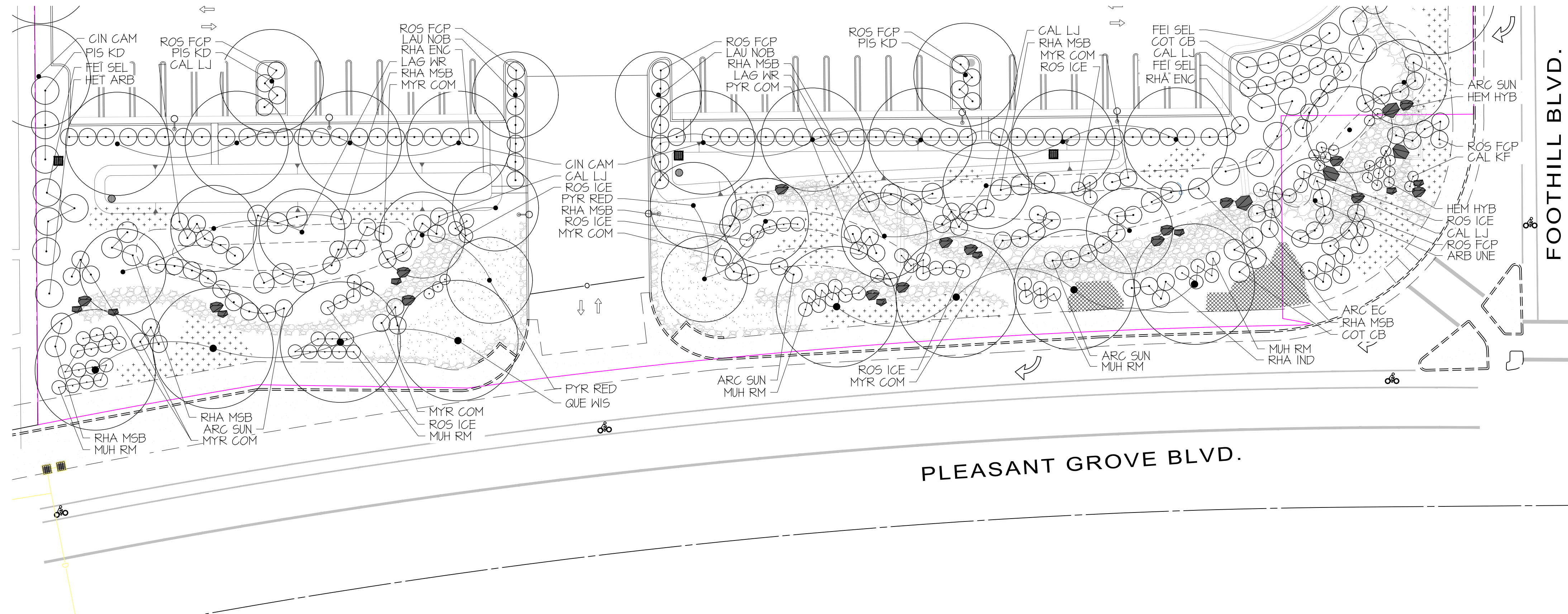


Know what's below.
Call before you dig.

11/16/2018 12:39:41 PM P:\2018 PROJECTS\ARTIS SR HOUSING ROSEVILLE\SDI\2018-11-15 ARTIS SR HOUSING - DETAILS&RR.DWG-KAYH

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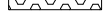




PLANT KEY

<u>SYM</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>WUCOLS</u>
TREES				
ACE PAL	ACER PALMATUM	JAPANESE MAPLE	15 GAL	M
ARB UNE	ARBUTUS UNEDO	STRAWBERRY TREE	15 GAL	L
CER OKL	CERGIS C. 'OKLAHOMA'	OKLAHOMA REDBUD	24" BOX	M
CER OKL M	CERGIS C. 'OKLAHOMA' MULTI	OKLAHOMA REDBUD	24" BOX	M
CIN CAM	CINNAMOMUM CAMPHORA	CAMPHOR TREE	24" BOX	L
GEI PAR	GEIJERA PARVIFLORA	AUSTRALIAN WILLOW	24" BOX	L
JUN BP	JUNIPERUS C. 'BLUE POINT'	BLUE POINT JUNIPER	15 GAL	M
LAG IND	LAGERSTROEMIA INDICA	GRAPE MYRTLE	15 GAL	L
LAG WR	LAGERSTROEMIA I. 'WATERMELON RED'	WATERMELON GRAPE MYRTLE	15 GAL	L
LAU NOB	LAURUS NOBILIS	SWEET BAY	24" BOX	L
OLE SH	OLEA E. 'SWAN HILL'	SWAN HILL OLIVE	24" BOX	L
PIS KD	PISTACIA C. 'KEITH DAVIES'	KEITH DAVIES PISTACHE	24" BOX	L
PLA ACE	PLANTUS AGERIFOLIA	LONDON PLANE TREE	24" BOX	M
PYR RED	PYRUS C. 'REDSPIRE'	REDSPIRE FLOWERING PEAR	15 GAL	M
QUE LOB	QUERCUS LOBATA	VALLEY OAK	15 GAL	L
QUE RUB	QUERCUS RUBRA	RED OAK	15 GAL	L
QUE WIS	QUERCUS WISLIZENII	INTERIOR LIVE OAK	15 GAL	L

