



AGENDA

September 19, 2024

DESIGN COMMITTEE MEETING

4:30 P.M.

Civic Center Meeting Rooms 1 & 2

311 Vernon Street

Roseville, California

www.roseville.ca.us

THE CITY OF ROSEVILLE WELCOMES YOUR PARTICIPATION

If an agenda item is open to public comment, such public comment shall be addressed to the chair of the meeting.

Public Comment - Speakers have three minutes under Public Comment to speak on issues that are not listed on the agenda and are within the City's jurisdiction. The Brown Act does not permit any action or discussion on items not listed on the agenda.

Consent Calendar - If applicable, the Consent Calendar consists of routine items that may be approved by one motion. Any person can remove an item from the Consent Calendar to be discussed separately.

Agenda Items - Speakers have five minutes to address items that are listed on the agenda.

Levine Act Provisions - The Levine Act requires a Party (or its agent (s)) to a Proceeding before the City of Roseville that involves any action or consideration to their contract, license, permit, or other entitlement for use, to disclose any campaign contribution made to City elected or appointed officers (including Councilmembers, Planning Commissioners, and members of other City boards and commissions) totaling more than \$250 within the 12 months before the City decision.

Americans with Disabilities Act - Notify the City Clerk or Secretary at least 72 hours in advance if special assistance is required to participate in a meeting including the need of auxiliary aids or services.

Audio/Visual Presentations - If making a presentation regarding an agenda item, audio/visual materials must be submitted to the City Clerk or Secretary at least 72 hours in advance.

Roseville City Clerk 311 Vernon Street, Roseville, CA 916-774-5200 TDD 916-774-5220

1. CALL TO ORDER
2. ROLL CALL SILENT

3. CONSENT CALENDAR

3.1. Minutes of August 15, 2024

4. REQUESTS/PRESENTATIONS

4.1. Infill Parcel 18 - 141 Birch Street Residential Project, 141 Birch St, File # PL24-0741

REQUEST

The applicant requests approval of a Design Review Permit to allow the construction of a 1,512-square-foot single-family dwelling unit and a 1500-square-foot duplex with associated parking and landscaping improvements.

Applicant: Sergey Brodskiy, Perfect Home Solutions, LLC

Owner: Perfect Home Solutions, LLC

RECOMMENDATION

The Planning Division recommends the Design Committee take the following actions:

1. Adopt the four (4) findings of fact and approve the Design Review Permit subject to twenty-five (25) conditions of approval.

5. BOARD MEMBER / STAFF REPORT

6. PUBLIC COMMENTS

7. ADJOURNMENT



DESIGN COMMITTEE COMMUNICATION

Title: Minutes of August 15, 2024
Contact: Lupe Nelson, lnelson@roseville.ca.us, (916) 774-5281

Meeting Date: 9/19/2024
Item #: 3.1.

ATTACHMENTS:

Description

Minutes of August 15, 2024



DRAFT MINUTES

August 15, 2024

DESIGN COMMITTEE MEETING

4:30 P.M.

Civic Center Meeting Rooms 1 & 2

311 Vernon Street

Roseville, California

www.roseville.ca.us

1. CALL TO ORDER

Chair Haggenjos called the meeting to order at 4:30 p.m.

2. ROLL CALL SILENT

Present: Boyle, Clark, Haggenjos

Absent: None

3. CONSENT CALENDAR

3.1. Minutes of June 20, 2024

Motion by Committee Member Clark, seconded by Committee Member Boyle, to approve the Consent Calendar.

The Motion passed unanimously with a voice vote.

4. REQUESTS/PRESENTATIONS

4.1. North Central Roseville Specific Plan Parcel 32 - AHC of Roseville Skilled Nursing Facility, 960 Gibson Dr, File # PL23-0290

REQUEST

The applicant requests a Design Review Permit to allow construction of a single-story, 46-bed skilled nursing facility totaling 42,445 square feet with associated parking, lighting, and landscaping.

Associate Planner, Escarlet Mar, presented the staff report.

Committee Member Discussion

- A Committee Member asked for clarification on the project's address as the applicant's website states 1001 Roseville Parkway. Staff responded that the Business Services Division has the project address is 960 Gibson Drive.
- A Committee Member asked who owns parcels 2, 3, 4, and 5. Applicant responded that the parcels are owned by the Bollinger family.
- A Committee Member commented that the project provides ample parking.
- A Committee Member asked if there is a future easement for reciprocal access and parking. Staff stated the easement is to provide future access between the parcels. Applicant responded that they have agreed to reciprocal parking and access.
- A Committee Member asked why composite roofing shingles were approved instead of a tile roof. Staff responded that the project is under the jurisdiction of the California Department of Health Care Access and Information (HCAI) and that it requires composition shingles to be used as it is a lighter material and requires less seismic load for the roof framing.
- A Committee Member asked since the building is single story why a 48-foot faux roof element. Staff responded that it is an architectural feature that acts as a skylight to allow more natural light into the building.
- A Committee Member asked if Continuum Care is a separate entity that manages these facilities. Applicant responded that Advanced Health Care will manage the Roseville facility.
- A Committee Member asked if solar is required on commercial projects. Staff responded that the State of California has requirements, however, this project is under the jurisdiction HCAI.

Chair Haggenjos opened the Public Hearing and invited comments from the applicant and/or the audience.

Applicant Allen Warren, New Faze Development, stated he had received a copy of the staff report and was in agreement with staff's recommendation.

Hearing no public comments, Chair Haggenjos closed the public comment period and Public Hearing.

Motion by Committee Member Boyle, seconded by Committee Member Clark, to:

1. Adopt the AHC of Roseville Skilled Nursing Facility Initial Study/Mitigated Negative Declaration and Mitigation Monitoring and Reporting Program; and
2. Adopt the four (4) findings of fact and approve the Design Review Permit subject to seventy-nine (79) conditions of approval.

The Motion passed unanimously with a voice vote.

5. BOARD MEMBER / STAFF REPORT

Staff Report

- Staff will have an item for the Design Committee meeting on September 19, 2024.

Committee Member Report

- None

6. PUBLIC COMMENTS

Chair Haggengjos opened the Public Comment period. Hearing none, Chair Haggengjos closed the Public Comment period.

7. ADJOURNMENT

Motion by Committee Member Boyle, seconded by Committee Member Clark, to adjourn the meeting. The Motion passed unanimously at 4:48 p.m.



DESIGN COMMITTEE COMMUNICATION

Title: Infill Parcel 18 - 141 Birch Street Residential Project, 141 Birch St, File # PL24-0741
Contact: Escarlet Mar, emar@roseville.ca.us, 916) 774-5247

Meeting Date: 9/19/2024
Item #: 4.1.

ATTACHMENTS:

Description

Staff Report

Attachment 1 Roseville Heights Final Map

Exhibit A Plans

ITEM 4.1: **Design Review Permit – 141 Birch Street – INFILL PCL 18 - 141 Birch Street Residential Project – File #PL24-0741**

REQUEST

The applicant requests approval of a Design Review Permit to allow the construction of a 1,512-square-foot single-family dwelling unit and a 1500-square-foot duplex with associated parking and landscaping improvements.

Applicant – Sergey Brodskiy, Perfect Home Solutions, LLC
Owner – Perfect Home Solutions, LLC

SUMMARY RECOMMENDATION

The Planning Division recommends the Design Committee take the following actions:

1. Adopt the four (4) findings of fact and approve the Design Review Permit subject to twenty-five (25) conditions of approval.

SUMMARY OF OUTSTANDING ISSUES

There are no outstanding issues associated with this request. The applicant has reviewed and is in agreement with all recommended conditions of approval.

BACKGROUND

The project site is located on Parcel 18 within the City's Infill area (see Figure 1). The property is ±0.14-acres and has an address of 141 Birch Street (APN 012-144-005-000). The project site is currently vacant with the exception of an accessory structure. The site is relatively flat as it has been graded in the past and currently is vegetated with native grasses. The frontage has been developed with a detached sidewalk and street trees.

The site has a zoning designation of Multi-Family Housing (R3) and a General Plan land use designation of Low Density Residential (LDR-6.8). Surrounding uses mostly include single-family homes to the northwest, south, and west. A multi-family project is located to the northeast across Birch Street.

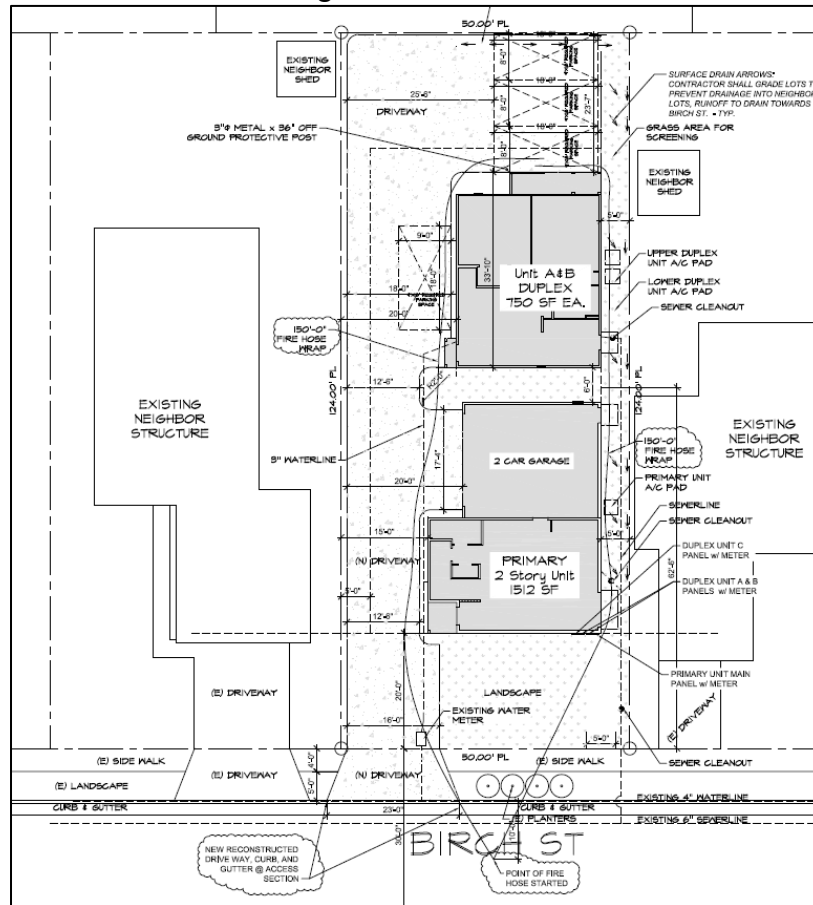
Pursuant to Chapter 19 of the Zoning Ordinance, a Design Review Permit is required for all new construction of multi-family residential, commercial, and industrial projects. The proposed project will

allow the construction of a single-family dwelling unit and a duplex with associated parking and



landscaping improvements (see Figure 2). The project includes a Design Review Permit to review the site design and building architecture.

Figure 2: Site Plan



EVALUATION – DESIGN REVIEW PERMIT

The evaluation of the Design Review Permit has been based on the applicable development and design standards within the City's Zoning Ordinance and the City's Community Design Guidelines (CDG). Section 19.78.060(B) of the City of Roseville Zoning Ordinance requires four findings of fact be made in order to approve a Design Review Permit. The four findings for approval of the Design Review Permit are listed below in ***italicized, bold*** text and are followed by an evaluation of the project in relation to each finding.

- 1. The project as approved preserves and accentuates the natural features of the property, such as open space, topography, trees, wetlands and water courses; provides adequate drainage for the project; and allows beneficial use to be made of the site for development.***

The project site is a standard interior lot located within the City's Infill area. The site is surrounded by existing residential lots with mostly single-family dwellings. As mentioned above, an existing multi-family development is located across Birch Street. The site is currently vacant with the exception of an existing accessory structure and sparse native grasslands. No protected trees are on or immediately surrounding the subject property. In addition, there are no wetlands or other regulated waters on the site. The site is generally leveled out and no significant grade changes occur on the site. The project has been reviewed by the City's Engineering Division and has been designed consistent with City standards related to drainage improvements and stormwater quality facilities.

- 2. The project site design as approved provides open space; access; vehicle parking; vehicle, pedestrian and bicycle circulation; pedestrian walks and links to alternative modes of***

transportation; loading areas; landscaping; irrigation; and lighting which results in a safe, efficient, and harmonious development and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines and the applicable specific plan and/or applicable design guidelines.

Residential development standards are included within the Zoning Ordinance. The development standards include setbacks, residential density, and height standards. The following discussions provide an evaluation with respect to the applicable design guidelines in the Zoning Ordinance and the CDG.

Site Planning and Building Siting

The residential parcel is an existing 50' by 125' lot that was subdivided in 1906 as illustrated in the Roseville Heights Map (Attachment 1). The parcel is similar size and design as the surrounding parcels in the subdivision. A detached sidewalk and street trees exist along the front of the property. The use of the property will include one (1) single-family dwelling unit and one (1) duplex with six (6) off-street parking spaces, and landscaping improvements, which is consistent with the zoning district. All other applicable development standards for this zone will be met as shown in Table 1 below.

Table 1: R3 Development Standards

Criteria	R3 Zoning District Standard	Proposed	
Area, interior lot	6,000 sf	Existing 6,200 sf	Complies
Width, interior	60 feet	Existing 50 feet	Legal Nonconforming
Maximum number of primary dwelling units per lot	As provided by General Plan, but a minimum of 3 dwellings ⁽¹³⁾	Three (3) dwelling units	Complies
Front ^{(1) (9)}	20 ft minimum on all street frontages	20 ft	Complies
Sides ^{(1) (9)}	5 ft	5 ft	Complies
Rear ⁽¹⁾	20 ft	24 ft	Complies

⁽¹⁾ Up to two residential units are permitted in the R1 and RS zone districts provided the criteria of Section **19.10.030(G)** are met. Residential units may be attached or detached in the R1, RS, or R2 zone districts.

⁽⁹⁾ Front setback (and side setback where adjacent to street) measured from back of walk. Fence side yard setback is five feet from back of walk where facing a street. In the absence of sidewalk, setbacks measured from the edge of right-of-way.

⁽¹³⁾ Parcels created through the exercise of the ministerial multi-family map provisions of Chapter 18.05 are limited to the number of units permitted by Government Code Section 66499.41, as may be amended from time to time, and are not permitted accessory dwelling units or junior accessory dwelling units.

Access to the site will be provided by a new reconstructed 16-foot-wide driveway along Birch Street. The driveway will allow ingress and egress into the site. The Zoning Ordinance parking requirement for Single-Family and Two-Family is two (2) spaces per dwelling unit. The project consists of a single-family dwelling unit and a duplex, resulting in a total off-street parking requirement of six (6) spaces. The single-family dwelling unit proposes an attached two-car garage and the four (4) spaces for the duplex will be provided along the rear of the property closest to the duplex. The project was reviewed by the City Engineering and City Fire Department staff and was found to comply with refuse service standards and with emergency circulation requirements.

Landscaping

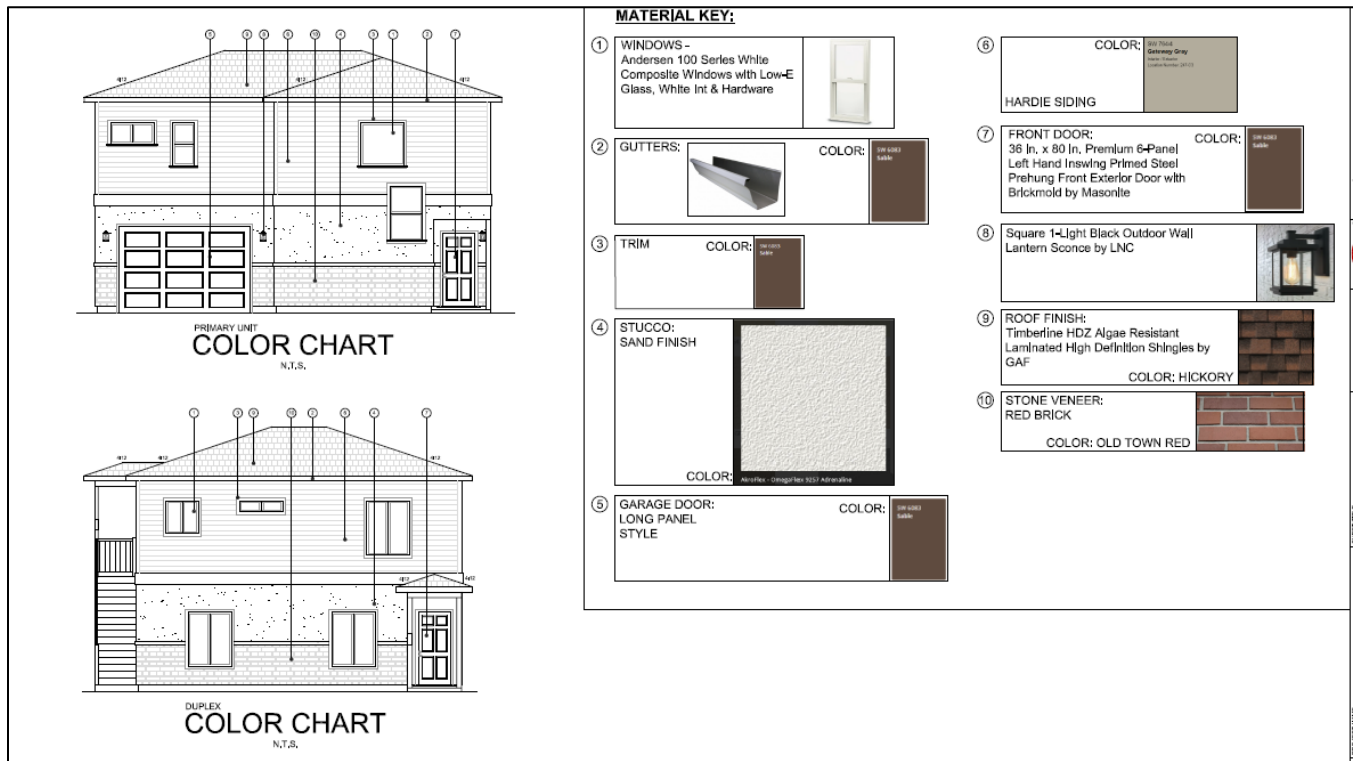
The Zoning Ordinance requires that all front yard and side yard setbacks be landscaped, irrigated and maintained with primarily low ground cover or turf. The landscape shall include grass, annuals, perennials, groundcover, shrubs, trees, or other living vegetation. The site is proposed to include three (3) 36" box Chinese Pistache trees, 11 5-gallon Red Cape Myrtle shrubs, and a mixture of 1-gallon French Lavender and Society Garlic shrubs throughout the project site.