GROUND COVERS

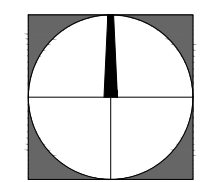
	MIXED SEASONAL ANNUALS, 8" OC FROM PONY PACKS. SUBMIT SELECTION TO OWNER FOR APPROVAL PRIOR TO GRAND OPENING.
	ARCTOSTAPHYLOS 'EMERALD CARPET' 4" OC FROM 1 GAL. WUCCOLS 'LOW'
	HEMEROCALLIS HYB, DAYLILY. 24" OC FROM 1 GAL. WUCCOLS 'MED'
	MYOPORUM P. 'PUTAH CREEK', 4" OC FROM 1 GAL. WUCCOLS 'LOW'
	MIXED ROUND ROCK, 50% 2"+, 50% 2" MINUS.
	WARM SEASON GRASS, 'CELEBRATION' HYBRID BERMUDA FROM SOD

ALL NON-TURF AREAS TO RECEIVE 3" WALK ON BARK, INCLUDING BASINS.

SEE PLANTING NOTES, SHEET L3.2

PLANT KEY

<u>SYM</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>WUCOLS</u>
SHRUBS				
AGA AF	AGAPANTHUS AFRICANUS	LILY OF THE NILE	1 GAL	M
ARC EC	ARGTOSTAPHYLOS 'EMERALD CARPET'	EMERALD CARPET MANZANITA	1 GAL	L
ARC SUN	ARGTOSTAPHYLOS 'SUNSET'	SUNSET MANZANITA	1 GAL	L
AZA SI	AZALEA 'SOUTHERN INDICA'	SOUTHERN INDICA AZALEA	5 GAL	M
AZA TREE	AZALEA TREE	AZALEA TREE	5 GA	M
BER CB	BERBERIS CHERRY BOMB	CHERRY BOMB BARBERRY	5 GAL	L
BER THU	BERBERIS THUNBERGII	JAPANESE BARBERRY	5 GAL	L
KAL GF	CALAMAGROSTIS 'KARL FOERSTER'	FEATHER REED GRASS	5 GAL	L
GAL LJ	CALLISTEMON 'LITTLE JOHN'	LITTLE JOHN BOTTLEBRUSH	5 GAL	L
CAM JAP	CAMELLIA JAPONICA	CAMELLIA	5 GAL	M
CIS SUN	CISTUS SUNSET	SUNSET ROCKROSE	5 GAL	L
COT CB	COTONEASTER CORAL BEAUTY	CORAL BEAUTY COTONEASTER	5 GAL	L
COT GLA	COTONEASTER GLAUCOPHYLLUS	COTONEASTER	5 GAL	L
DIE BIG	DIETES BICOLOR	FORTNIGHT LILY	1 GAL	L
FEI SEL	FEIJOA SELLOWIANA	PINEAPPLE GUAVA	5 GAL	L
HEM HYB	HEMEROCALLIS HYBRID	DAYLILY	1 GAL	M
HEM SDO	HEMEROCALLIS STELLA D'ORO	DAYLILY	1 GAL	M
HES PAR	HESPERALOE PARVIFLORA	RED YUCCA	5 GAL	L
HET ARB	HETEROMELES ARBUTIFOLIA	CHRISTMAS BERRY TOYON	5 G	VL
HUI PP	HEUCHERA PALACE PURPLE	CORAL BELLS	1 GAL	M
LAN CON	LANTANA CONFETTI	LANTANA	5 GAL	L
LAN LAV	LANTANA 'LAVENDER SWIRL'	LAVENDER SWIRL LANTANA	1 G	L
LEU FRU	LEUCOPHYLLUM FRUTESCENS	TEXAS RANGER	5G	L
LOR CHI	LOREPETALUM CHINENSE	FRINGE FLOWER	1 GAL	L
MUH RM	MUEHLENBERGIA C. REGAL MIST	REGAL MIST PINK MUHLY	5 GAL	L
MYR COM	MYRTUS COMMIS	COMMON MYRTLE	5 GAL	L
NAN DOM	NANDINA DOMESTICA	HEAVENLY BAMBOO	5 GAL	L
NAN SS	NANDINA SIENNA SUNSET	SIENNA SUNSET HVNLY BAMBOO	5 GAL	L
OLE LO	OLEA E. 'LITTLE OLLIE'	DWF OLIVE TREE 'LITTLE OLLIE'	5 GAL	L
PEL HOR	PELAGORIUM HORTORUM	ZONAL GERANIUM	1 GAL	L
PEN SET	PENNISSETUM SETACEUM	FOUNTAIN GRASS	5 GAL	L
PHI XAN	PHILODENDRON XANADU	WINTERBURN PHILODENDRON	5 GAL	M
PTI TOB	PITTOSPORUM TOBIRA VARIEGATA	MOCK ORANGE	5 GAL	M
PRU OL	PRUNUS 'OTTO LUYKEN'	CHERRY LAUREL	5 GAL	L
RHA GLA	RHAPHIOLEPIS I. 'CLARA'	CLARA INDIAN HAWTHORN	5 GAL	M
RHA ENC	RHAPHIOLEPIS I. 'ENCHANTRESS'	ENCHANTRESS INDIAN HAWTHORN	5 G	M
RHA MSB	RHAMNUS C. 'MOUND SAN BRUNO'	COFFEEBERRY	5 GAL	L
RHA UMB	RHAPHIOLEPIS U. 'MINOR'	YEDDO HOLLY	5 GAL	M
ROS FCP	ROSE X. 'NOATRAUM'	PINK FLOWER CARPET ROSE	3 G	M
ROS ICE	ROSE 'ICEBERG'	WHITE ICEBERG ROSE	5 GAL	M
ROS HB	ROSEMARINUS 'HUNTINGTON BLUE'	HUNTINGTON BLUE ROSEMARY	5 GAL	L
SAL GRE	SALVIA GREGGII	AUTUMN SAGE	1 GAL	L
ZAU CAL	ZAUSCHNERIA CALIFORNICA	CALIFORNIA FUCHSIA	1 GAL	L



SCALE: 1" = 20'-0"

Sierra Designs, Inc

113 N. Church Street, Suite 310

Visalia, California 93291
Tele: 559.733.3690 Fax: 559.733.3694

SDI Project No. 18-001
11/15/201811.13.2018
REVIEW SET

REVIEW SET
NOT FOR CONSTRUCTION

ENDING AND EXERCISING THESE RIGHTS

DOI: 10.1002/for

GATEWAY
ENGINEERING, INC.
CIVIL ENGINEERS | LAND SURVEYORS
P. 559-320-0344 | F. 559-320-0345 | WWW.GATEWAYENG.COM
5811 EAST PRINCETON AVENUE, FRESNO, CA 93727-1377



2-12-17

ARTIS SENIOR LIVING – ROSEVILLE
PLANTING PLAN—SOUTH
ROSEVILLE, CA.

[illegible]

OR: K. HUTMACHER

LICENSE NO: 2455

DRAWN BY: KD

DRAIN ST. RD

CHECKED BY: **KH**

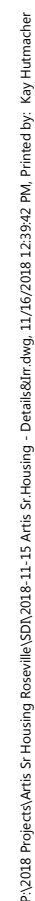
SCALE: AS SHOWN

PROJECT NO: 17-077

SHEET

100 7

L2.2



VERIFICATION:
THE CONTRACTOR SHALL CONFIRM AVAILABILITY OF PLANT MATERIALS IMMEDIATELY AFTER THE SIGNING OF THE CONTRACT WITH THE OWNER. SUBSTITUTIONS WITHOUT PRIOR WRITTEN AUTHORIZATION BY THE LANDSCAPE ARCHITECT ARE NOT ALLOWED.

SCHEMATIC:
THE FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. NO UTILITY SURVEY HAS BEEN CONDUCTED. PRIOR TO PLANTING, VERIFY EXACT LOCATIONS WITH THE PROJECT ENGINEER AND OWNER. TREES LOCATIONS SHALL RESPECT THE FOLLOWING OFFSETS FROM UTILITIES:

- 30' FROM STREET CORNERS FOR VISIBILITY & 15' FROM DRIVEWAY, STOP SIGNS, ALLEYS, LIGHT POLES AND POWERS POLES
- 10' FROM FIRE HYDRANTS & 8' FROM SEWER LINES
- 5' FROM BUILDINGS OVERHANGS AND 2' FROM ADJACENT CONCRETE AND ADJOINING PROPERTY LINES
- 3' FROM GAS, ELECTRICAL, AND WATER LINES, AND ROOF DRAINS

IF CONFLICTS ARISE BETWEEN PLANS AND FIELD CONDITIONS NOTIFY PROJECT ENGINEER AND LANDSCAPE ARCHITECT.

CODES:
ALL PLANTINGS SHALL BE INSTALLED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND NURSERY AND MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND REQUIREMENTS. NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY IN WRITING PRIOR TO SIGNING OF A CONTRACT WITH THE OWNER OF ANY CONFLICTS. CONFLICTS NOTED AFTER CONTRACT SIGNING OR AFTER THE COMMENCEMENT OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

FINISH GRADE:
LANDSCAPE CONTRACTOR SHALL NOT FINE GRADE, AMEND SOIL OR DO ANY PLANTING OR IRRIGATION WORK UNTIL FINAL GRADES ARE ESTABLISHED WITHIN 0.1' BY GENERAL CONTRACTOR.

FINISH GRADES IN PLANTING AREAS:
FINISH GRADES SHALL CONFORM TO GRADING PLAN. FINISH GRADES SHALL BE 1" BELOW ADJACENT HARDSCAPE IN TURF AREAS AND 2" BELOW ADJACENT HARDSCAPE IN SHRUB AREAS. POSITIVE DRAINAGE AWAY FROM BUILDINGS AND WALKWAYS SHALL BE MAINTAINED.