- 3. The building design, including the materials, colors, height, bulk, size and relief, and the arrangement of the structures on the site, as approved is harmonious with other development and buildings in the vicinity and which is consistent with the applicable goals, policies and objectives set forth in the General Plan, the Community Design Guidelines and the applicable specific plan and/or applicable design guidelines.**

Both buildings will be two-story in height. The single-family dwelling unit is approximately 1,512 square feet in size and the duplex is approximately 1,500 square feet. Both buildings are proposed with a hip style roof. The proposed overall building height will be approximately 25-feet, in compliance with the Zoning Ordinance standard of 45-feet. The building materials consist of stucco siding with stone veneer in an old town red color. The roof material is proposed as composition shingle in the hickory color.

The color palette includes a white, gray and sable color scheme. The sable color will be used on the trim and gutters, as well as the front door to add a soft break between the main white and gray color scheme. The red stone veneer, which will wrap around the bottom of the buildings will also provide a break between the stucco and siding (Figure 3). Overall, the building design and color scheme are compatible with the existing residential structures in the area.

Figure 3: Proposed Building Material & Color



- 4. The design of the public services, as approved, including, but not limited to, trash enclosures and service equipment are located so as not to detract from the appearance of the site, and**

are screened appropriately and effectively using construction materials, colors and landscaping that are harmonious with the site and the building designs.

All trash bins will be screened and located behind a seven-foot-tall residential fence. Similar to the surrounding development, all trash bins will be wheeled on and off the property at designated trash pickup day throughout the week.

PUBLIC OUTREACH

The proposed project was distributed to all internal and external agencies and departments who have requested such notice, and all comments or recommended conditions of approval have been incorporated into the project, as appropriate. Early notification of the project was posted on the Roseville Coalition of Neighborhood Associations (RCONA)'s website. A notice of the public hearing was published in the Roseville Press Tribune on September 6, 2024 and a notice of the hearing was also distributed to all property owners within 300 feet of the site and posted on the RCONA website. No comments have been received as of publication of the staff report.

ENVIRONMENTAL DETERMINATION

The project is categorically exempt from the environmental review requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15303, Class 3 "New Construction or Conversion of Small Structures", Section 15332, "In-Fill Development Projects", and pursuant to Section 305 of the City of Roseville CEQA Implementing Procedures. The project meets the criteria for a Section 15303 exemption because it involves the construction of one (1) single-family dwelling unit in a residential zone and a duplex which does not exceed more than four (4) units. Further, the project meets the criteria for a Section 15332 exemption because (a) the project is consistent with the zoning designation, (b) the project involves construction of a single-family dwelling unit and a duplex on an existing vacant infill property within city limits that is no more than five (5) acres in size and is surrounded by urban uses, (c) the project site is partially developed and has no value as habitat for endangered, rare or threatened species, (d) approval of the single-family dwelling unit and duplex will not result in any significant effects related to traffic, noise, air quality, or water quality, (d) the project can be adequately serviced by all required utilities and public services. Therefore, based on these findings no additional environmental review is required.

RECOMMENDATION

The Planning Division recommends the Design Committee take the following actions:

1. Adopt the four (4) findings of fact and approve the **DESIGN REVIEW PERMIT – 141 BIRCH STREET – INFILL PCL 18 – 141 Birch Street Residential Project – FILE #PL24-0741** subject to twenty-five (25) conditions of approval.

CONDITIONS OF APPROVAL FOR THE DESIGN REVIEW PERMIT – FILE #PL24-0741

1. This Design Review Permit approval shall be effectuated within a period of two (2) years from **September 19, 2024** and if not effectuated shall expire on **September 19, 2026**. Prior to said expiration date, the applicant may apply for an extension of time. (Planning)
2. The unit designs and landscape plans for **141 Birch St. Residential Project** are approved as described in Exhibit A, except as modified by these conditions of approval. (Planning)
3. The landscape plan shall comply with the City of Roseville Water Efficient Landscape Ordinance. (Planning)
4. The project address for this project, and the primary residence, shall be 141 Birch St. The addresses for the duplex are 141 Birch St Unit A and 141 Birch St Unit B. (Business Services)

5. Optional accessory structures (patio covers, gazebos, etc.) shall be consistent with the development standards outlined in Zoning Ordinance Section 19.22.030 (C). This includes setback, height, and coverage restrictions for both enclosed and unenclosed structures. (Planning)
6. A separate Building Permit will be required for each building/structure. The construction plans may include all buildings/structures if they are issued at the same time. (Building)
7. Single and two-dwellings with attached garage, shall comply with CRC table R302.1 (1) for non-sprinklered buildings or Table R302.1 (2) for dwellings and accessory buildings with automatic fire sprinklers protection. (Building)

PRIOR TO ISSUANCE OF BUILDING PERMITS:

8. The project Landscape Plans shall comply with the following:
 - a) The Landscape Plan shall indicate the location of, and be designed to avoid conflicts with, all pole-mounted light fixtures and utility equipment including (but not limited to) electric transformers, switchgear, and overhead lines, backflow preventers, fire department connections, and public water, sewer, and storm drain facilities. (Planning, Fire, EUD, Electric, Public Works)
 - b) At a minimum, landscaped areas not covered with live material shall be covered with a rock, (3") bark (no shredded bark) or (3") mulch covering. (Planning)
9. All on-site external lighting shall be installed and directed to have no off-site glare. (Planning)
10. Building permit plans shall comply with all applicable code requirements (California Building Code – CBC – based on the International Building Code, California Green Building Standards Code-CGBSC, California Mechanical Code – CMC – based on the Uniform Mechanical Code, California Plumbing Code – CPC – based on the Uniform Plumbing Code, California Fire Code – CFC – based on the International Fire Code – with City of Roseville Amendments – RFC, California Electrical Code – CEC – based on the National Electrical Code, and California Energy Standards – CEC T-24 Part 6), California Title 24 and the American with Disabilities Act - ADA requirements, and all State and Federally mandated requirements in effect at the time of submittal for building permits (contact the Building Division for applicable Code editions). (Building)
11. Prior to the issuance of building permits, the property owner shall pay into the following fee programs: Citywide Drainage Fee, Citywide Traffic Mitigation Fee (TMF), Highway 65 Joint Partners Association (JPA), South Placer Regional Transportation Authority (SPRTA), and City/County Fee. (Engineering)
12. The applicant shall provide grading and/or encroachment permit plans prior to building permit. This permit will be issued by the Department of Development Services – Engineering Division prior to building permit issuance. (Engineering)
13. The applicant shall install a new driveway and gutter pan to replace the existing driveway cut. In addition, the applicant will be responsible to replace any cracked sections of sidewalk along the project frontage. (Engineering)
14. The design and installation of all fire protection equipment shall conform to the California Fire Code and the amendments adopted by the City of Roseville, along with all standards and policies implemented by the Roseville Fire Department. (Fire)
15. The applicable codes and standards adopted by the City shall be enforced at the time construction plans have been submitted to the City for permitting. (Fire)
16. It is the developer's responsibility to notify PG&E of any work required on PG&E facilities. (PG&E)

DURING CONSTRUCTION AND PRIOR TO ISSUANCE OF OCCUPANCY PERMITS:

17. All electric metering shall be directly outside accessible. (Electric)
18. It is the responsibility of the developer to ensure that all existing electric facilities remain free and clear of any obstruction during construction and when the project is complete. (Electric)
19. All electrical meters shall be placed on the unit adjacent to Birch Street. There will be one point of connection for electrical service. (Electric)
20. Developer will be responsible for all fees associated with Roseville Electric installing a new power pole and transformer. (Electric)

OTHER CONDITIONS OF APPROVAL

21. The project is subject to the noise standards established in the City's Noise Ordinance. In accordance with the City's Noise Ordinance project construction is exempt between the hours of seven a.m. and seven p.m. Monday through Friday, and between the hours of eight a.m. and eight p.m. Saturday and Sunday. Provided, however, that all construction equipment shall be fitted with factory installed muffling devices and that all construction equipment shall be maintained in good working order. (Building)
22. The developer (or designated consultant) shall certify that the building foundation location has been placed according to all approved setback requirements shown on the approved site plan. The developer shall prepare a written statement confirming building placement and provide an original copy to the City Building Department Field Inspector at the time of or prior to the foundation inspection. (Building)
23. Following the installation of the landscaping, all landscape material shall be maintained in a healthy and weed free condition; dead plant material shall be replaced immediately. All trees shall be maintained and pruned in accordance with the accepted practices of the International Society of Arboriculture (ISA). (Planning)
24. The location and design of the gas service shall be determined by PG&E. The design of the gas service for this project shall not begin until PG&E has received a full set of City approved improvement plans for the project. (PG&E)
25. Any relocation or modification to the existing utility facilities or other existing improvements required for the development of this subdivision shall be at the developer's expense. (Electric, Environmental Utilities, Engineering, Fire)

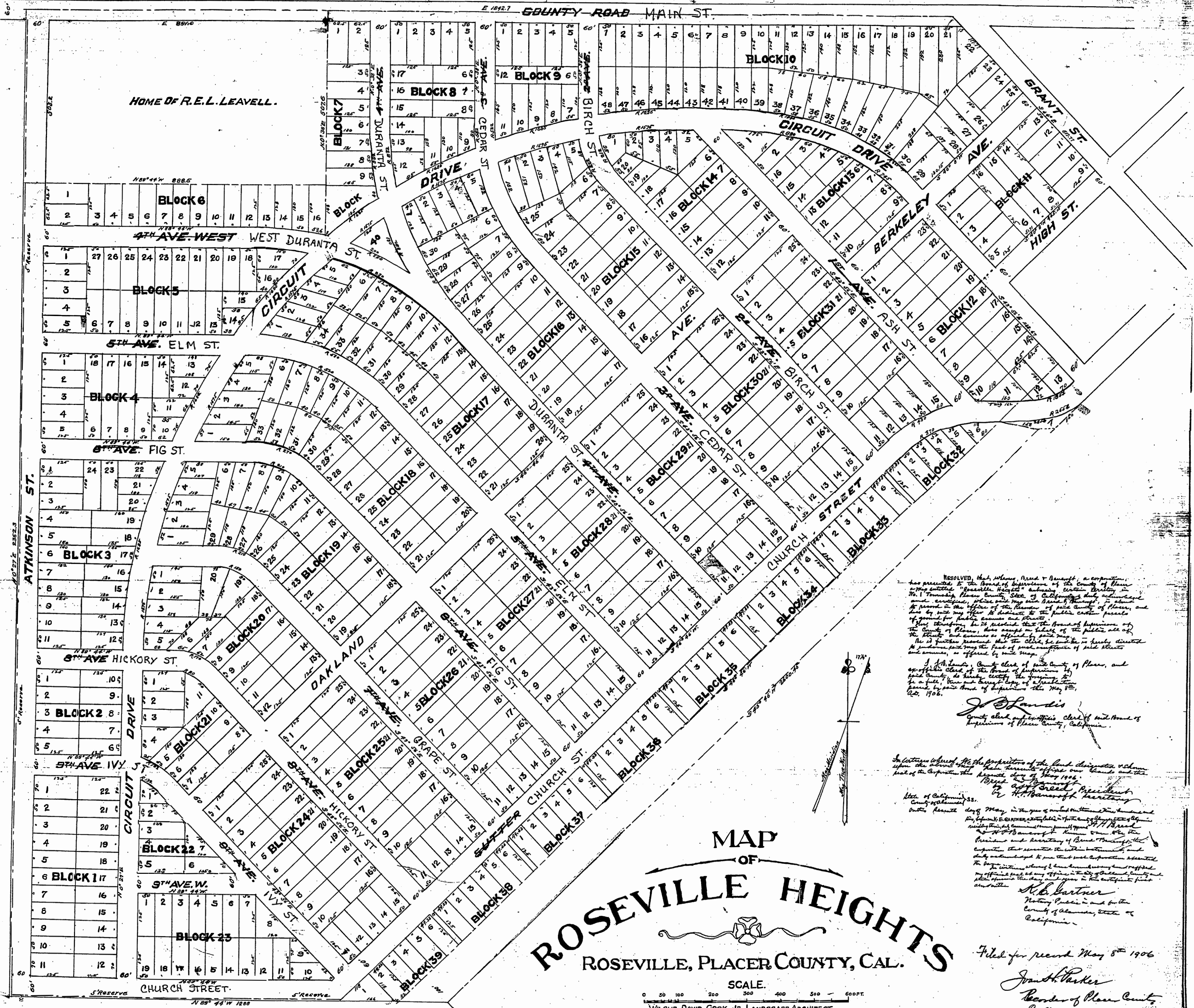
ATTACHMENT

1. Roseville Heights Final Map

EXHIBIT

- A. Plans

Note to Applicant and/or Developer: Please contact Planning Division staff at (916) 774-5276 prior to the Design Committee meeting if you have any questions on any of the recommended conditions for your project. If you challenge the decision of the Design Committee in court, you may be limited to raising only those issues which you or someone else raised at the public hearing held for this project, or in written correspondence delivered to the Planning Manager at, or prior to, the public hearing.



RESOLVED, That, William, Brand & Bancroft, a corporation, has presented to the Board of Supervisors of the County of Placer, a map entitled, "Roseville Heights" embracing certain territory in the Township of Placer, County of Placer, State of California, duly subdivided and described, which said map and Brand & Bancroft, in and about its proceedings in the office of the Board of Supervisors of Placer County, and has by said map offer to dedicate to the public certain parcels of ground for public use and streets.

That, therefore, be it resolved, that the Board of Supervisors of the County of Placer, do hereby certify the validity of the public use of the streets and avenues as offered by said map.

Be it further resolved, that the clerk, be and he is hereby directed to cause to be filed in the office of the Board of Supervisors of said County, a copy of said map.

J. B. Parker
County clerk and ex-officio clerk of said Board of Supervisors of Placer County, California.

In testimony whereof, the Board of Supervisors of the County of Placer, do hereby certify the validity of the public use of the streets and avenues as offered by said map.

State of California ss.
County of Placer ss.
I, J. B. Parker, County clerk of said County of Placer, and ex-officio clerk of the Board of Supervisors of said County, do hereby certify the validity of the public use of the streets and avenues as offered by said map.

W. B. Parker
Notary Public in and for the County of Placer, California.

Filed for record May 8th 1906

J. B. Parker
Notary Public in and for the County of Placer, California.

**SEE page A1.2 &
AG1 for Building
Code requirements**

OWNER / CONTRACTOR NOTE:

ALL OF THE VERIFYING PLUS / MINUS DIMENSIONS ON THE PLANS ARE TO BE DISCUSSED WITH THE DESIGNER OR ENGINEER BEFORE THE CONSTRUCTION BY THE CONTRACTOR AND OWNER.

DUPLEX	825 SF
SINGLE UNIT	996 SF
TOTAL STRUCTURE	1,821 SF
LOT FOOTAGE	6,200 SF
LOT COVERAGE	29.3%

GRADING PLAN IS NOT REQUIRED FOR THIS
SUBDIVISION FLAT GRADED LOT THAT READY FOR
BUILDING CONSTRUCTION



A2

DESIGNER MJ	DATE 07/11/2024	PROJECT 24-049
OWNER-CONTACT Perfect Home Solutions LLC / Sergey Brodskiy		
PROJ.-C1 NAME- PRIMARY RESIDENCE 141 BIRCH ST. ROSEVILLE, CA 95678		

S I T E P L A N





FineLine
DRAFTING INC.

fine@nc300 @Cdinc.gti.net
www.fine@nc300 .net

9300 Fennel Road, Suite 115, Sacramento, CA 95828

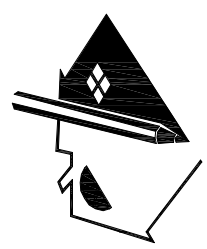


WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER SCALE DIMENSIONS. Contractors and home owner builders shall verify and be responsible for dimensions and conditions of the project. Fineline Drafting services must be notified of any variation from the dimensions, conditions and specification appearing on this plan.

SEE page A1.2 &
AG1 for Building
Code requirements

PH (916) 332 2282
fineline300@comcast.net
www.finelineDpc.com
5330 Primrose Drive suite 119, Sacramento, CA 95828

Fineline
DRAFTING INC.