PLANT ALLOWANCE:
THE CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH A COMPLETE PROJECT. HE/SHE SHALL INSTALL ANY AND ALL PLANT MATERIAL AS SHOWN ON THE DRAWINGS AND LEGENDS. SHOULD A DISCREPANCY OCCUR BETWEEN THE PLANS, NOTES OR LEGENDS THE ONE THAT REQUIRES THE GREATER NUMBER OF PLANTS SHALL PREVAIL. THE CONTRACTOR SHALL MAKE ALL NEEDED CHANGES AS DIRECTED BY THE LANDSCAPE ARCHITECT AND PROVIDE THE OWNER WITH A COMPLETE PROJECT AT NO ADDITIONAL COST TO THE OWNER.

TREE PLANTING:
THE CONTRACTOR SHALL BE RESPONSIBLE TO ADEQUATELY PLAN

FOR TREE PLANTING WHILE INSTALLING THE IRRIGATION SYSTEM. NO TREES OR SHRUBS SHALL BE PLANTED DIRECTLY ON TOP OF IRRIGATION LINES.

ROOT BARRIERS:
REQUIRED WHERE TREES ARE WITHIN 6' FROM CURBS, WALLS, PAVEMENT OR OTHER HARDSCAPE, WHETHER ILLUSTRATED ON THE PLANS OR NOT. SEE DETAILS REGARDING ADDITIONAL ROOT BARRIER REQUIREMENTS.

PLANTING DEPTH:
THE CONTRACTOR SHALL PLANT ALL PLANTS AS SHOWN ON THE DETAILS. SHOULD THE CONTRACTOR OVERDIG PLANTING HOLES, AND THE PLANT OR PLANTS SETTLE, THE CONTRACTOR SHALL BE RESPONSIBLE TO REPLANT THESE PLANTS CORRECTLY. SHOULD REPLANTING WEAKEN THE PLANT, THE CONTRACTOR SHALL REPLACE THE PLANT IMMEDIATELY. SHOULD ANY PLANTS SETTLE DURING THE ONE YEAR WARRANTY PERIOD, THEY SHALL BE REPLACED BY THE CONTRACTOR. ALL REPLANTING AND REPLACEMENT SHALL BE DONE BY THE CONTRACTOR WITHIN TWO WEEKS OF NOTIFICATION AT NO ADDITIONAL COST TO THE OWNER. ALL REPLACEMENT PLANTING SHALL BE PROVIDED BY THE CONTRACTOR TO MATCH THE SAME SIZE OF THE SURROUNDING PLANTING (I.E. REPLACEMENT PLANTS FOR 1 GAL. SIZE MAY REQUIRE REPLACEMENT BY 5 GAL. 5 GAL. BY 15 GAL. 15 GAL. BY 24" BOX ETC.). THE LANDSCAPE ARCHITECT SHALL HAVE THE FINAL DETERMINATION AS TO WHICH PLANTS ARE PLANTED TOO DEEP AND IF ANY PLANTS HAVE BEEN WEAKENED BY REPLANTING AND REQUIRE REPLACEMENT.

DRAINAGE:
ALL TREE PITS SHALL BE TESTED FOR ADEQUATE DRAINAGE BY FILLING PLANT PIT WITH WATER. IF WATER DOES NOT DRAIN IN 4 HOURS HOLE MUST BE AUGURED WITH AN 8" Ø (MIN) AUGER TO A DEPTH OF 48". SOIL REPLACED AND PIT RETESTED. IF PIT FAILS TO DRAIN IN 4 HOURS PIT MUST BE OVEREXCAVATED UNTIL DRAINAGE IS ACHIEVED. (SEE DETAILS). IN SHRUB AREAS CONDUCT SAME TEST FOR A MINIMUM OF 1 - 5 GALLON SHRUB PIT PER EACH PLANTING AREA. IF PIT DRAINS NO FURTHER TESTING IS REQUIRED. IF PIT FAILS TO DRAIN AUGER AS ABOVE. IF AUGURED PIT DRAINS ALL PLANT PITS IN THE PLANTING AREA MUST BE AUGURED AND RESETTLED BEFORE PLANTING. IF AUGURED PIT DOES NOT DRAIN SHRUB PITS MUST BE OVEREXCAVATED UNTIL DRAINAGE IS ACHIEVED.

BACKFILL:
BACKFILL FOR PLANTING WITH 50% CLEAN NATIVE SOIL AND 50% NITROLIZED FOREST HUMUS OR NITROLIZED SAND/ST. PLANT TREES AND SHRUBS WITH TOP OF ROOTBALL SLIGHTLY ABOVE GROUND LEVEL. SET PLANT ON NATIVE GRADE. IF HOLE IS OVERDUG, BACKFILL WITH 3/4" SAND TO POINT WHERE PLANT CROWN IS ABOVE GROUND LEVEL. SET PLANT, BACKFILL, HALFWAY, TAMP SOIL, ADD FERTILIZER TABLETS THEN COMPLETE BACKFILL. SEE DETAIL. SLOW RELEASE FERTILIZER PACKS SHALL BE ADDED WHEN PLANTING AS FOLLOWS: 1 PER 1 GALLON, 3 PER 5 GALLON, 6 PER 15 GALLON, 12 PER 24" BOX. PROVIDE WATERING BASIN AROUND EACH PLANT. WATER IMMEDIATELY. REMOVE BASINS IN TURF AREAS PRIOR TO PLANTING TURF.