FLOOR PLAN

PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

PROJECT NAME

OWNER- CONTACT
Perfect Home Solutions LLC /
Sergey Brodsky

PROJECT
24-049

DATE
06/13/2024

DESIGNER
MJ

Sheet

A3

KEY NOTES

- Tempered glass doors/ cover for shower and bath tub
- Shower compartment regardless of shape, having a minimum of interior floor area of 1.024 square in, and also capable of encompassing 30 in circle
-Opening shower access should not be less than 22"
-Provide with pressure balance or thermostatic mixing valve controls.
-Wall should have a smooth, hard, nonabsorbent surface (e.g., ceramic tile) over an approved moisture resistant underlayment or Hardi Backer Fibercement board Layer, height to be 72" above the drain inlet
- Hot mop or sheet membrane system under 1 3/4" mortar bed with reinforcing, and 3/8" thick tile (hard surface) in shower.
- Showers and tub shower combinations that a pressure balance or thermostatic type mixing valve shall be provide to deliver a maximum water temperature of 120 degrees at the fixture.
- Non adsorben surface at tub walls should continue to a height of 6ft above finished floor.
- Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, showers, steam rooms and bathtubs where bottom edge of glazing is less than 60" measured vertically above any standing or walking surface shall be tempered. CRC R308.4
- Toilets shall not be install closer than 15" from center to any finish wall or obstruction and also with a minimum of 24" clear floor space in front of the toilet.
- SHOWER: water-resistant gypsum board shall not be installed in a shower or tub compartment and shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity per CRC Sec. R 702.3.8 & R702.3.8.1.
- Combustion air from exterior for gas HW
- Hot water gas exhaust to the exterior provide PRV drain pipe from HW to the exterior
- Plumbing wall with 2x6 stud wall
- Smooth metal duct for dryer exhaust extending to outside with back draft damper this duct shall not exceed a total combined horizontal and vertical length of 14' including two 90° elbows. Two feet shall be deducted for each 90° elbow in excess of two
- Clothes dry vent shall be vented to the outdoors.
- Provide Door with min 10"x14" louver or vent to make up air in laundry area. per CMC sec. 504.3.1
- 1-3/8" solid core door, or 20 minutes fire proof door (self closing)
- Provide a one-hour fire resistive separation between garage and dwelling
- Required 24" flat from catwalk to FAU (not to exceed 20 ft) with light and switch near by access. Min. of 30" headroom req'd

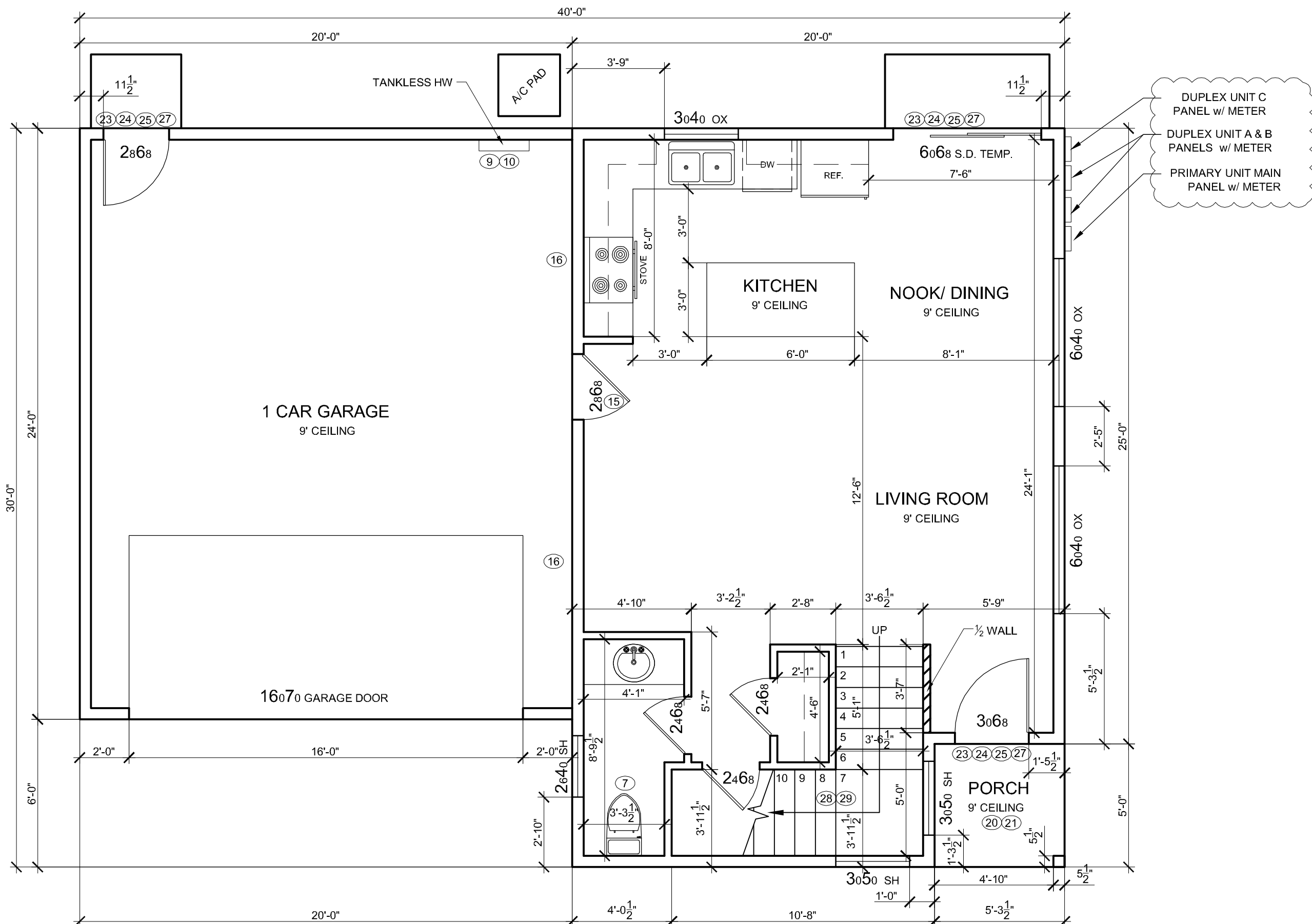
A minimum of 22"x30" readily accessible attic access with a minimum of 30" headroom above for each separate attic area. No shelving below attic access. Attic must be readily accessible

Provide 5"x8" pad in attic for HVAC with min clearance of 30" head room and 5'-0" wide. Switch and light is provided near by. Provide 24" cat walk from HVAC to the nearest access from min of 20'-0" away. Permanent electric outlet and lighting fixture control by a switch located at the attic access, and near by the furnace are required. Cooling unit should have the 2nd watertight pan installed beneath the unit
- Hot mop or sheet membrane system under 1 3/4" mortar bed with reinforcing, and finishing with thick layer of light concrete (hard surface) at balcony with stucco finish @ ceiling. Min 2% slope.
- All porch ceilings with stucco finish are to be sheathed with 5/8" OSB and ring sinker nails for stucco support typ. If there is no gal. metal sheet layer provided.
- Egress windows with min of 5.7 sf opening, min. of 24" height clear, and 20" wide clear is required, max. of 44" from finish floor to the opening bottom of windows
- Minimum 36" deep landing outside the main exterior egress door, the landing shall not be more than 7.75' lower than the threshold for the main entrance in-swing door, (1-1/2' for out swinging)
- 7-3/4" maximum vertical change in elevation at the new exterior doors CRC R311.3.2
- Landing shall have MAX. 2% slope away from foundation - typ.
- Min 2% slope @ garage finish. It shall be sloped to facilitate the movement of liquids to an approve drain or toward the main vehicle door
- Concrete landings or finish at the required egress door shall not be more than 1.5' lower that the top of the threshold (Exception: 7.75" max if door does not swing over landing or floor) per CRC section R311.3.1.
- Rise and run of stairway are 4 inch min./ 7.75 inch max. of rise, and 10 inch min. of run. Provide a nosing of 1" for the stairway treads less than 11 inches in depth.
- Enclosed accessible space under stairs shall have the walls, under stair surface and soffits protected on the enclosed side with 1/2" gypsum board. CRC R302.7.

OWNER / CONTRACTOR NOTE:

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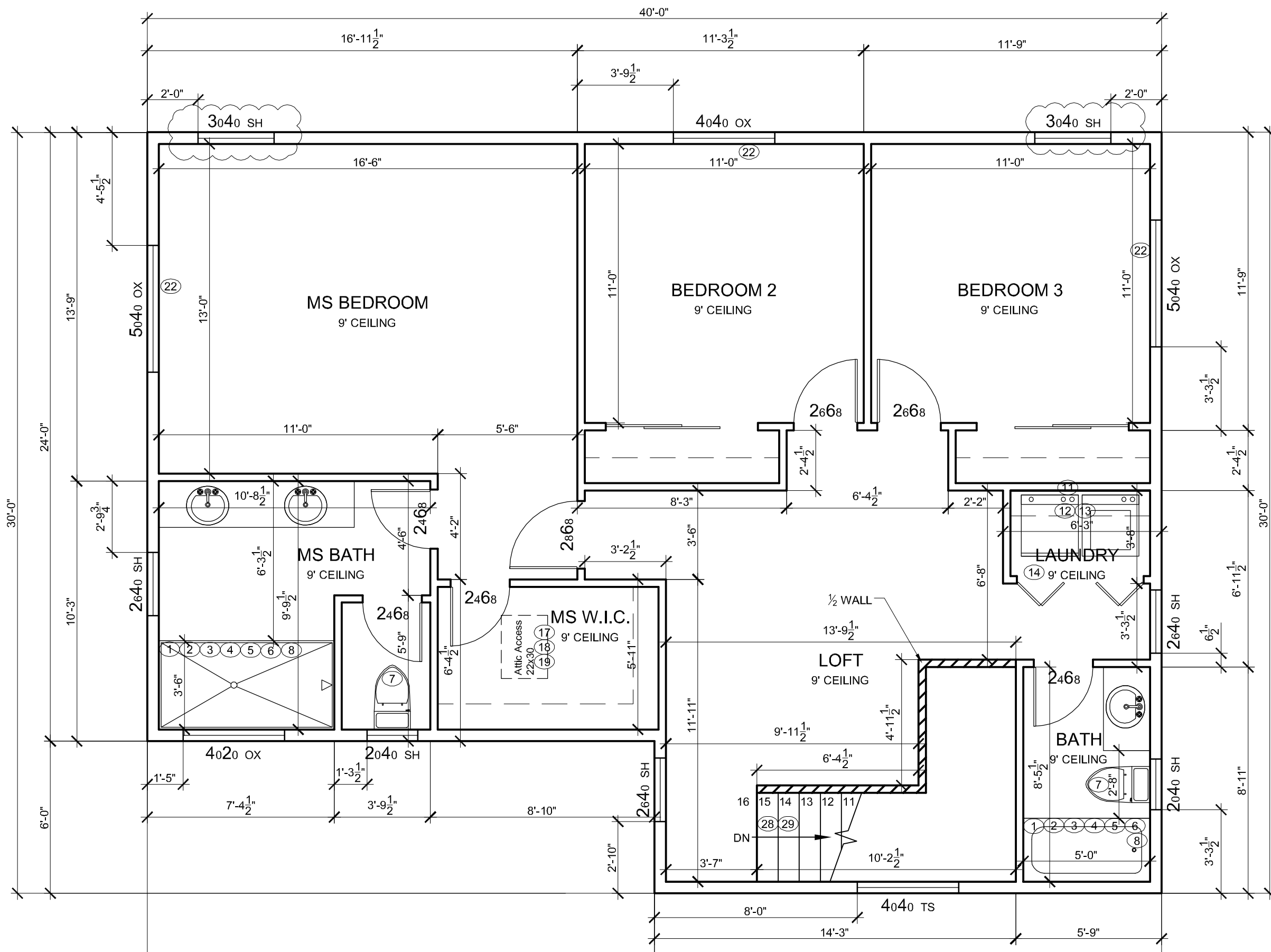
ALTERNATE PLUMBING MATERIAL
P.E.X PLASTIC IS PROPOSED TO BE
USED IN THIS BUILDING.



PROPOSED MAIN LEVEL - 574 SF

FLOOR PLAN

SCALE 1/4" = 1'-0"



PROPOSED UPPER LEVEL - 938 SF

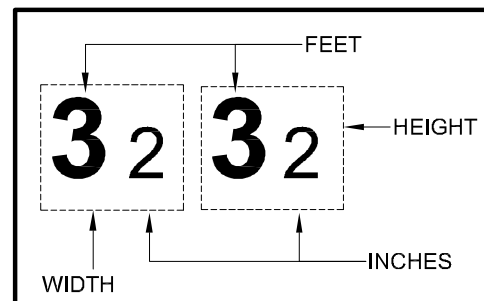
FLOOR PLAN

SCALE 1/4" = 1'-0"

Window Abbreviations

OX - Hoz. Slide Window
TS - Above Transom
FX - Fix Window
SH - Single Hung Type
CS - Casement Type
AW- Awning Type

WINDOWS & DOORS SIZE ABBREVIATIONS



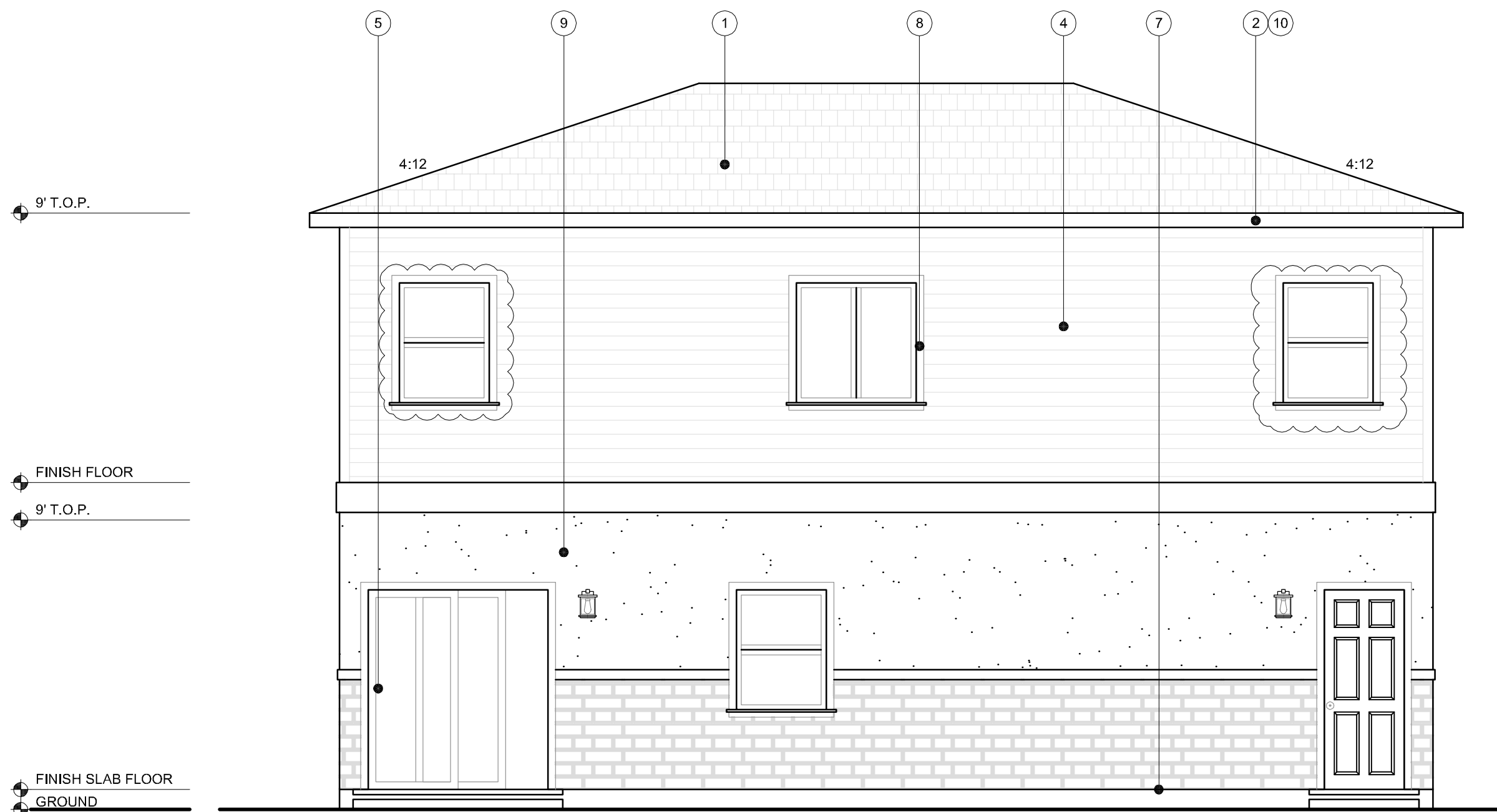
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SEE page A1.2 &
AG1 for Building Code
requirements



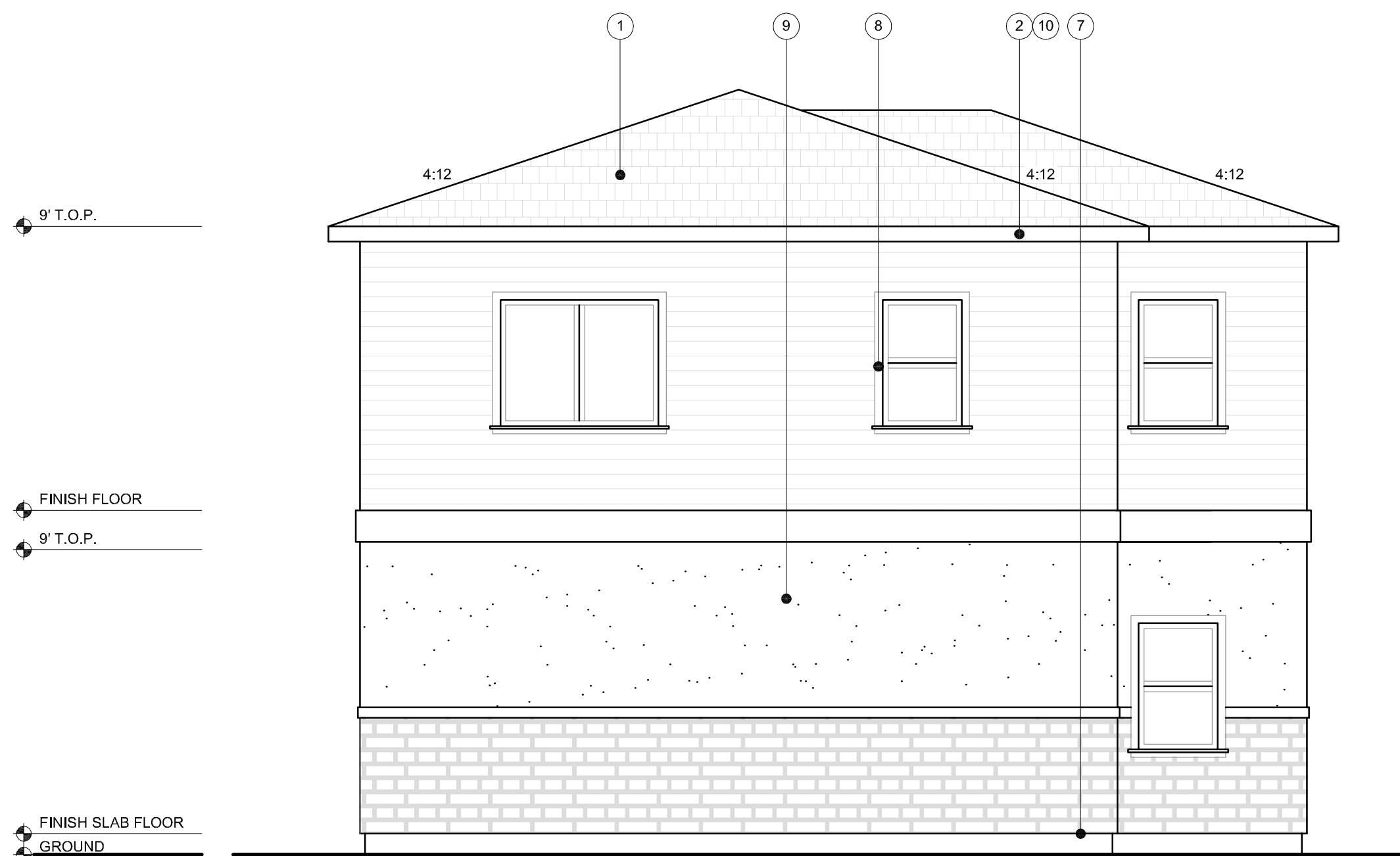
FRONT ELEVATION

SCALE 1/4" = 1'-0"



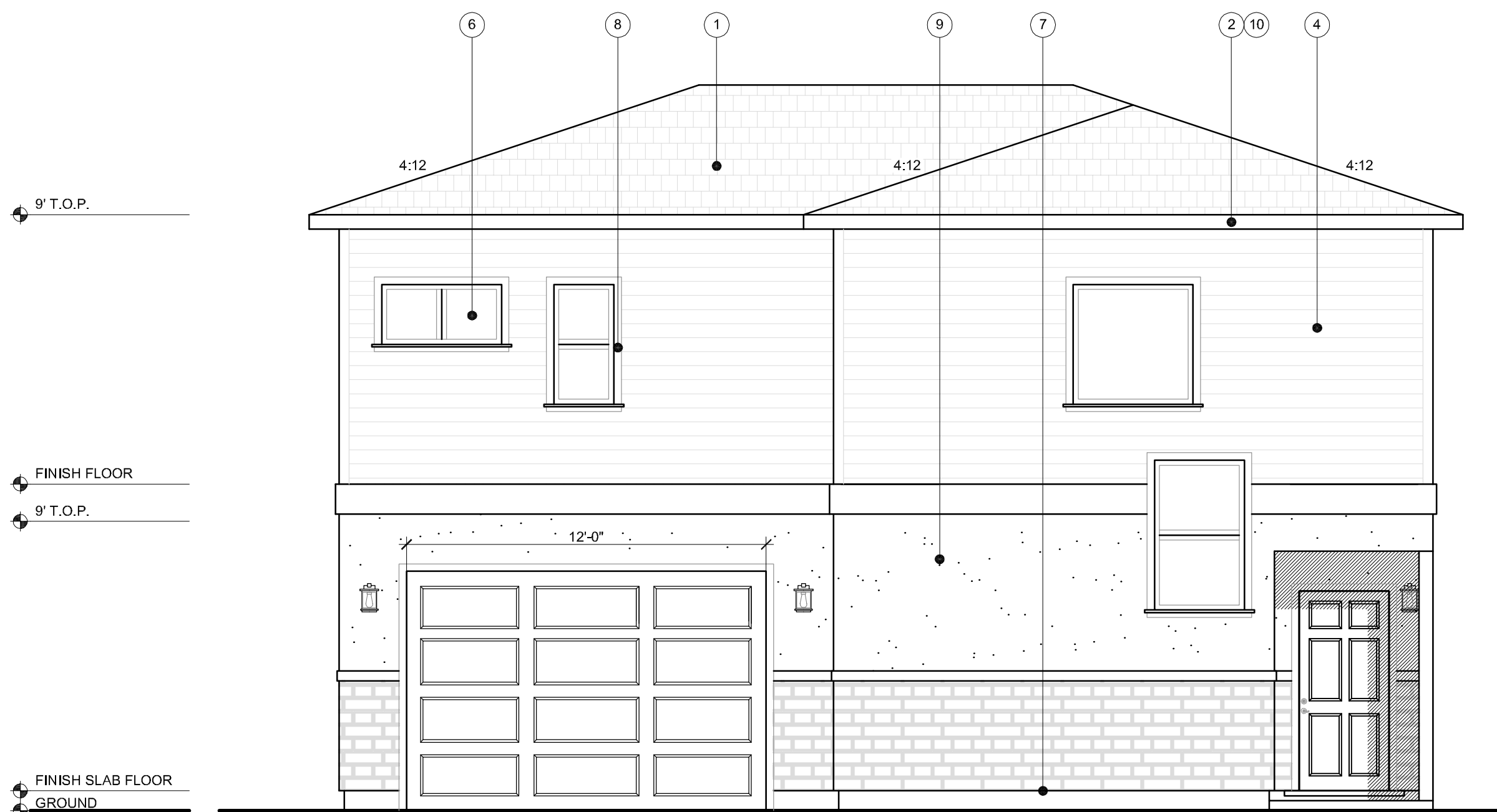
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



LEFT ELEVATION

SCALE 1/4" = 1'-0"

- LEGEND ○
- Class A 40 year laminated dimensional composition roof finish over 15# felt layer typ.
 - 7" metal gutter attached directly to trusses's overhang ends.
 - Address number plate on the building elevation which shall be clearly visible from the adjacent access street or road. The numbers shall be no less the 4" in height and 1/2" in width and shall be of a contrasting color and illuminated at night
 - HARDIE BRD SIDING
 - Tempered glass doors
 - Tempered glass window
 - 26 gauge galvanize weep screed below stucco or stone veneer a minimum 4 inches above grade, or 2 inches above paved surfaces - typ.
 - 3" HARDIE BRD WINDOW TRIMS
 - 1 COAT STUCCO SYSTEM**
 - 15# Moisture layer overlay,
 - then 1" foam layer, wire mesh,
 - 1 coat base stucco 3/8" to 1/2" thick 4) finish colored layer.
 - Acrylic primer layer before the finish layer is optional.
 - has 26-gauge galvanized weep screed at foundation plate line at least 4-inches above grade or 2-inches above concrete or paving.
 - Metal drip edge is required for all composition roof installation
 - Stone veneer finish:**
 - moisture barrier layer that is equivalent to 2 layers of grade D paper per CRC R703.12.3
 - metal lath
 - scratch coat
 - setting bed
 - veneer stones

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DRAFTING INC.

STAMP
DRAFTING INC.
Fineline
EST. 2000
CALIFORNIA CORPORATE SEAL

SHEET TITLE

ELEVATIONS

PROJECT NAME

PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

OWNER- CONTACT

Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT

24-049

DATE

05/14/2024

DESIGNER

MJ

Sheet

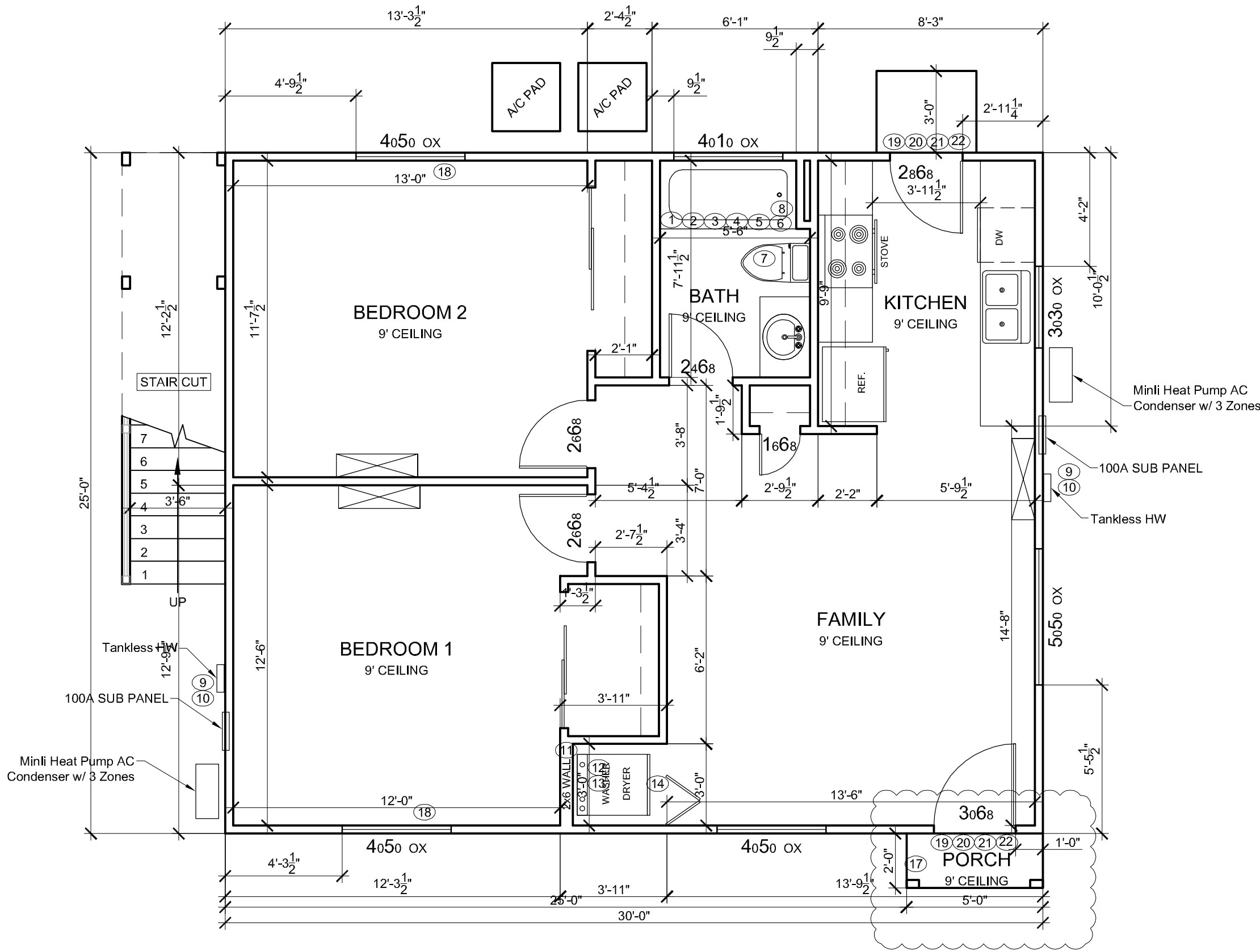
A5

OWNER / CONTRACTOR NOTE:

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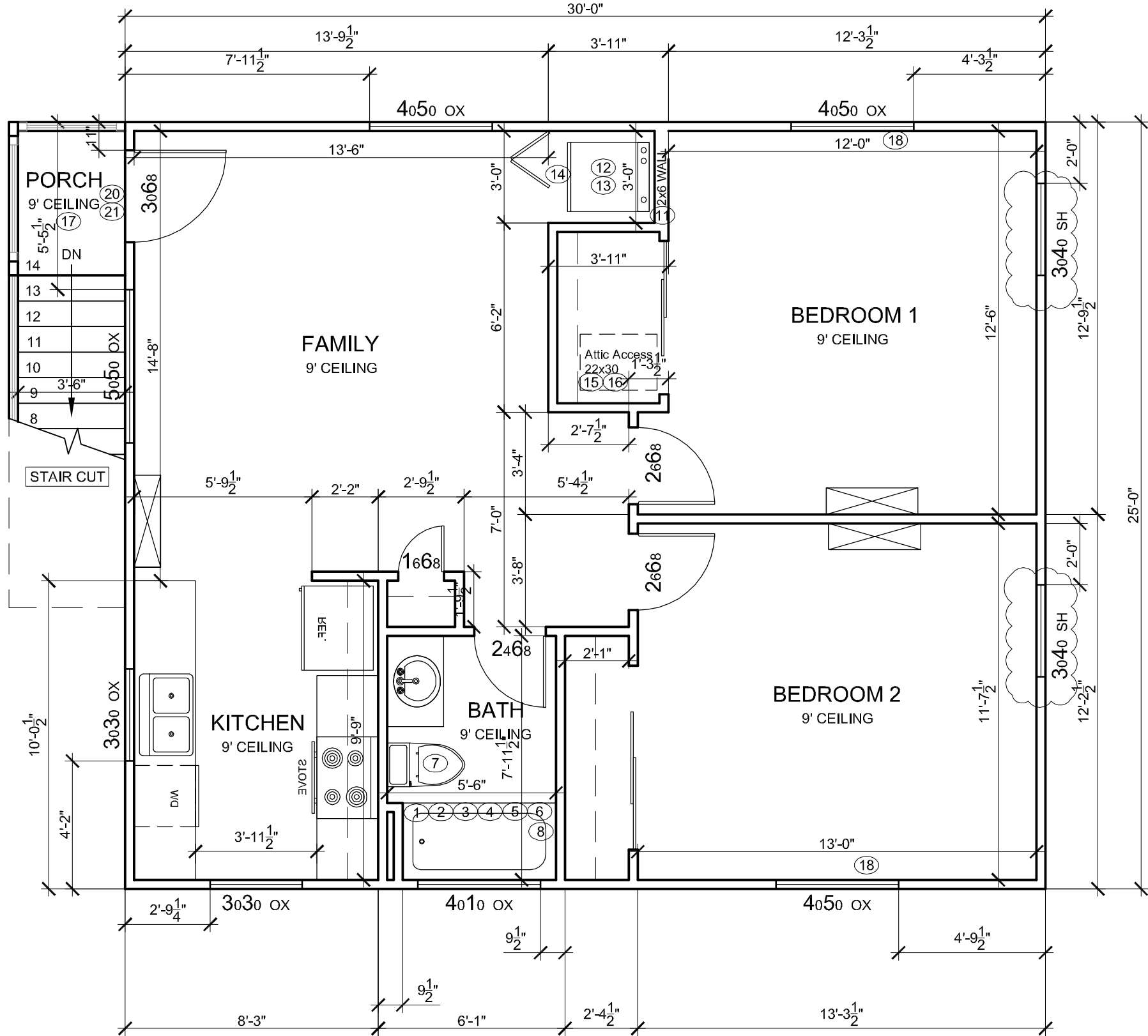
SEE page A1.2 &
AG1 for Building Code
requirements



PROPOSED UNIT 2 GROUND LEVEL - 750 SF

FLOOR PLAN

SCALE 1/4" = 1'-0"



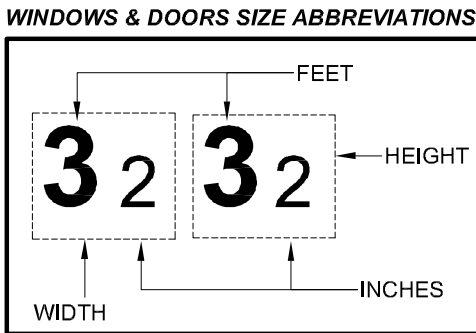
PROPOSED UNIT 3 UPPER LEVEL - 750 SF

FLOOR PLAN

SCALE 1/4" = 1'-0"

- KEY NOTES**
- ① Tempered glass doors/ cover for shower and bath tub
 - ② Shower compartment regardless of shape, having a minimum of interior floor area of 1,024 square in, and also capable of encompassing 30 in circle
-Opening shower access should not be less than 22"
-Provide with pressure balance or thermostatic mixing valve controls.
-Wall should have a smooth, hard, nonabsorbent surface (e.g., ceramic tile) over an approved moisture resistant underlayment or Hard Backer Fibercement board Layer, height to be 72" above the drain inlet
 - ③ Hot mop or sheet membrane system under 1 1/2" mortar bed with reinforcing, and 1/2" thick tile (hard surface) in shower.
 - ④ Showers and tub shower combinations that a pressure balance or thermostatic type mixing valve shall be provide to deliver a maximum water temperature of 120 degrees at the fixture.
 - ⑤ Non adsorben surface at tub walls should continue to a height of 6ft above finished floor.
 - ⑥ Glazing in enclosures for or walls facing hot tubs, whirlpools, saunas, showers, steam rooms and bathtubs where bottom edge of glazing is less than 60" measured vertically above any standing or walking surface shall be tempered. CRC R308.4
 - ⑦ Toilets shall not be install closer than 15" from center to any finish wall or obstruction and also with a minimum of 24" clear floor space in front of the toilet.
 - ⑧ SHOWER: water-resistant gypsum board shall not be installed in a shower or tub compartment and shall not be used where there will be direct exposure to water, or in areas subject to continuous high humidity per CRC Sec. R 702.3.8 & R702.3.8.1.
 - ⑨ Combustion air from exterior for gas HW
 - ⑩ Hot water gas exhaust to the exterior provide PRV drain pipe from HW to the exterior
 - ⑪ Plumbing wall with 2x6 stud wall
 - ⑫ Smooth metal duct for dryer exhaust extending to outside with back draft damper this duct shall not exceed a total combined horizontal and vertical length of 14' including two 90° elbows. Two feet shall be deducted for each 90° elbow in excess of two
 - ⑬ Clothes dry vent shall be vented to the outdoors.
 - ⑭ Provide Door with min 10"x14" louver or vent to make up air in laundry area. per CMC sec. 504.3.1
 - ⑮ Required 24" flat from catwalk to FAU (not to exceed 20 ft) with light and switch near by access. Min. of 30" headroom req'd
 - ⑯ A minimum of 22"x30" readily accessible attic access with a minimum of 30" headroom above for each separate attic area. No shelving below attic access. Attic must be readily accessible
 - ⑰ All porch ceilings with stucco finish are to be sheathed with 5/8" OSB and ring sinker nails for stucco support typ. If there is no gal. metal sheet layer provided.
 - ⑱ Egress windows with min of 5.7 sf opening, min. of 24" height clear, and 20" wide clear is required, max. of 44" from finish floor to the opening bottom of windows
 - ⑲ Minimum 36" deep landing outside the main exterior egress door, the landing shall not be more than 7.75" lower than the threshold for the main entrance in-swing door, (1-1/2" for out swinging)
 - ⑳ 7-3/4" maximum vertical change in elevation at the new exterior doors CRC R311.3.2
 - ㉑ Landing shall have MAX. 2% slope away from foundation - typ.
 - ㉒ Concrete landings or finish at the required egress door shall not be more than 1.5" lower that the top of the threshold (Exception: 7.75" max if door does not swing over landing or floor) per CRC section R311.3.1.