SOIL PREPARATION:
REMOVE STONES, ROOTS AND OTHER DEBRIS FROM THE PLANTING AREA. COMPACTED SOIL SHALL BE RETURNED TO A FRIABLE CONDITION. APPLY WATER AS NEEDED TO OBTAIN OPTIMUM MOISTURE CONTENT FOR SOIL PREPARATION AND PLANTING.

FERTILIZER AND AMENDMENTS:
APPLY 20# 0-0-50P/1000 SF OF PLANTER, MIX WELL INTO TOP 6". ALSO 15# 16-16-16 AND 4# HYDRA-MUNE (AVAILABLE FROM HELENA CHEMICALS) PER 1000 SF. BEFORE PLANTING. PROVIDE 4 CY/1000 SF MATURE COMPOST AND TILL INTO TOP 6" OF SOIL. PROVIDE WEIGHT TAGS OR BAG RECEIPTS TO PROJECT ARCHITECT WITH WORK INVOICES.

HERBICIDES:
CONTRACTOR WILL APPLY RONSTAR OR APPROVED EQUAL PER MANUFACTURER'S REQUIREMENTS AFTER PLANTING. CONFORM TO ALL NATIONAL, STATE AND LOCAL REPORTING REQUIREMENTS. CONTRACTOR WILL MAINTAIN THE PROJECT IN A WEED-FREE CONDITION UNTIL END OF MAINTENANCE PERIOD.

TREES:
ALL TREES SHALL MEET THE REQUIREMENTS OF THE AMERICAN ASSN. OF NURSERYMEN AMERICAN STANDARD FOR NURSERY STOCK. TREES SHALL BE OF EXCELLENT HEALTH WITHOUT DAMAGED OR CIRCLING ROOTS OR FOLIAR DAMAGE FROM FUNGUS, INSECT, SUN OR WIND EXPOSURE OR OTHER BIOLOGICAL OR CLIMATIC CAUSE. THE LANDSCAPE ARCHITECT OR OWNER RESERVE THE RIGHT TO REJECT UNSUITABLE TREES EVEN AFTER PLANTING. CONTRACTOR SHALL REQUEST EVALUATION FROM LANDSCAPE ARCHITECT PRIOR TO PLANTING IF HE/SHE HAS QUESTIONS REGARDING SUITABILITY. IF EVALUATION REQUIRES A SITE VISIT NOT PREVIOUSLY SCHEDULED, THE COST OF THE EVALUATION SHALL BE BORNE BY THE CONTRACTOR. TREES SHALL BE STAKED PER DETAIL.

TREE CALIPER:
TREES WILL HAVE THE FOLLOWING CALIPER AT 6" ABOVE GRADE:

5 GAL.	5"-.75"
15 GAL.	.75"-1.5"
24" BOX	1.5"-2.5"

WARRANTY PERIOD, MAINTENANCE PERIOD:
CONTRACTOR SHALL WARRANT PLANTING AND ALL OF ITS COMPONENTS FOR 12 MONTHS AFTER FINAL ACCEPTANCE OF PROJECT. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MATERIALS AND LABOR ASSOCIATED WITH THE GUARANTEE, INCLUDING BUT NOT LIMITED TO THE LOSS OF PLANT MATERIAL OR DAMAGE TO STRUCTURES. CONTRACTOR SHALL PROVIDE MAINTENANCE OF THE PROJECT FOR 90 DAYS BEGINNING AT SUBSTANTIAL COMPLETION OF THE PROJECT.

MULCH:
THE CONTRACTOR SHALL INSTALL 3" OF WOOD CHIPS OR BARK ON ALL NON-TURF PLANTING AREAS.

WATER EFFICIENT LANDSCAPE WORKSHEET

Project Name: **Artis Senior Living of Roseville** Date: **10.2.18**
Reference Evapotranspiration **52.2** Roseville
MAWA Allowance **0.45**
(.45 for Commercial, .55 for Residential, .65 DSA)

Hydrozone # and Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency* (PF/IE)	ETAF (PF/IE)	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use (ETWU)
REGULAR LANDSCAPE AREAS							
HZ #1 West Front - Low WU	0.3	drip	0.81	0.37	10272	3804.44	123127.04
HZ #2 East Front - Low WU	0.3	drip	0.81	0.37	15111	5596.67	181130.52
HZ #3 Front against bldg - Mixed M/L	0.5	drip	0.81	0.62	7582	4680.25	151471.51
HZ #4 Northeast - Low WU	0.3	drip	0.81	0.37	6068	2247.41	72735.09
HZ #5 Back Perimeter - Low WU	0.3	drip	0.81	0.37	8149	3018.15	97679.35
HZ #6 Back, Sun - Mixed L/M WU	0.5	drip	0.81	0.62	6757	4170.99	134989.84
HZ #7 Back, Shade - Mixed L/M WU	0.5	drip	0.81	0.62	3100	1913.58	61931.11
HZ #8 Tree Bubblers	0.4	bubler	0.81	0.49	620	306.17	9908.98
HZ #9 Unirrigated	0	none	1	0.00	6955	0.00	0.00
HZ #10 Warm Season Turf, Backyard	0.6	rotator	0.75	0.80	1067	853.60	27625.91
HZ #11 Warm Season Turf, Front	0.6	rotator	0.75	0.80	8707	6965.60	225434.68
			1	0.00		0.00	0.00
			1	0.00		0.00	0.00
			1	Totals	74388	33556.85	