Window Abbreviations
OX - Hoz. Slide Window
TS - Above Transom
FX - Fix Window
SH - Single Hung Type
CS - Casement Type
AW- Awning Type



OWNER / CONTRACTOR NOTE:

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ALTERNATE PLUMBING MATERIAL
P.E.X PLASTIC IS PROPOSED TO BE
USED IN THIS BUILDING.

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Fineline
DRAFTING INC.

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DRAFTING INC.
Fineline
EST. 2000
CALIFORNIA CORPORATE SEAL

SHEET TITLE
FLOOR PLAN

PROJECT NAME
DUPLEX
141 BIRCH ST. - UNIT A & B
ROSEVILLE, CA 95678

OWNER- CONTACT
Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT
24-051

DATE
05/14/2024

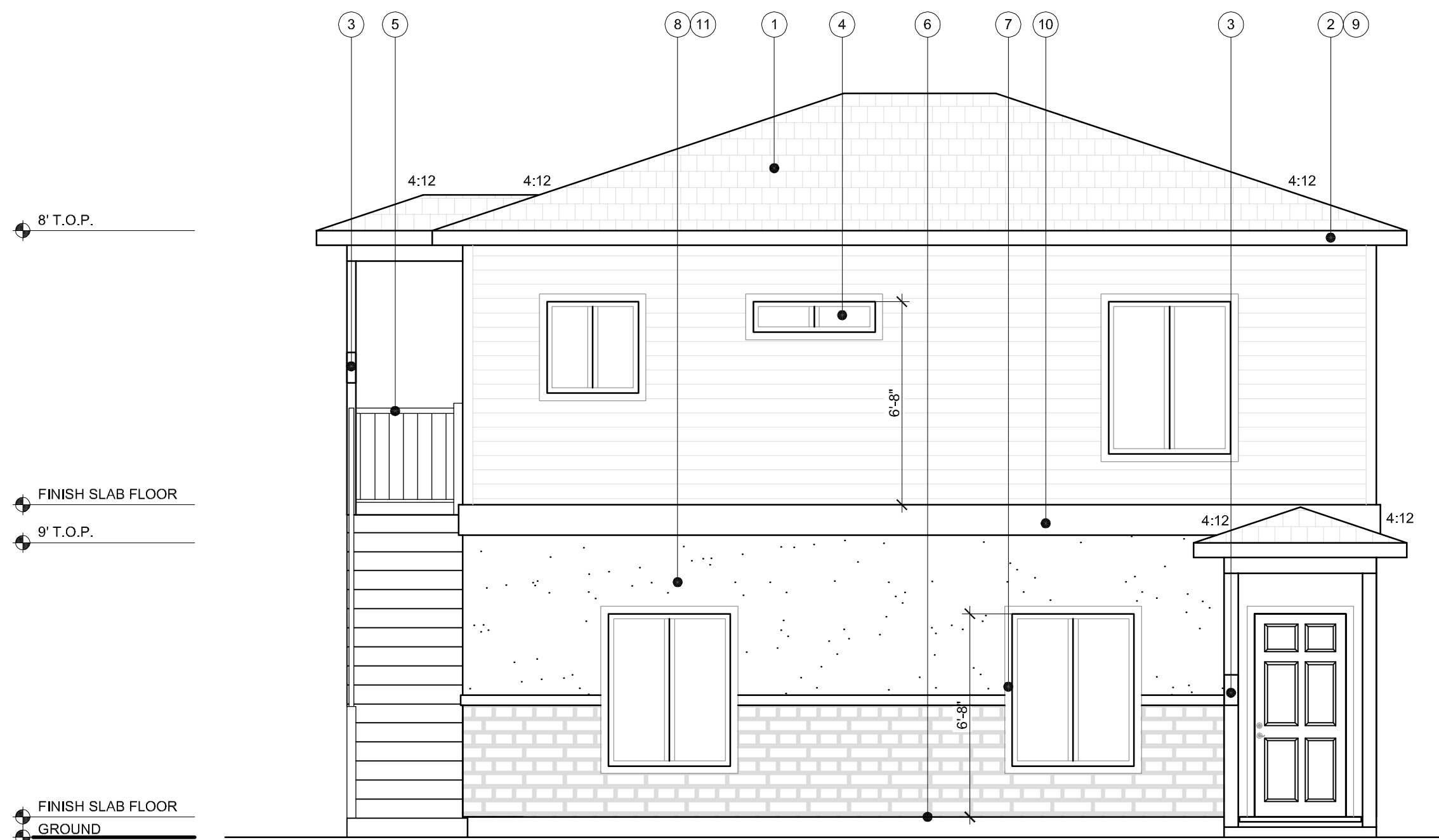
DESIGNER
MJ

Sheet

A3

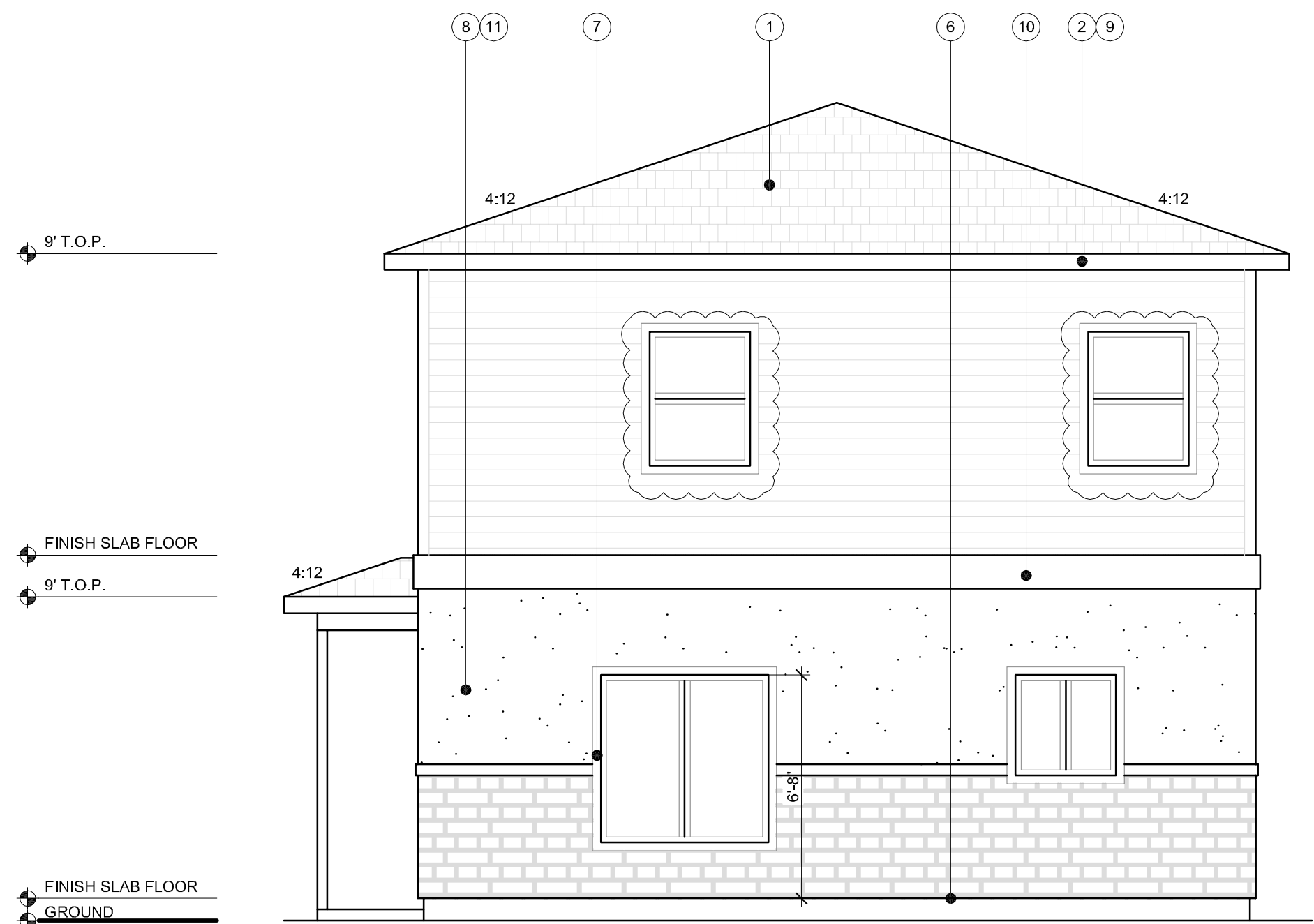
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FRONT ELEVATION

SCALE 1/4" = 1'-0"



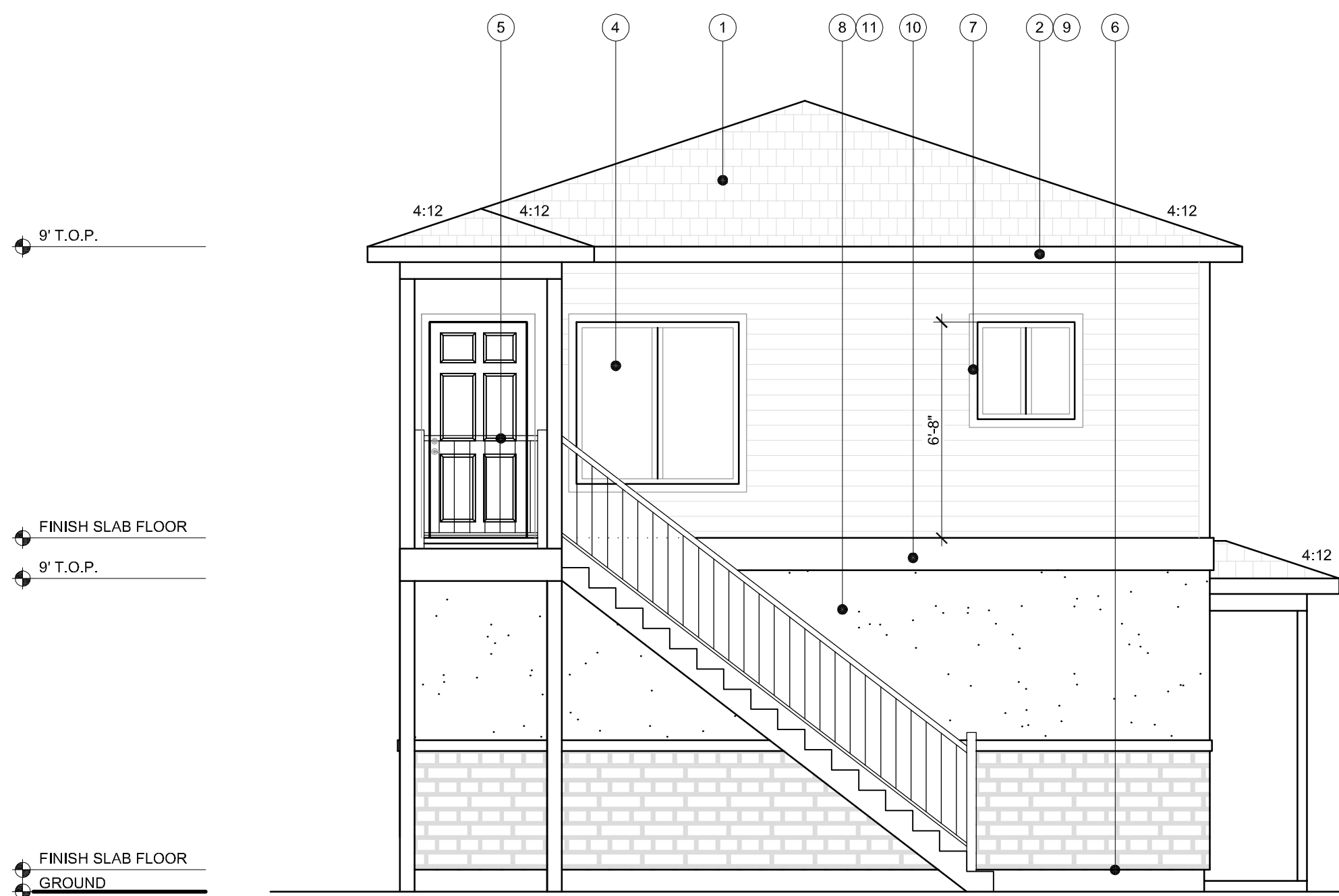
RIGHT ELEVATION

SCALE 1/4" = 1'-0"



REAR ELEVATION

SCALE 1/4" = 1'-0"



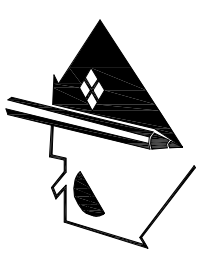
LEFT ELEVATION

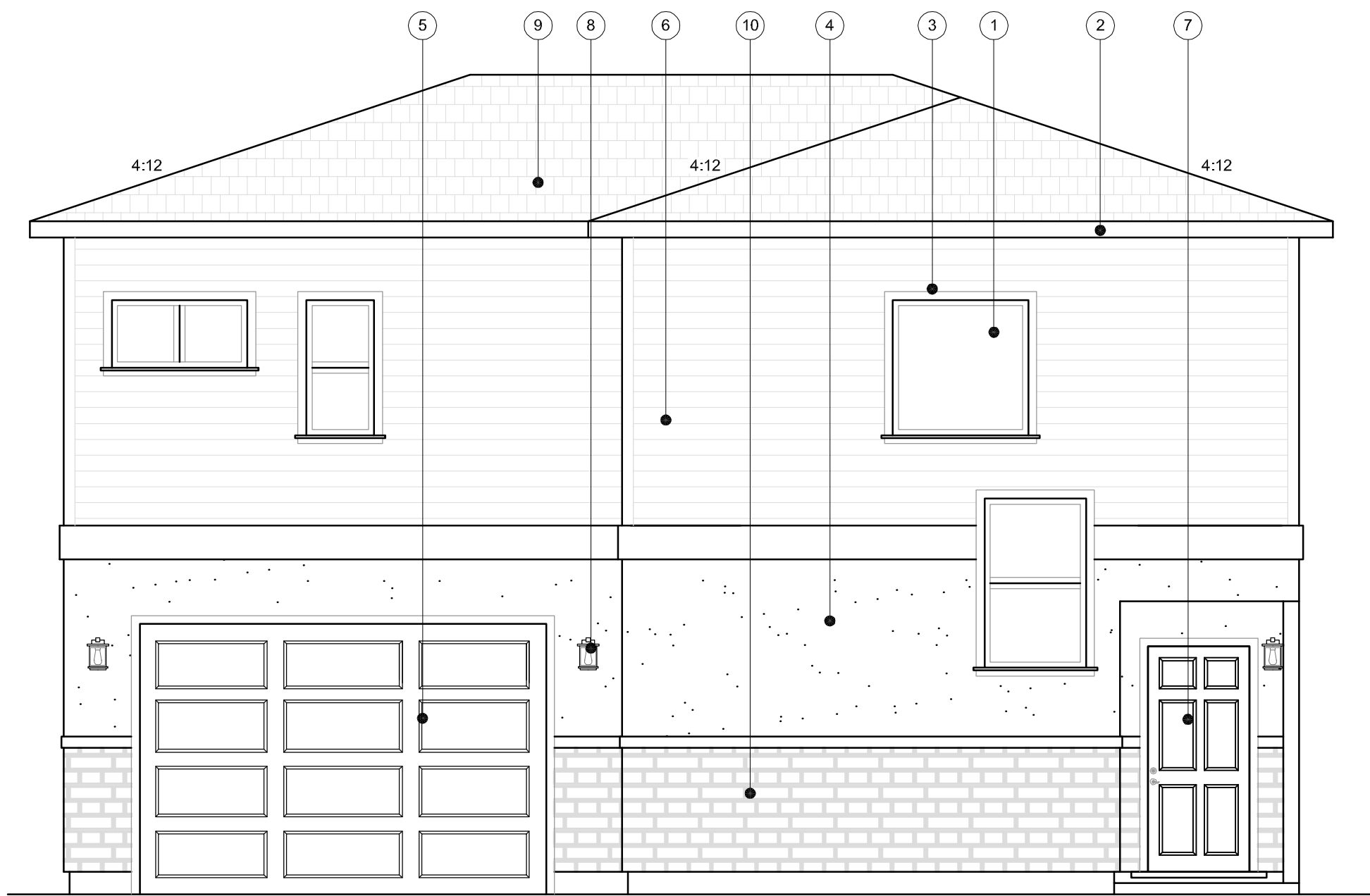
SCALE 1/4" = 1'-0"

- LEGEND ○
- Class A 40 year laminated dimensional composition roof finish over 15# felt layer typ.
 - 7" metal gutter attached directly to trusses' s overhang ends.
 - Address number plate on the building elevation which shall be clearly visible from the adjacent access street or road. The numbers shall be no less the 4" in height and 1/2" in width and shall be of a contrasting color and illuminated at night
 - Tempered glass window
 - Guard rail/hand rail (see floor plan for specifications and requirements)
 - 26 gauge galvanize weep screed below stucco or stone veneer a minimum 4 inches above grade, or 2 inches above paved surfaces - typ.
 - Wood Trim
 - 1 COAT STUCCO SYSTEM**
 - 15# Moisture layer overlay,
 - then 1" foam layer, wire mesh,
 - 1 coat base stucco 3/8" to 3/4" thick 4) finish colored layer,
 - Acrylic primer layer before the finish layer is optional.
 - has 26-gauge galvanized weep screed at foundation plate line at least 4-inches above grade or 2-inches above concrete or paving.
 - Metal drip edge is required for all composition roof installation
 - TRIM BAND
 - EXTERIOR PLYWOOD SHEATHING**
MINIMUM 3/8" PLYWOOD SHEATHING AT ALL EXTERIOR WALLS, COLUMNS AND UNDER COVER PORCH CEILINGS -TYPICAL (PER PLAN)

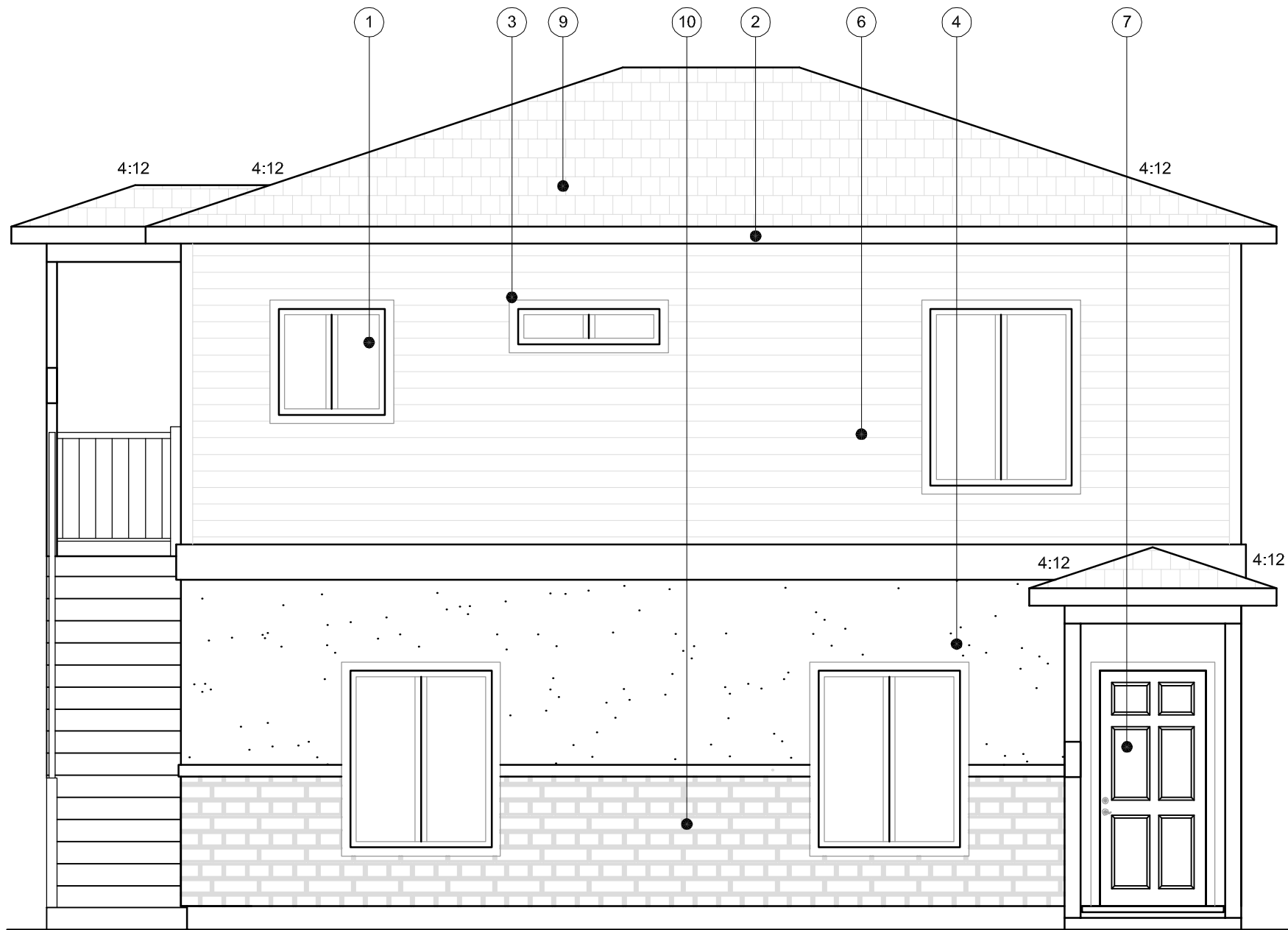
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PH (916) 332 2282 fineline300@comcast.net www.finelineDnc.com	Fineline DRAFTING INC.  EST. 2000 CDD-2423435 CALIFORNIA CORPORATE SEAL	
SHEET TITLE ELEVATIONS		
PROJECT NAME DUPLEX 141 BIRCH ST. - UNIT A & B ROSEVILLE, CA 95678		
OWNER- CONTACT Perfect Home Solutions LLC / Sergey Brodskiy	PROJECT 24-051	
DESIGNER MJ	DATE 05/14/2024	
Sheet	A5	



PRIMARY UNIT
COLOR CHART
N.T.S.



DUPLEX
COLOR CHART
N.T.S.

MATERIAL KEY:

- ①

WINDOWS - Andersen 100 Series White Composite Windows with Low-E Glass, White Int & Hardware
- ②

GUTTERS:

COLOR: SW 6083 Sable
- ③

TRIM

COLOR: SW 6083 Sable
- ④

STUCCO: SAND FINISH

COLOR: AkroFlex - OmegaFlex 9257 Adrenaline
- ⑤

GARAGE DOOR: LONG PANEL STYLE

COLOR: SW 6083 Sable

- ⑥

HARDIE SIDING

COLOR: SW 7644 Gateway Gray
Interior / Exterior
Location Number: 247-C3
- ⑦

FRONT DOOR: 36 in. x 80 in. Premium 6-Panel Left Hand Inswing Primed Steel Prehung Front Exterior Door with Brickmold by Masonite

COLOR: SW 6083 Sable
- ⑧

Square 1-Light Black Outdoor Wall Lantern Sconce by LNC
- ⑨

ROOF FINISH: Timberline HDZ Algae Resistant Laminated High Definition Shingles by GAF

COLOR: HICKORY
- ⑩

STONE VENEER: RED BRICK

COLOR: OLD TOWN RED

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PH (916) 332 2282

Fineline

DRAFTING INC.

fineline300@comcast.net

www.finelineDnc.com

5330 Primrose Drive suite 119, Sacramento, CA 95828

STAMP

DRAFTING INC.

Fineline

EST. 2000

916-332-2424

CALIFORNIA CORPORATE SEAL

SHEET TITLE

COLOR CHART

PROJECT NAME

PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

OWNER- CONTACT

Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT

24-049

DATE

06/26/2024

DESIGNER

MJ

Sheet

A5.1

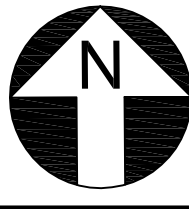
- SCOPE OF WORK:**
- ALL EXSITING WEEDS, UNUSABLE ROCK, AND DEBRIS CREATED DURING CONSTRUCTION TO BE REMOVED.
 - TRENCHING TO BE PERFORMED FOR DRAINAGE AND IRRIGATIONS SYSTEMS.
 - DRAINAGE SYSTEM TO BE INSTALLED. 4 INCH ADS DRAINAGE LINE INSTALLED FROM ALL DOWNSPOUTS, USING DOWNSPOUT ADAPTERS, AND ROUTED AWAY FROM HOME. CATCH BASINS WITH DRAIN GRATES INSTALLED WHERE NECESSARY TO ENSURE PROPER WATER RUNOFF. NO DRAINAGE SHALL CROSS PROPERTY LINES.
 - PROVIDING A PERFORATED PVC FOOTING DRAIN FOR ALL RETAINING WALLS. PIPE SHALL BE WRAPPED IN A FILTER FABRIC AND PLACED WITH AN 8 INCH SQUARE, PEA GRAVEL ENVELOPE. CONNECT DRAIN LINE TO EXISTING DRAINAGE.
 - CUSTOM AUTOMATIC IRRIGATION SYSTEM INSTALLED TO ALL LANDSCAPED AREAS. COMMERCIAL GRADE RAINBIRD VALVES TO BE INSTALLED. LAWN TO BE IRRIGATED WITH POP-UP STYLE RAINBIRD SPRAY HEADS. DRIP SYSTEM WITH PRESSURE COMPENSATING EMITTERS WILL BE USED TO GUARANTEE A BALANCED AND ACCURATE DISBURSEMENT OF WATER. ALL WIRING INSTALLED FROM VALVE LOCATIONS TO GARAGE.
 - CONTOUR MOUNDS TO BE CREATED PER DESIGN PLAN UTILIZING SOIL EXCAVATED FROM RETAINING WALL CONSTRUCTION. ORIGINAL GRADE TO BE MAINTAINED WITHIN 2 FT OF THE FENCE.
 - PLANTER MIX TO BE USED FOR ALL PLANTING HOLES.
 - ALL PLANTING AS PER DESIGN SPECIFICATIONS. ALL PLANTINGS TO BE INCLUDE SLOW RELEASE FERTILIZER TABLETS. 15 GALLON TREES TO BE DOUBLE STAKED.
 - FINISH GRADING PERFORMED BY HAND IN PLANTER AREA.
 - SITE TO BE LEFT CLEAN EVERYDAY. AT THE COMPLETION OF THE JOB, ALL CONSTRUCTION DEBRIS TO BE HAULED OFFSITE AND ANY WALKWAYS TO BE HOSED DOWN.

- NOTE:**
- SCOPE OF WORK DETAILS INSTALLATION / CONSTRUCTION OF ENTIRE DESIGN CONCEPT, ACUTAL WORK, AND RELATED DETAILS PROVIDED BY CONTRACTOR MAY VARY. PLEASE REFER TO ANY SIGNED AGREEMENT BETWEEN OWNER AND CONTRACTOR FOR ACTUAL WORK TO BE PERFORMED. PLANS ARE DIAGRAMMATIC. OWNER AND CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING CONDITIONS AND ADJUST ACCORDINGLY.

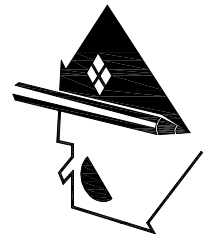
PLANT LEGEND					
LEGEND	BOTANIAL NAME	COMMON NAME	Water Classification	SIZE	Quantity
1	Tulbaghia violacea	society garlic	Low	1 GALLON	30
4	Lavandula dentata	French Lavender	Low	1 GALLON	19
6	Lagerstroemia spp.	Red Crape Myrtle Shrub	Low	5 GALLON	11
8	Pistacia Chinenis	Chinese Pistache	Low	36" box	3

- PLANTING NOTES:**
- INSTALLING CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND AREAS TO BE PLATED PRIOR TO START OF JOB. NOTIFY OWNER AND DESIGNER OR ANY DISCREPANCIES PRIOR TO STARTING WORK.
 - ALL PLANTING AREAS SHALL BE FREE OF TRASH, DEBRIS AND CONSTRUCTION MATERIALS LARGER THEN 2 INCHS AND BE BROUGHT TO FINISH GRADE BEFORE PLANTING BEGINS.
 - SLOPE ALL SURFACES WITH REGARD TO DRAINAGE REQUIREMENTS SO THAT WATER DOES NOT STAND. FINISH GRADES SHALL BE FLUSH AT CATCH BASINS.
 - SOIL AMENDMENTS SHALL BE APPLIED AT THE RATE OF SIX CUBIC YARDS PER 1000 SQUARE FEET AND THOROUGHLY ROTOTILLED INTO THE SOIL PRIOR TO PLANTING OR IRRIGATION INSTALLATION.
 - AMENDMENT SHALL BE EITHER A NITRIFIED WOOD COMPONENT OR COMPOSTED POULTRY OR MUSHROOM COMPOST OR EQUAL AND SHALL BE FREE OF WEED SEED AND ALL NON-ORGANIC MATERIALS.
 - NO SOIL AMENDMENTS ARE TO BE ADDED TO ANY GROUND FOR FOOD PRODUCTION UNLESS CERTIFIED AS ORGANIC.
 - ALL PLANTS SHALL BE QUALITY NURSERY STOCK, LABELED TRUE TO NAME AND VARIETY.
 - PLANTING HOLES SHALL BE 1 ½ TIMES THE DIAMETER AND 2 INCHES LESS THE DEPTH OF THE ROOT BALL.
 - ALL FIVE GALLON TREES AND LARGER TO BE DOUBLE STACKED AND TIED USING 8 FOOT LODGEPOLE TREE STAKES.
 - AFTER COMPLETION OF PLANTING, ALL AREAS ARE TO BE RAKED SMOOTH AND BROUGHT BACK TO FINISH GRADE.
 - PRIOR TO PLACEMENT OF TOPDRESSING, ALL SHRUB AND GROUNDCOVER AREAS ARE TO BE TREATED WITH SURFLAN XL PRE-EMERGENT HERBICIDE OR EQUAL AT MANUFACTURER'S RECOMMENDED RATE.
 - CONTRACTOR SHALL GUARANTEE FREE FROM ALL SHRUBS, SOD AND GROUNDCOVERS FOR A PERIOD OF 90 DAYS FROM DATE OF COMPLETION OF PROJECT. TREES SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR FROM DATE OF COMPLETION OF THE PROJECT.
 - ALL HYDROSEEDDED AREAS SHALL BE GRADED AND PREPARED IN THE SAME MANNER AS SOD INSTALLATION INCLUDING COMPLETE WILD CONTROL/ERADICATION. CLIENT SHALL BE NOTIFIED OF ANY AND ALL DELAYS SUCH PREPARATION SHALL REQUIRE AND MAY CHOOSE TO SIGN A WAIVER RELEASING CONTRACTOR FROM ALL LIABILITY OF WEED ENCROACHMENT OR FAILURE OF THE HYDROSEED IF THE ABOVE STEPS ARE NOT TAKE.

- Landscape Erosion & Sedimentation Control Notes to be included in the submittal:**
- All erosion and sediment control measures shall be constructed and maintained in accordance with the later addition of the City Folsom Design Standards and the County of Sacramento erosion and sediment control guidelines.
 - Temporary erosion control Best Management Practice (BMPs) shall be installed and maintained year round and an affective combination of erosion and sediment control BMPs shall be installed and maintained during the wet season (October 1 through April 30) and prior to the onset of any storm.
 - All storm drain inlets within the sork area, and off site storm drain inlets with the potential to receive runoff from the project site, shall be adequately protected with sediment control BMPs to effective remove sediment from runoff prior to discharge to the storm drain.
 - All stabilized construction access locations shall be constructed per the latest edition of the Sacramento county standards to effectively prevent tracking of sediment to paved areas.
 - Sediment control BMPs shall be placed along the project perimeter wherever there is potential for drainage and leave the project site.
 - Cementitious, paint, waste, and hazardous material shall be handled, covered, and/or stored properly to avoid spills, leakage, and contact with rain or storm water runoff.
 - Public streets and sidewalks shall be swept daily from construction activities. Washing the street shall not be permitted.
 - Upon completion of the project, all BMPs shall be removed once landscaping is installed and functioning to the satisfaction of the city.
 - For project sites larger the 1 acre, erosion and sediment control measures shall be in substantial compliance at all times with the Storm Water Pollution Prevention Plan (SWPPP) Prepare for the project in accordance with the state of California General Construction Permit. This permit requires that SWPPP is available on site at all times for review by state and local inspectors. The contractor shall be required to meet the follow all NPDES requirements in effect at the time of construction.

 **Landscape Plan**
SCALE 1"=10'

PH (916) 332 2282



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DRAFTING INC.