SPECIAL LANDSCAPE AREAS							
				1		0.00	0
				1		0.00	0
				1		0.00	0
				Totals	0	0	
					ETWU Total	626143.51	
					Maximum Allowed Water Allowance (MAWA)	1083371.95	

REGULAR LANDSCAPE AREA				ETAF Calculations			
Total ETAF x Area	33556.85			ALL LANDSCAPE AREAS			*IE
Total Area	74388			Total ETAF x Area	33556.85		drip = .81
Average ETAF	0.45			Total Area	74388		spray = .75
				Sitewide ETAF	0.45		

A PLANTING NOTES

VERIFICATION:
THE SYSTEM IS BASED ON **106** P.S.I. AND **45** G.P.M. AVAILABLE AT THE DISCHARGE OUTLET OF THE METER OR OTHER POINT OF CONNECTION. THE CONTRACTOR SHALL VERIFY THE SAME AT THE AWARD OF THE CONTRACT. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF THE DATA IS SIGNIFICANTLY DIFFERENT AND WOULD ADVERSELY AFFECT THE OPERATION OF THE SYSTEM. SUCH NOTICE SHALL BE IN WRITING AND SHALL OCCUR WITHIN 5 DAYS OF CONTRACT AWARD.

SCHEMATIC:
THE SYSTEM FEATURES ARE SHOWN SCHEMATICALLY FOR GRAPHIC CLARITY. INSTALL ALL PIPING AND VALVES IN COMMON TRENCHES WHERE FEASIBLE AND INSIDE PLANTING AREAS. VALVES AND MAIN LINES SHALL BE LOCATED IN PLANTER AREAS.

UTILITIES:
NO UTILITY SURVEY HAS BEEN PERFORMED. CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING UNDERGROUND SERVICE ALERT TWO (2) DAYS PRIOR TO THE START OF WORK. PHONE: 1-800-227-2600. DURING TRENCHING OPERATIONS, CONTRACTOR SHALL PROTECT EXISTING UTILITIES IN PLACE. IN THE EVENT OF CONFLICT BETWEEN UTILITIES AND TRENCHING OPERATIONS, CONTRACTOR SHALL HAND DIG TRENCH TO AVOID DAMAGE TO EXISTING UTILITIES.

CODES:
THE IRRIGATION SYSTEM AND ALL OTHER MECHANICAL, ELECTRICAL AND STRUCTURAL SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ALL FEDERAL, STATE AND LOCAL CODES AND MANUFACTURER'S SPECIFICATIONS, RECOMMENDATIONS AND REQUIREMENTS. ALL ELECTRICAL EQUIPMENT SHALL BE U.L. LISTED. NOTIFY THE ARCHITECT IMMEDIATELY IN WRITING PRIOR TO SIGNING A CONTRACT OWNER OF ANY CONFLICTS. CONFLICTS NOTED AFTER SIGNING OR AFTER THE COMMENCEMENT OF WORK SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

MATERIALS:
ALL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS. NOTIFY ARCHITECT PRIOR TO BIDDING IN THE EVENT OF CONFLICTS BETWEEN MANUFACTURER'S RECOMMENDATIONS, PLANS, DETAILS, NOTES, OR SITE FEATURES.

INSTALLATION:
THE LANDSCAPE ARCHITECT SHALL NEITHER HAVE CONTROL OVER OR CHARGE OF NOR BE RESPONSIBLE FOR THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, SINCE THESE ARE SOLELY THE

CONTRACTOR'S RIGHTS AND RESPONSIBILITIES UNDER THE CONTRACT DOCUMENTS.

EXAMINE AREAS AND CONDITIONS UNDER WHICH IRRIGATION WORK IS TO BE PERFORMED. DO NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED.

NO PART OF THIS SYSTEM SHALL BE INSTALLED IN ANY LOCATION OR MANNER WHICH MAY ENDANGER THE HEALTH, SAFETY, OR WELFARE OF THE PUBLIC. OPEN EXCAVATIONS SHALL BE BARRICADED OR COVERED. PROVIDE AND MAINTAIN ALL LIGHTS, WARNING SIGNS, BARRICADES, ETC. AS MAY BE REQUIRED OR NECESSARY TO PROTECT THE PUBLIC. ALL ABOVE GROUND EQUIPMENT SHALL BE INSTALLED ADJACENT TO STRUCTURES, FENCES, OR WALLS, OR IT SHALL BE PERMANENTLY BARRICADED IN SUCH A WAY AS TO PREVENT TRIPPING OVER IT OR RUNNING INTO IT INADVERTENTLY.

PROTECT BUILDINGS, WALKS, WALLS AND OTHER PROPERTY FROM DAMAGE. DAMAGE CAUSED TO ASPHALT, CONCRETE, OR OTHER BUILDING MATERIAL SURFACES SHALL BE REPAIRED OR REPLACED AT NO COST TO THE OWNER. RESTORE DISTURBED AREAS TO ORIGINAL CONDITIONS. EXPENSES DUE TO VANDALISM BEFORE FINAL ACCEPTANCE SHALL BE BORNE BY THE CONTRACTOR.