Fineline
EST. 2000
916-332-2424
CALIFORNIA CORPORATE SEAL

SHEET TITLE

LANDSCAPE

PROJECT NAME

PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

OWNER- CONTACT

Perfect Home Solutions LLC /
Sergey Brodsky

PROJECT

24-049

DATE

06/24/2024

DESIGNER

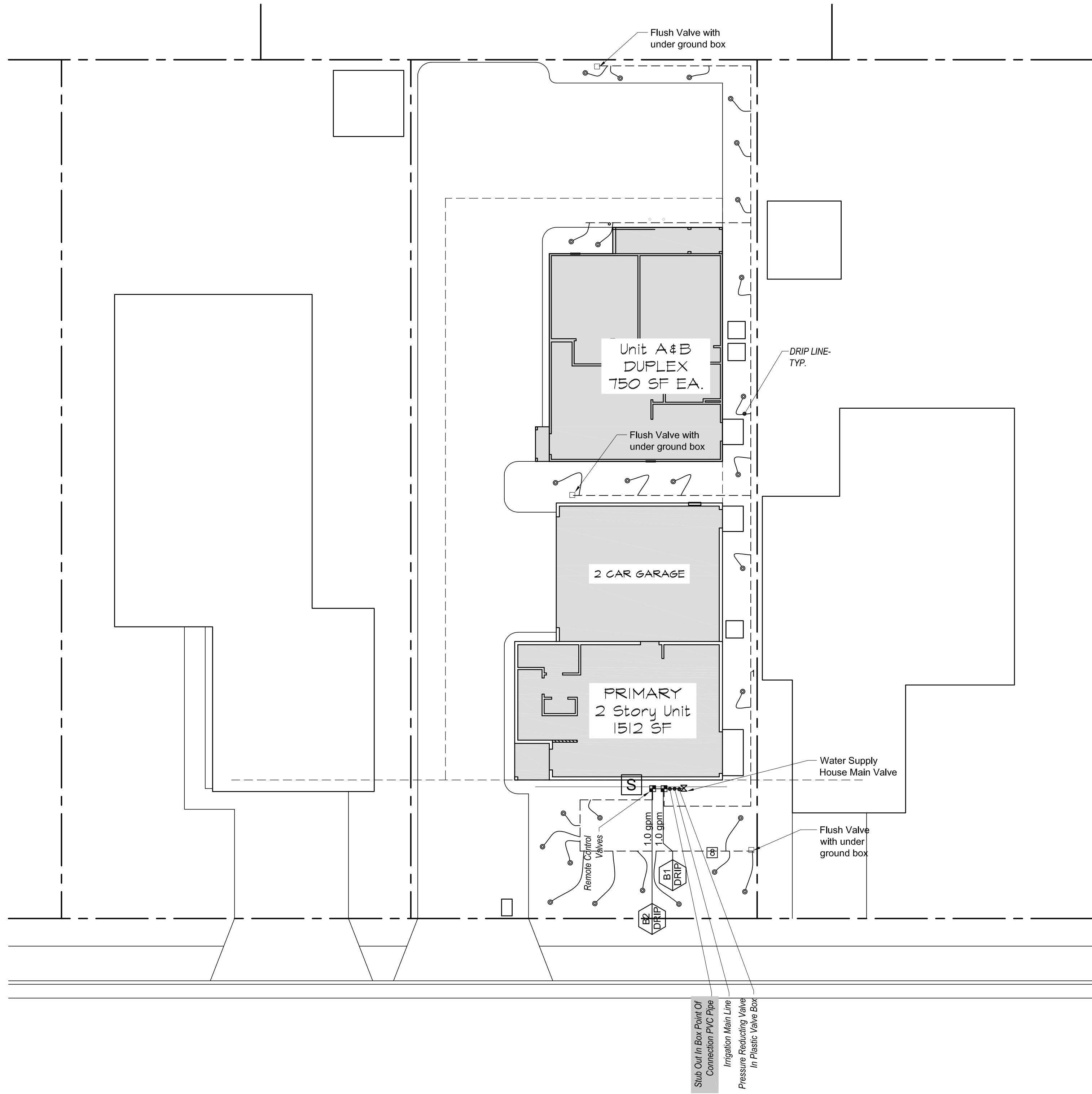
MJ

Sheet

L1

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fineline300@comcast.net
www.finelineDrafc.com



IRRIGATION LEGEND

SYMBOL	ITEM	DESCRIPTION	QTY
	PRESSURE REGULATING VALVE W/ ANTI-SIPHON	RAINBIRD SVF SERIES ELECTRIC 075ASVF - 3/4 in. Plastic Residential Irrigation Valve with Flow Control - 3/4 in	3
	WYE FILTER	WYE FILTER SHALL BE PLACED BELOW GRADE IN A GREEN PLASTIC VALVE BOX	3
	CONTROLLER	RAINBIRD RC-C 6 STATION	1
	SOLAR RAIN SYNC SENSOR	HUNTER INDUSTRIES - SOLAR SYNC	1
	SLEEVING LINE	1" POLYETHYLENE TUBING	3
	DRIP LINE	1/2" OR 3/4" POLYETHYLENE TUBING	32

INDICATE CONTROLLER STATION NUMBERS

INDICATE REMOTE CONTROL VALVE SIZES

Irrigation Plan

SCALE 1"=10'

PH (916) 332 2282

Fineline DRAFTING INC.

fineline300@comcast.net
www.finelineDnc.com

5330 Primrose Drive suite 119, Sacramento, CA 95828

STAMP

Fineline DRAFTING INC. EST. 2000 (916) 332-2424 CALIFORNIA CORPORATE SEAL

SHEET TITLE

LANDSCAPE

PROJECT NAME

PRIMARY RESIDENCE
141 BIRCH ST.
ROSEVILLE, CA 95678

OWNER- CONTACT

Perfect Home Solutions LLC /
Sergey Brodskiy

PROJECT

24-049

DATE

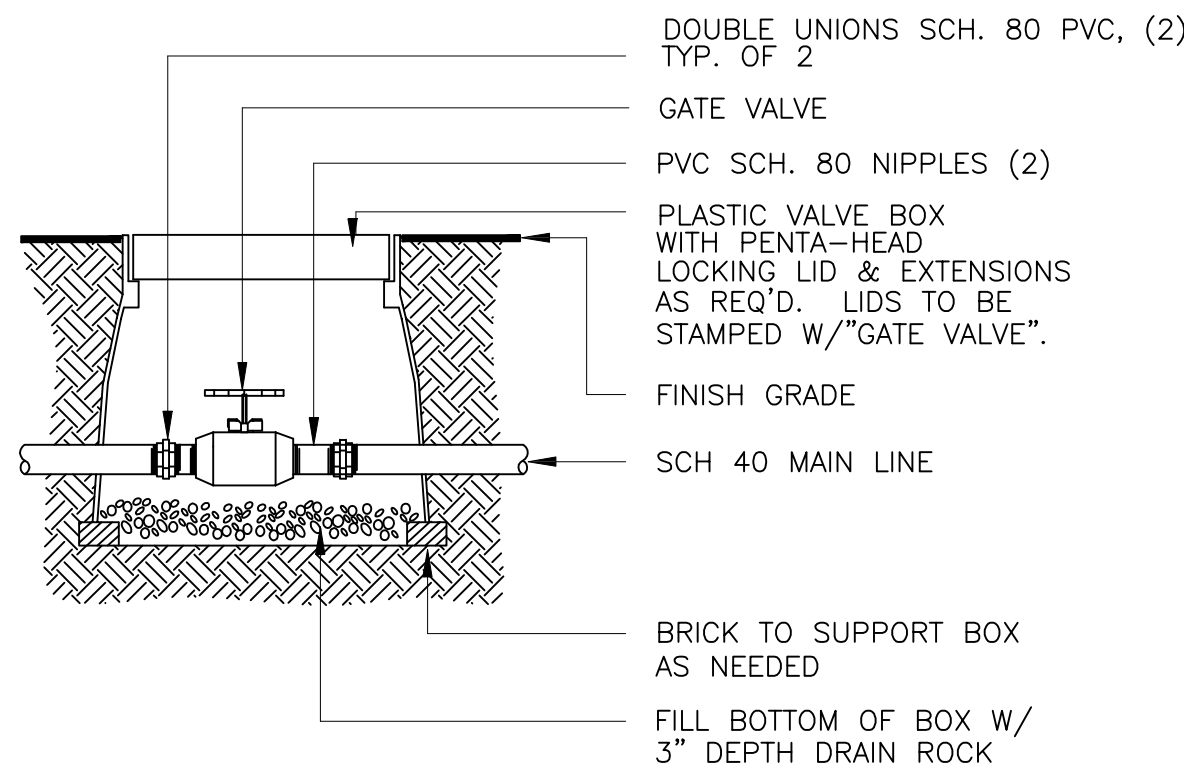
06/24/2024

DESIGNER

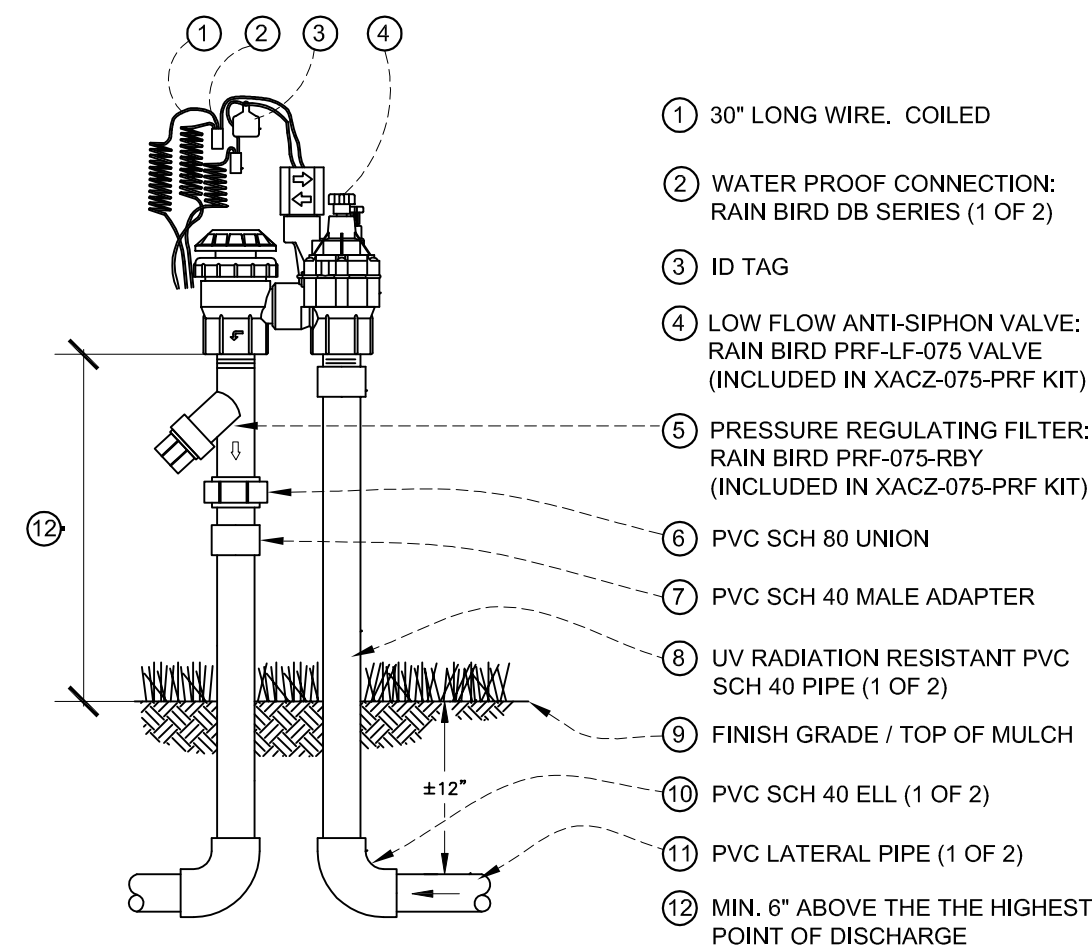
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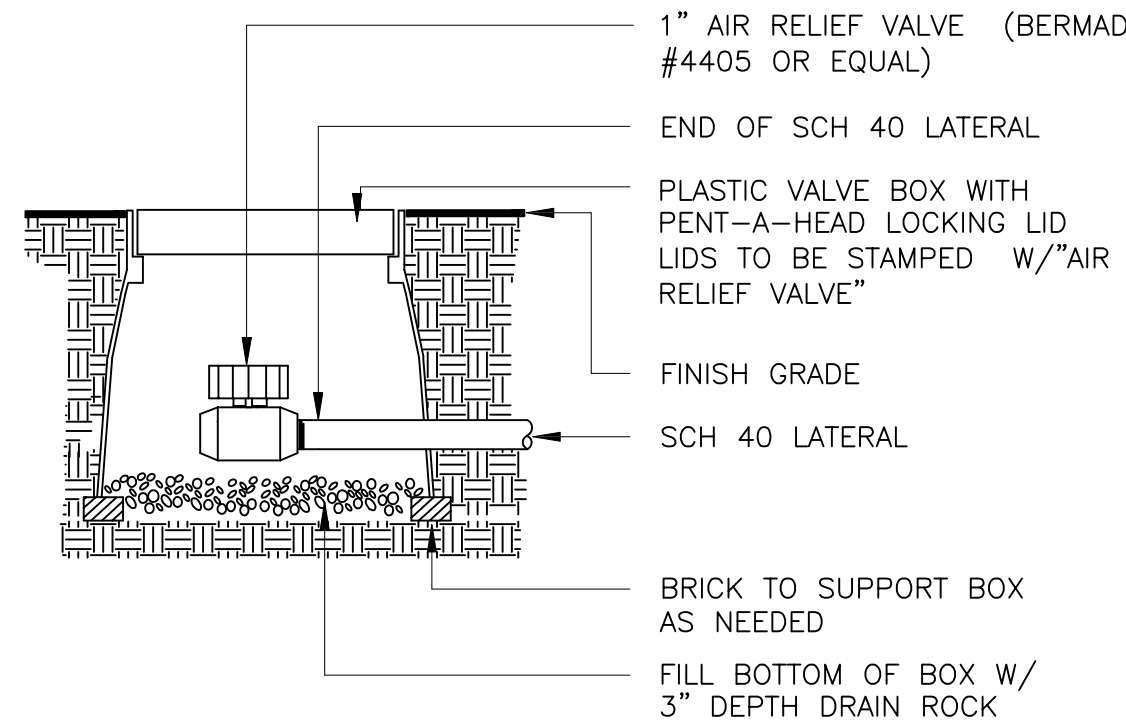
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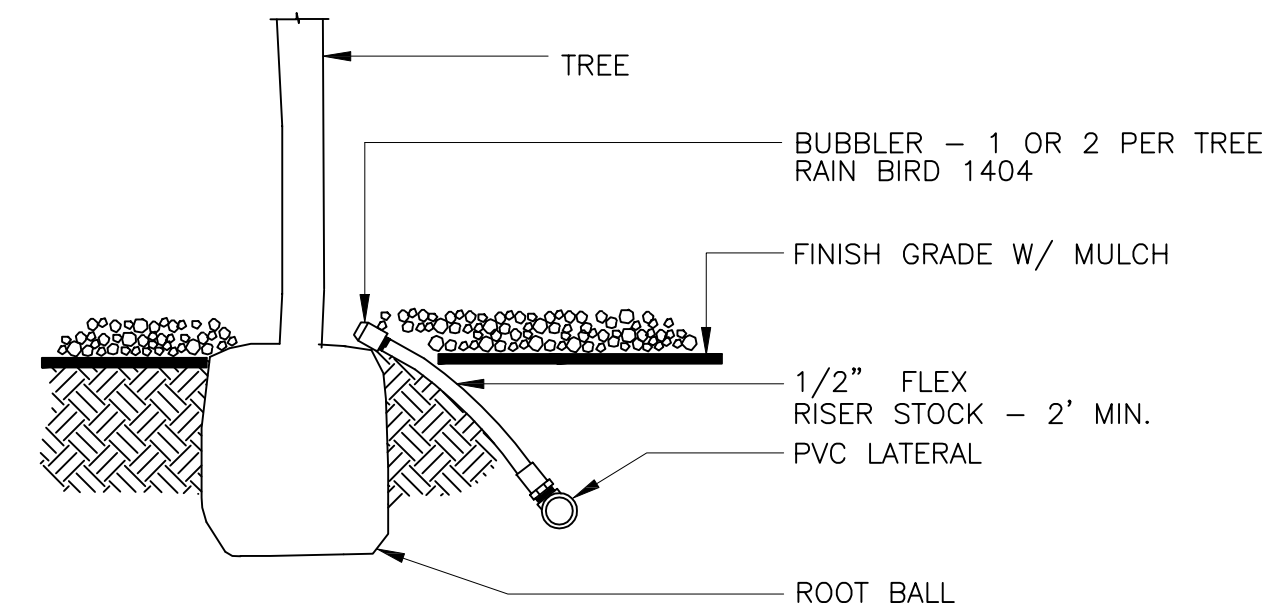
1 GATE VALVE
-- NOT TO SCALE