INSTALL ANY SLEEVING UNDER ASPHALT OR CONCRETE PAVING WIDER THAN 5' PRIOR TO PAVING OPERATIONS TO ACCOMMODATE PIPING. CONCRETE BACKFILL AROUND SLEEVES TO 95 % MODIFIED PROCTOR DENSITY WITHIN 2 % OF OPTIMUM MOISTURE CONTENT IN ACCORDANCE WITH ASTM D1557 OR AS DIRECTED BY CIVIL ENGINEER. ANY SETTling OF BACKFILLED TRENCHES WHICH A OCCUR DURING GUARANTEE PERIOD SHALL BE REPAIRED AT NO EXPENSE TO THE OWNER INCLUDING COMPLETE RESTORATION OF DAMAGED PROPERTY.

TRENCH EXCAVATION SHALL FOLLOW, AS MUCH AS POSSIBLE, LAYOUT SHOWN ON DRAWING. DIG TRENCHES STRAIGHT AND SUPPORT PIPE CONTINUOUSLY ON BOTTOM OF TRENCH. TRENCH BOTTOM SHALL BE CLEAN AND SMOOTH WITH ALL ROCK AND DEBRIS REMOVED. TRENCHES FOR PIPING SMALLER THAN 3 INCHES SHALL HAVE A MINIMUM WIDTH OF 1 INCHES.

PROVIDE NOT LESS THAN 6 INCHES OF CLEARANCE BETWEEN EACH LINE, AND NOT LESS THAN 12 INCHES OF CLEARANCE BETWEEN LINES OF OTHER TRADES. ALL IRRIGATION LINES SHOULD BE A MINIMUM OF 18" BELOW BOTTOM OF BASE COURSE UNDER PAVING. SNAKE PIPE IN TRENCH AS MUCH AS POSSIBLE TO ALLOW FOR EXPANSION AND CONTRACTION. DO NOT INSTALL PIPE WITH AIR TEMPERATURE IS BELOW 40F. WHEN PIPE LAYING IS NOT IN PROGRESS, OR AT END OF EACH DAY, CLOSE PIPE ENDS WITH TIGHT PLUG OF CAP. FLUSH EACH LINE

COMPLETELY BEFORE INSERTING NOZZLES. PERFORM WORK IN ACCORDANCE WITH GOOD PRACTICE PREVAILING IN PIPING TRADES.

HEAD ALLOWANCE:
THE CONTRACTOR IS REQUIRED TO PROVIDE THE OWNER WITH A COMPLETE PROJECT. HE/SHE SHALL INSTALL ANY ADDITIONAL HEADS, NOZZLE CHANGES, VALVES, IRRIGATION LINES, WIRE, ETC. AS NECESSARY TO ACCOMMODATE ANY NECESSARY FIELD CHANGES. THE CONTRACTOR SHALL MAKE ALL NEEDED CHANGES AS DIRECTED BY THE LANDSCAPE ARCHITECT AND PROVIDE THE OWNER WITH A COMPLETE PROJECT AT NO ADDITIONAL COST TO THE OWNER.

CHECK VALVES:
INSTALL CHECK VALVES AT THE BASE OF ANY LINES OR HEADS THAT DISPLAY LOW END DRAINAGE. THESE SHALL BE INCLUDED IN THE CONTRACTORS PRICE AND SHALL BE ADDED AS DIRECTED BY THE ARCHITECT AND PROVIDE THE OWNER WITH A COMPLETE PROJECT WITH NO ADDITIONAL COST TO THE OWNER.

SLEEVING:
THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATELY SIZED SLEEVING FOR ALL IRRIGATION, LIGHTING AND OTHER LANDSCAPE COMPONENTS. THE DRAWINGS ARE INTENDED TO BE A GUIDE ONLY. SLEEVES SHALL BE CLEARLY MARKED DURING CONSTRUCTION AND SHALL OCCUR UNDER ALL PAVED AREAS WIDER THAN 5' AND SHALL EXTEND 1' MINIMUM BEYOND ALL PAVING.

ELECTRICAL SERVICE:
ALL EXPOSED 110V WIRES SHALL BE PLACED IN RIGID METAL CONDUIT AND HARD WIRED DIRECTLY TO 110V SERVICE. ALL EXPOSED LOW VOLTAGE WIRE FOR IRRIGATION SHALL ALSO BE PLACED IN RIGID METAL CONDUIT.

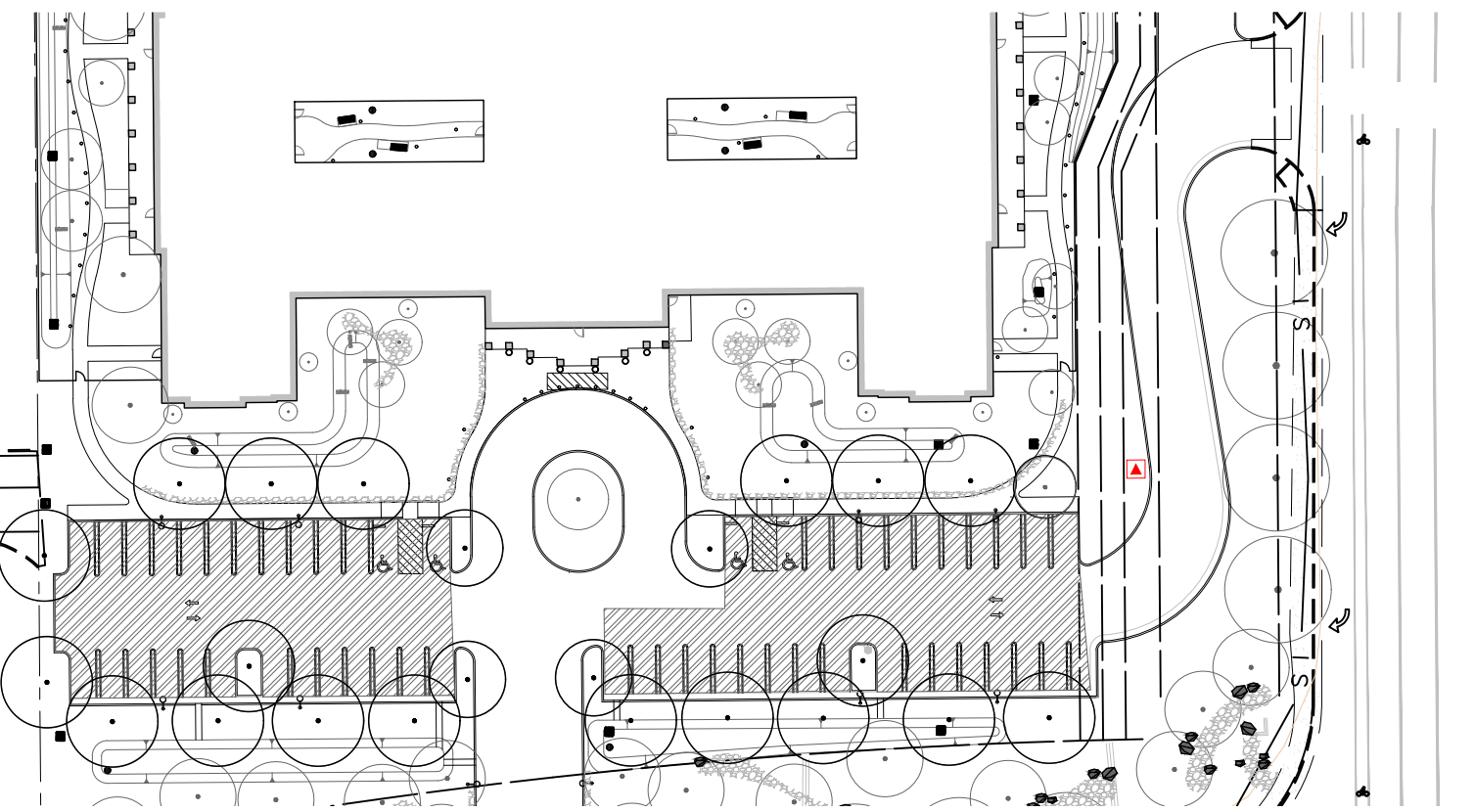
TEST:
WHILE TRENCHES ARE OPEN PLACE ALL LINES UNDER WORKING PRESSURE FOR 2 HOURS UNDER OBSERVATION OF OWNER'S REPRESENTATIVE. REPAIR OR REPLACE ANY DEFECTIVE ELEMENTS AND REPEAT TEST UNTIL ALL VISIBLE LEAKS STOP.

FINAL ACCEPTANCE:
OPERATE EACH IRRIGATION ZONE FOR THE LANDSCAPE ARCHITECT. ITEMS DEEMED NOT ACCEPTABLE SHALL BE REPAIRED OR REPLACED TO SATISFACTION.

WARRANTY/GUARANTEE:
MANUFACTURER'S WARRANTY MATERIALS AGAINST DEFECTS FOR A MINIMUM PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE. INSTALLER SHALL GUARANTEE WORKMANSHIP FOR THE SAME PERIOD.

B WATER BUDGET

PARKING LOT SHADE CALCULATION			
PARKING LOT TO BE SHADED (STALLS & BACK UP AREAS):	15,022 SF		
SHADE REQUIRED (50%):	7,511 SF		
SHADE PROVIDED:			
NORTH AND CORNER TREES: 8 @ 962 SF, 2 @ 101 SF (x.25)	2,356 SF		
1 @ 314 SF (x.25)			
EAST, WEST AND SOUTH TREES: 11 @ 962, 2 @ 101 SF (x.50)	5,998 SF		
TOTAL	8,354 SF		
8,354 SF > 7,511 THEREFORE DESIGN MEETS PARKING LOT REQUIREMENT			



D PARKING LOT SHADE CALCULATION

REVIEW SET
NOT FOR CONSTRUCTION

Sierra Designs, Inc

113 N. Church Street, Suite 310
Visalia, California 93291
Tel: 559.733.3690 Fax: 559.733.3694
SDI Project No. 18-001
11.15.2018



ARTIS SENIOR LIVING – ROSEVILLE
NOTES AND WATER CONSERVATION DOCUMENTATION
ROSEVILLE, CA.

REV. NO.	DESCRIPTION	DATE

DOR: **K. HUTMACHER**

LICENSE NO: **2455**

DRAWN BY: **KD**

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