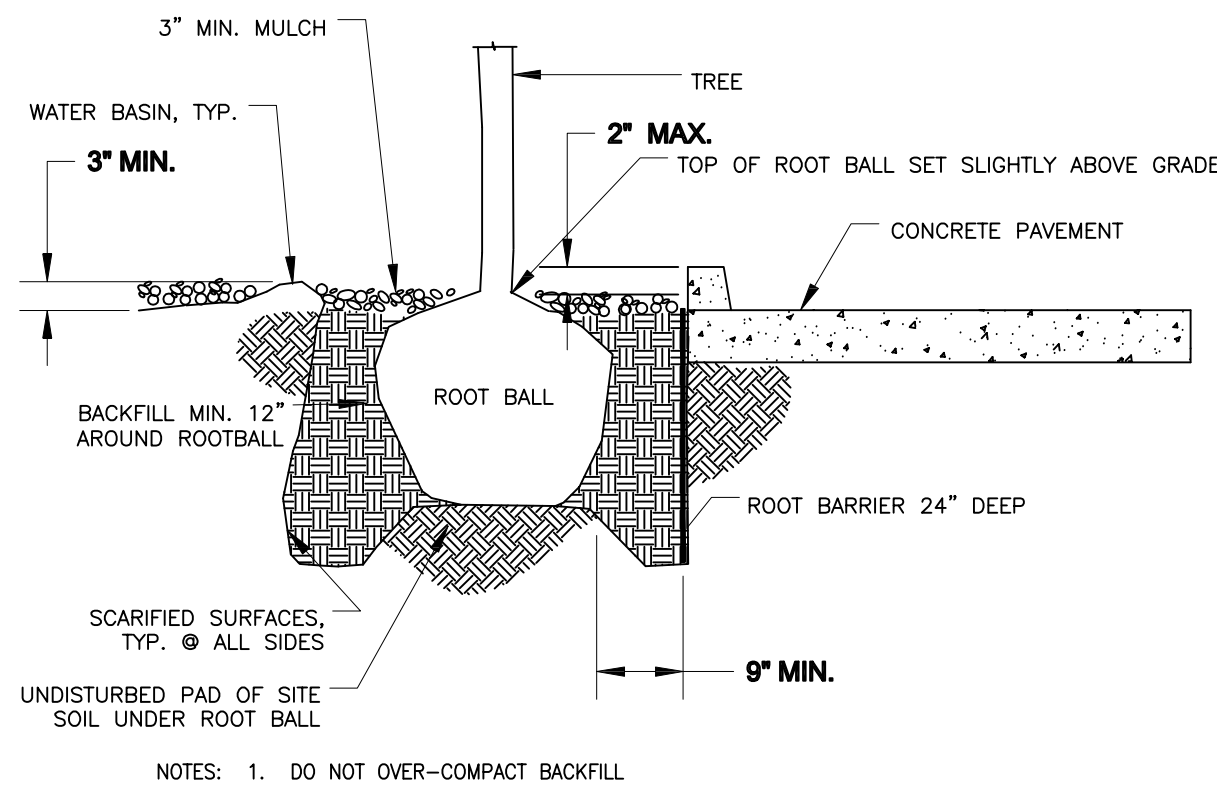
4 REMOTE CONTROL VALVE
-- NOT TO SCALE



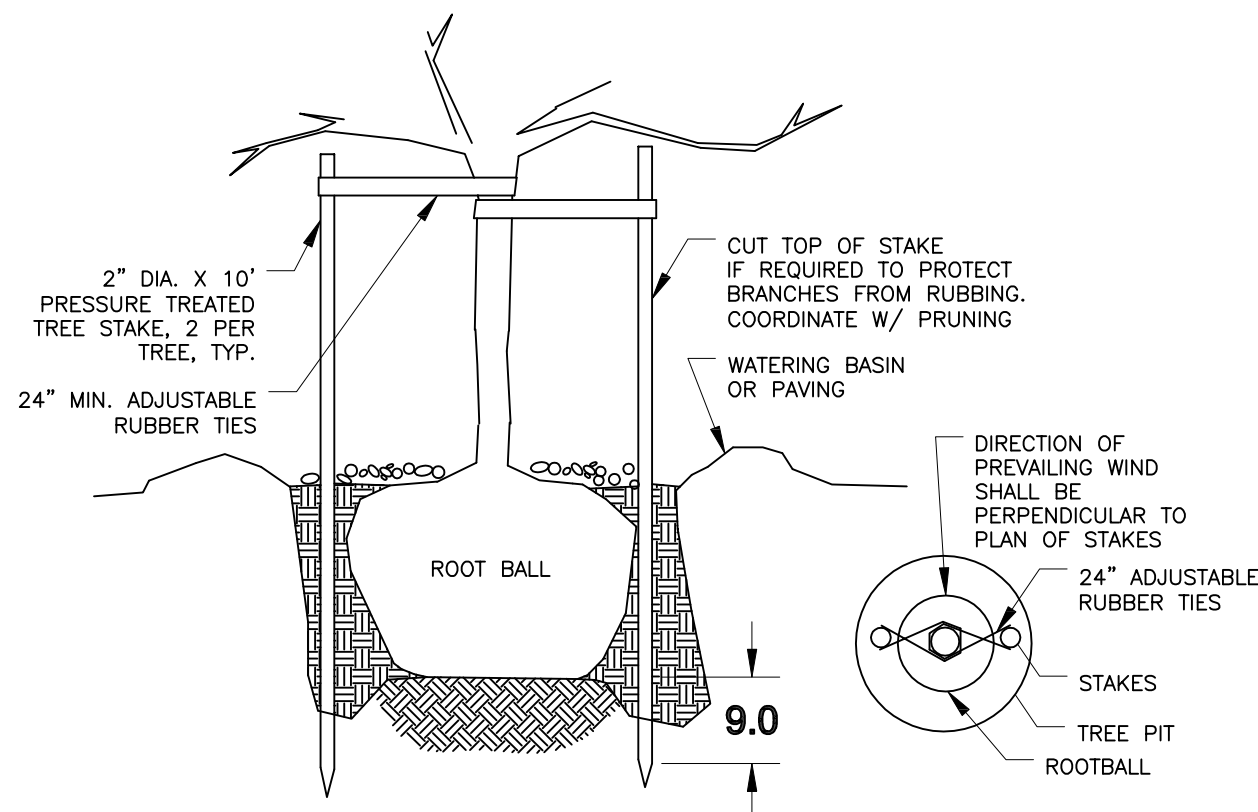
6 AUTOMATIC FLUSH VALVE
-- NOT TO SCALE



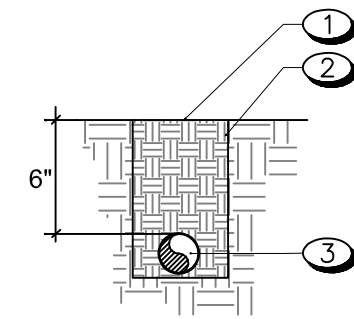
9 TREE BUBBLER
-- NOT TO SCALE



10 TREE PLANTING
-- NOT TO SCALE



11 TREE STAKING
-- NOT TO SCALE



8 PIPE TRENCHING
-- NOT TO SCALE

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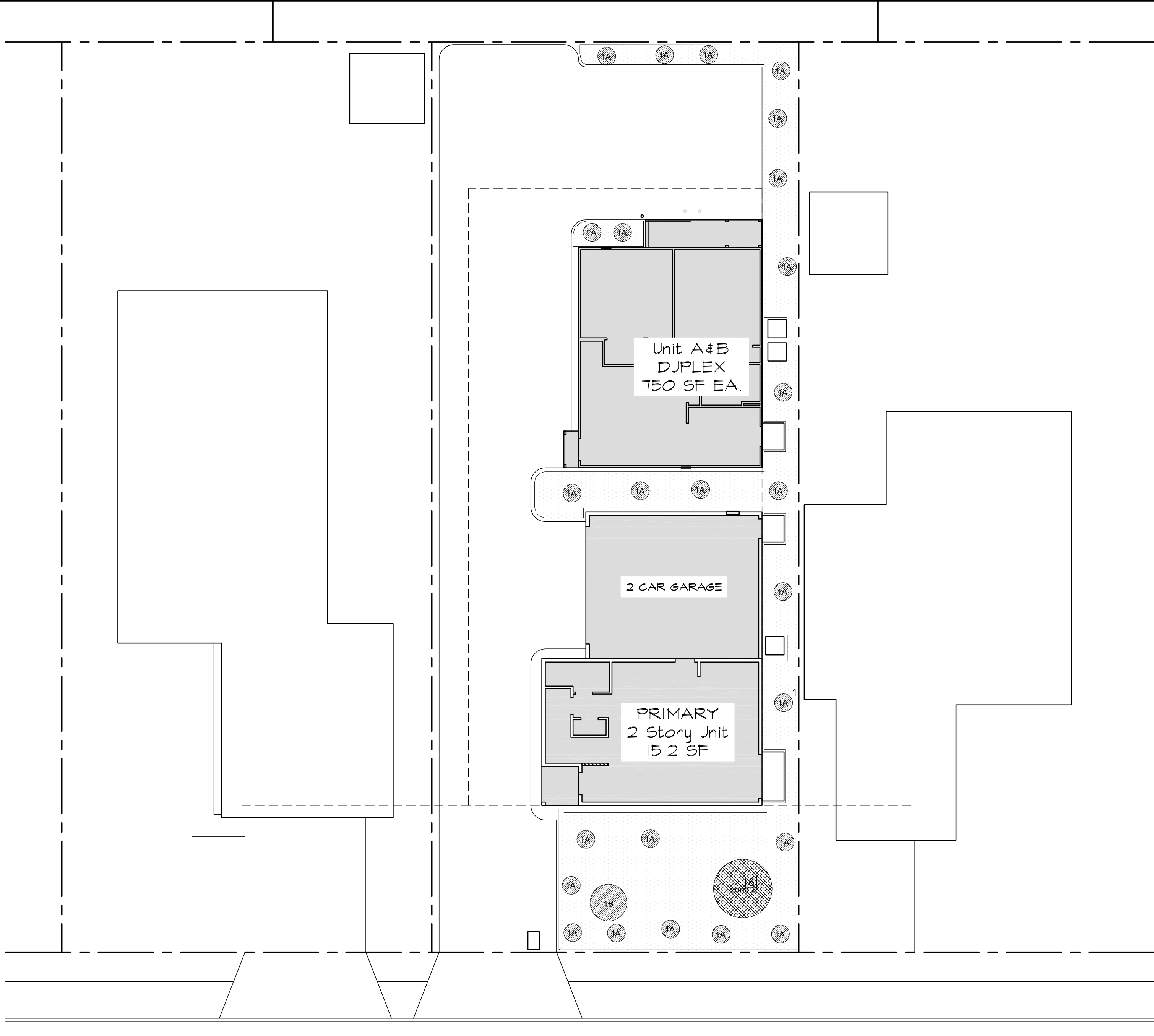
06/24/2024

DESIGNER

MJ

Sheet

L3



HYDROZONE TABLE - (1518 Gionata Way)					
Hydrozone	Water Used	Zone	Irrigation type	Landscape Area sf	% of Landscape Areas
ZONE 1	LOW	1	DRIP	250	20.2
ZONE 2	LOW	2	DRIP	20	1.6
ZONE 3	NONE	3	NONE	50	4.0
				1240.0	100.0

% OF HYDROZONE IN LANDSCAPE AREA 25.8%

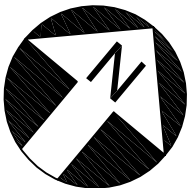
I HAVE COMPLIED WITH THE CRITERIA OF THE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENCY USE OF WATER IN THE LANDSCAPE DESIGN PLAN.

DUNNEIL VIAU LANDSCAPE DESIGNER

REQUIRED NOTES

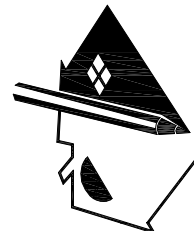
- UNLESS CONTRADICTED BY SOILS TEST, COMPOST AT A RATE OF A MINIMUM OF SIX CUBIC YARDS PER 1,000 SF OF PERMEABLE AREA SHALL BE INCORPORATED TO A DEPTH OF EIGHT INCHES INTO THE SOIL.
- AT THE TIME OF FINAL INSPECTION, THE PERMIT APPLICANT MUST PROVIDE THE OWNER OF THE PROPERTY WITH A CERTIFICATE OF COMPLETION, CERTIFICATE OF INSTALLATION, IRRIGATION SCHEDULE OF LANDSCAPE AND IRRIGATION MAINTENANCE.
- COMPACT SOILS MUST BE TRANSFORMED TO A "TRIALABLE" CONDITION TO MAXIMIZE WATER RETENTION.
- INCORPORATE COMPOST INTO THE SOIL TO A MINIMUM OF 8" AT A MINIMUM RATE OF 6 CY PER 100 SF, SOILS WITH CREATOR THAN 6% ORGANIC MATER IN THE TOP 6 INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TITLING.
- A MINIMUM 3" LAYER OF MULCH SHALL BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS EXCEPT IN TURF AREAS, CREEPING OR ROOTING GROUND COVERS OR DIRECT SEEDING APPLICATIONS. TO PROVIDE HABITAT FOR BENEFICIAL INSECT AND OTHER WILDLIFE, UP TO 5% OF THE LANDSCAPE AREA MAY BE LEFT WITHOUT MULCH.
- SOIL AMENDMENTS MUST BE INCORPORATE ACCORDING TO WHAT IS APPROPRIATE FOR THE PLANTS SELECTED.

ZONE 1	ZONE 1 : A=10SF; B=20SF SHURBS & BUSHES DRIP LINES - LOW WATER
ZONE 2	ZONE 2 - 50 SF TREES ONLY DRIP LINES (LOW WATER)
ZONE 3	ZONE 3 MIN. 3" DEEP TREE BART NO WATER REQUIRED



Water Used Plan

SCALE 1"=10'

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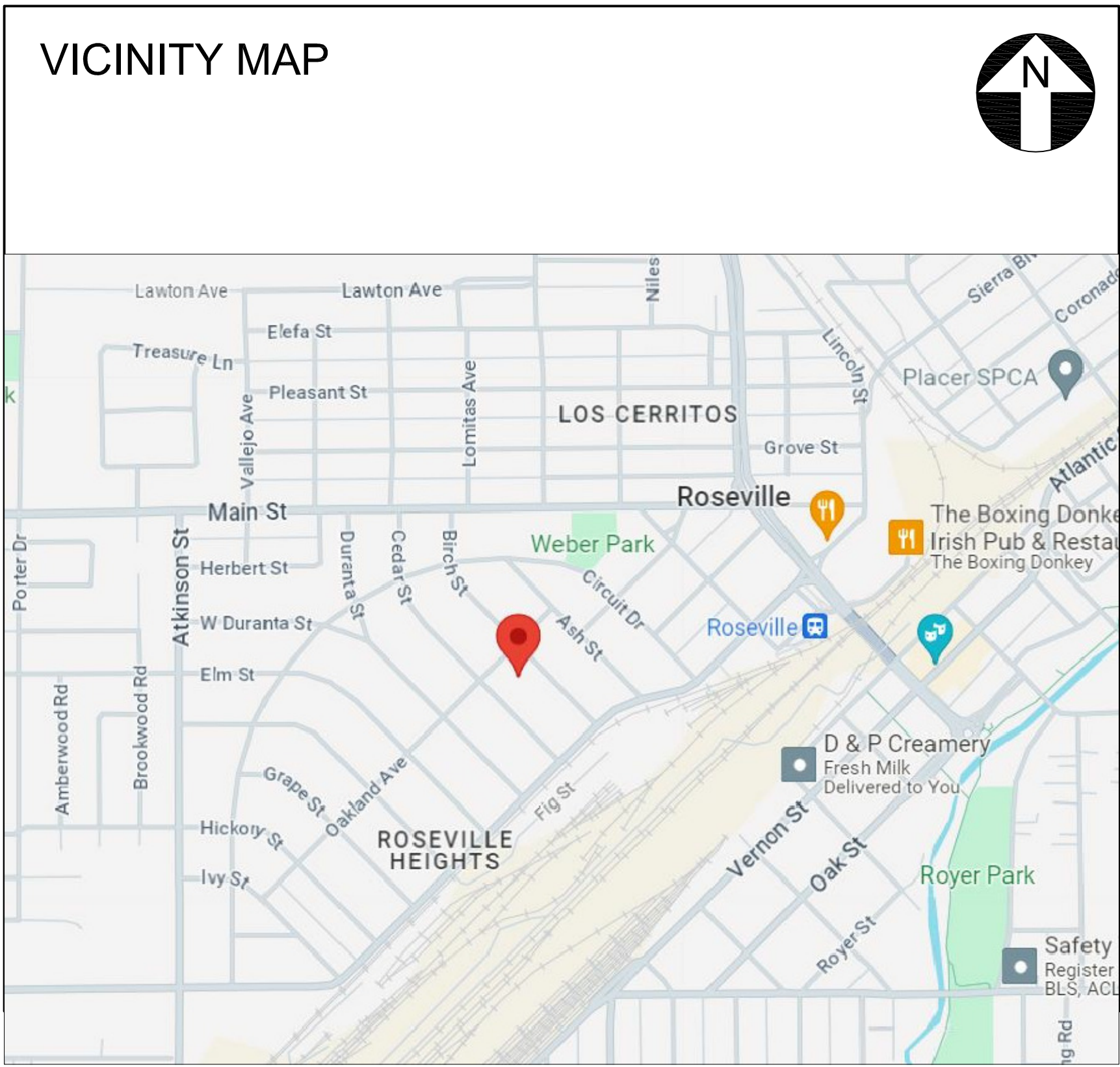
DATE
06/24/2024

DESIGNER
MJ

Sheet
L4

SHEET TITLE
LANDSCAPE

!!TITLE 24 NOTE!!
CALL HERS INSPECTOR
PRIOR TO INSULATION
INSTALLATION.



MULTI FAMILY UNITS
141 BIRCH ST.
ROSEVILLE, CA 95678

SCOPE OF WORK:
NEW CONSTRUCTION OF 3 UNITS WITH 6 PARKING SPACES

FOOTAGE (PRIME UNIT)

1ST LEVEL LIVING	574 SF
2ND LEVEL LIVING	938 SF
SUB TOTAL LIVING	1,525 SF
GARAGE	480 SF
FRONT PORCH	26 SF
GRAND TOTAL	2,031 SF

FOOTAGE (DUPLEX-1)

LIVING AREA	750 SF
STAIR & LANDING	62 SF
GRAND TOTAL	812 SF

FOOTAGE (DUPLEX-2)

LIVING AREA	750 SF
PORCH - FRONT	10 SF
GRAND TOTAL	760 SF

THIS PLAN SET IS DESIGNED TO COMPLY WITH 2022, CRC, CMC, GPC, CEC, CFC, AND 2022 CALIFORNIA ENERGY COMPLIANCE OF TITLE 24. CALIFORNIA BUILDING CODE & 2022 CALIFORNIA GREEN BUILDING STANDARDS CODE

The applicable Codes and Standards currently adopted within the City of Roseville include the 2022 California Building Code and the 2022 California Fire Code. The adopted version of NFPA 13, Standard for the Installation of Sprinkler Systems is the 2022 edition.

SEISMIC ZONE CATEGORY D

CITY OF ROSEVILLE

OCCUPANCY	R-3, U
TYPE OF CONSTRUCTION	V-B
NO. OF STORIES	2
NO. OF BED ROOMS	3
NO. OF UNITS	3
FIRE SPRINKLER	YES

SHEET INDEX

A1.1

COVER SHEET

A2

SITE PLAN

A3

FLOOR PLAN

A5

ELEVATION PLAN

L1

LAND SCAPE PLAN